

PLANNING COMMISSION AGENDA



**Planning Commission Meeting
6:00 PM Tuesday, April 21, 2020**

**South Lebanon Municipal Building
10 N. High Street
South Lebanon, Ohio 45065**

	Agenda Item
1.	Call to Order
2.	Pledge of Allegiance
3.	Roll Call
4.	Open Forum
5.	Review and Approval of Minutes A. None
6.	Public Hearing – None
7.	Old Business A. None
8.	New Business A. Case -20-07P: Acceptance and Dedication of Public Improvements for Riverside Phase Three Subdivision B. Case 20-08P – Application for Site Plan-for McDonalds at Rivers Crossing West Section 2
9.	Communications
10.	Adjournment

Members of the public may address the Planning Commission during the Open Forum segment of the agenda and shall be limited to five minutes each. After the speaker concludes remarks, the Planning Commission may comment or ask questions at that time. The Chairperson may at his or her discretion restrict duplicate testimony on a particular subject.

VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission

FROM: Jerry Haddix, Village Administrator

RE: Case 20-07P, Acceptance and Dedication of Public Improvements for Riverside Phase Three Subdivision

DATE: April 16, 2020

One of the items on the agenda for the August 21st meeting is a request of the Planning Commission to find that the public improvements for the Riverside Phase Three subdivision conform to South Lebanon's standards for construction of public improvements.

Background

On January 15th, 2019, the Record Plat for Riverside Phase Three subdivision was recorded in the Warren County's Recorder's Office. This plat included thirty -four (34) single family lots in which all have been or in the process of houses constructed on them.

Code Analysis

Pursuant to Sec 15.20.7(6) Requirements for the Construction of Improvements, the Village, through formal action by the Village Council, shall accept public improvements made by a developer which meet the following conditions:

- a. Said public improvements have been made in accordance with the requirements of these Regulations; and
- b. The design standards of these Regulations have been adhered to; and
- c. Installation of said public improvements has been completed according to the requirements of the Village of South Lebanon; and
- d. All final inspections required by these Regulations have been carried out by the Village and said public improvements were found to be acceptable by the Village Administrator upon the advice (if needed and requested) by an engineer acting in the service of the Village; and
- e. Accurate "as built" construction plans have been submitted by the subdivider to the Village and release from the posted Performance Bond has been granted; and
- f. The Planning Commission has found the subdivider to be in conformance with these Regulations.

Zoning Process

Before Council may accept public improvements for a subdivision, the Planning Commission shall issue a finding that the developer is in conformance with the aforementioned regulations a – e.

Staff Review

Choice One Engineering, the Project Engineer, has inspected the public improvements by Lebanon Mason LLC (“Developer”). The Developer has completed all of the public improvements satisfactorily per the attached letter from Choice One Engineering.

Recommendation

Staff recommends that the Planning Commission issue a finding to Council that they have found the public improvements in Riverside Phase Three Subdivision, as attached, be in conformance with the regulations listed in Sec 15.20.7(6) items a – e.

Attachments

Choice One Inspection Letter

Copy of Riverside Phase Three recorded plat



Date

February 13, 2020

Attention

Jerry Haddix
Village Administrator

Address

99 N. High Street
South Lebanon, OH 45065

Subject

Riverside Subdivision Phase 3
Acceptance Letter
Village of South Lebanon, OH

Dear Mr. Haddix:

After a final punch list walkthrough on February 13, 2020, the public infrastructure and rights-of-way for the Riverside Phase 3 Subdivision have been deemed acceptable for dedication.

- The contractor has satisfactorily completed all punch list items pursuant to Sect. 15.20.7(6)(a-d).
- The acceptance and dedication of the public improvements created by this subdivision include the following streets. See attached plat for exact locations:
 - o Kelly Court and a portion of Trovillo Drive.

If you have any questions, please contact our office.

Sincerely,

A handwritten signature in blue ink that reads "Nicholas J. Selhorst".

Nicholas J. Selhorst, P.E.
Choice One Engineering

West Central Ohio
440 E. Hoewisher Rd.
Sidney, OH 45365
937.497.0200 Phone

S. Ohio/N. Kentucky
203 W. Loveland Ave.
Loveland, OH 45140
513.239.8554 Phone

Eastern Indiana
607 N. Meridian St.
Portland, IN 47371
260.766.2500 Phone



DEED REFERENCE

SITUATED IN SECTION 1 & 7, TOWN 4, RANGE 3, UNION TOWNSHIP, VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OHIO AND BEING A SUBDIVISION CONTAINING 18.2368 ACRES, (OF WHICH 6.3640 ACRES ARE IN SECTION 7 AND 11.8728 ACRES ARE IN SECTION 1) AND BEING 17.2386 ACRES OF 47.972 (DEED) ACRES AS CONVEYED TO LEBANON MASON RESIDENTIAL, LLC AS RECORDED IN DOCUMENT NO. 2016-033236, WARREN COUNTY, OHIO AND 0.9982 ACRES OF 22.971 (DEED - TRACT 2) ACRES AS CONVEYED TO LEBANON MASON, LLC AS RECORDED IN OFFICIAL RECORD 5856, PAGE 129, WARREN COUNTY, OHIO.

HOA REFERENCE

THE WITHIN SUBDIVISION IS SUBJECT TO THE DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR RIVERSIDE SUBDIVISION WHICH IS RECORDED IN THE DEED OF RECORDS OF WARREN COUNTY, OHIO COMMENCING WITH DOCUMENT NUMBER 2018-006004, AND THE ARTICLES OF INCORPORATION AND CODE OF REGULATIONS FOR THE ASSOCIATION. SAID DECLARATION MAY BE AMENDED, SAID AMENDMENT(S) RECORDED IN THE DEED RECORDS OF WARREN COUNTY, OHIO.

DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS, PARKS OR PUBLIC GROUNDS AS SHOWN HEREON TO THE PUBLIC USE FOREVER.

ANY "PUBLIC UTILITY EASEMENTS" AS SHOWN ON THIS PLAT ARE FOR THE PLACEMENT OF SIDEWALKS AND AND PUBLIC UTILITIES FOR THE MAINTENANCE AND REPAIR OF SAID UTILITIES. THIS EASEMENT AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT, UNLESS DESIGNATED FOR A SPECIFIC PURPOSE, ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, OR OTHER UTILITY LINES OR SERVICES, STORMWATER DISPOSAL AND FOR THE EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS INCLUDING, BUT NOT LIMITED TO DUKE ENERGY, AT&T, CHARTER COMMUNICATIONS, THE VILLAGE OF SOUTH LEBANON AND WARREN COUNTY.

ALL PERSONS INTERESTED IN THIS PLAT AS OWNERS HAVE UNITED IN ITS EXECUTION, SIGNED AND ACKNOWLEDGED IN THE PRESENCE OF:

OWNER: LEBANON MASON RESIDENTIAL LLC (47.972 ACRES)

NAME:

PRINTED NAME

STATE OF OHIO
COUNTY OF

BE REMEMBERED THAT ON THIS DAY OF 2018, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY CAME LEBANON MASON RESIDENTIAL LLC, AS REPRESENTED BY , ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AS WRITTEN ABOVE.

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

OWNER: LEBANON MASON LLC (22.971 ACRES)

NAME:

PRINTED NAME

STATE OF OHIO
COUNTY OF

BE REMEMBERED THAT ON THIS DAY OF 2018, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY CAME LEBANON MASON LLC, AS REPRESENTED BY , ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AS WRITTEN ABOVE.

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

LIEN HOLDER: WES BANCO BANK, INC.

NAME:

PRINTED NAME

STATE OF OHIO
COUNTY OF

BE REMEMBERED THAT ON THIS DAY OF 2018, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY CAME WES BANCO BANK, INC., AS REPRESENTED BY , ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AS WRITTEN ABOVE.

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

SURVEYORS CERTIFICATION

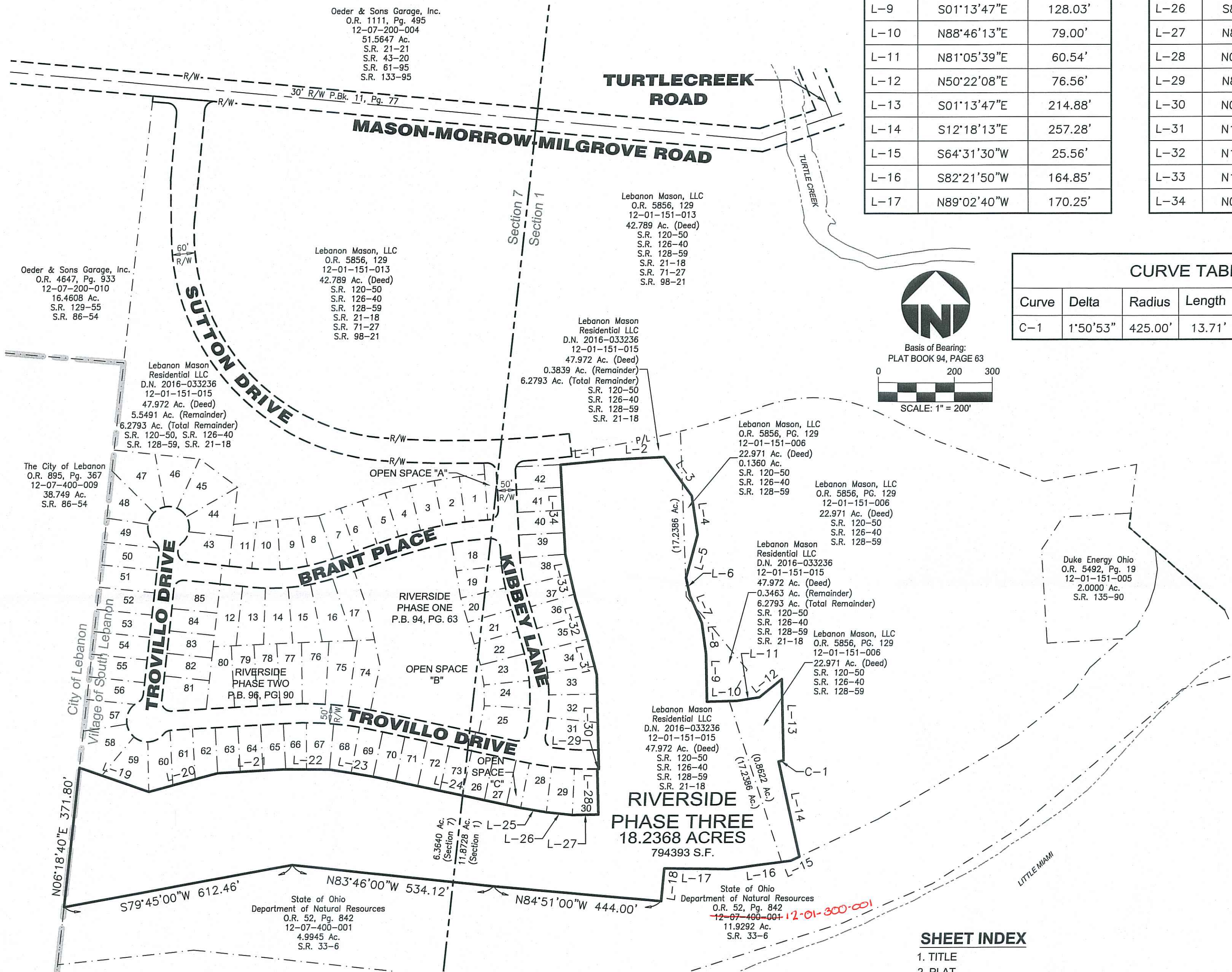
I HEREBY CERTIFY THAT THIS MAP IS A TRUE AND COMPLETE SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS AND LOT CORNER PINS ARE SET AS SHOWN.

BRIAN R. JOHNSON, P.S.
PROFESSIONAL SURVEYOR #9484
IN THE STATE OF OHIO

DATE



RIVERSIDE
PHASE THREE
SECTION 1 & 7, TOWN 4, RANGE 3
BETWEEN THE MIAMIS, UNION TOWNSHIP
VILLAGE OF SOUTH LEBANON
WARREN COUNTY, OHIO
DECEMBER, 2018



DRAINAGE STATEMENT

UNLESS OTHERWISE DESIGNATED ON THIS PLAT, A FIFTEEN (15) FOOT WIDE DRAINAGE EASEMENT SHALL EXIST ALONG ALL REAR LOT LINES AND A TEN (10) FOOT WIDE DRAINAGE EASEMENT SHALL EXIST ALONG ALL SIDE LOT LINES, WITH THE LINE BEING THE CENTERLINE OF SAID EASEMENT.

THE EASEMENT AREAS SHALL BE MAINTAINED CONTINUOUSLY BY THE LOT OWNER(S). WITHIN THE EASEMENTS, NO STRUCTURE, PLANTING, FENCING, CULTVERT, OR OTHER MATERIAL SHALL BE PLACED OR PERMITTED TO REMAIN WHICH MAY OBSTRUCT, RETARD, OR DIVERT THE FLOW THROUGH THE WATERCOURSE.

THE VILLAGE OF SOUTH LEBANON ASSUMES NO LEGAL OBLIGATION TO MAINTAIN OR REPAIR ANY OPEN DRAIN, DITCHES OR WATERCOURSE WITHIN THE EASEMENT AREA UNLESS NOTED OTHERWISE ON THIS PLAT. HOWEVER, WHEN THE PLATTED RIGHT-OF-WAY AREA HAS BEEN PREVIOUSLY ACCEPTED FOR PUBLIC MAINTENANCE BY RESOLUTION OF THE VILLAGE OF SOUTH LEBANON OR THEIR REPRESENTATIVES MAY ENTER UPON AND INSPECT THE EASEMENT AREAS AND, IN ACCORDANCE WITH SECTION 5589.06 OF THE OHIO REVISED CODE, MAY REMOVE OR CAUSE THE REMOVAL OF AN OBSTRUCTION ADVERSELY IMPACTING AN AREA WITHIN THE PUBLIC RIGHT-OF-WAY.

UNTIL THE EXPIRATION OF THE PUBLIC IMPROVEMENT BONDING PERIOD, THE DEVELOPER (OR THEIR AGENTS) RESERVES THE RIGHT TO ENTER UPON ALL LOTS TO ESTABLISH OR RE-ESTABLISH DRAINAGE SWALES WITHIN ALL DRAINAGE EASEMENTS FOR THE PURPOSE OF CONTROLLING AND DIRECTING STORMWATER TO COLLECTION FACILITIES OR DRAINAGE CHANNELS.

THE PUBLICLY-MAINTAINED PORTION OF THE STORM SEWER SYSTEM WILL INCLUDE STORM DRAINS, CULVERTS, AND/OR DITCHES LOCATED WITHIN EITHER THE PUBLIC RIGHT-OF-WAY OR THE PUBLIC UTILITY EASEMENT AREA ADJACENT TO THE ROAD RIGHT-OF-WAY WITH THE EXCEPTION OF SLUMP MAINS AND CULVERTS FOR PRIVATE DRIVEWAYS. WHERE, IN LIEU OF AN OPEN DITCH, A DEVELOPER, BUILDER OR LOT OWNER INSTALLS A STORM DRAIN ON PRIVATE PROPERTY, THE STORM DRAIN SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER TO ENSURE THAT NEITHER THIS PROPERTY OR ADJACENT PROPERTIES ARE NEGATIVELY IMPACTED, AND THE LOT OWNER(S) MUST NOTE THAT THEY ARE RESPONSIBLE FOR MAINTAINING THE STORM DRAIN UNLESS NOTED OTHERWISE ON THE PLAT.

THE HOME OWNER'S ASSOCIATION IS RESPONSIBLE FOR MAINTAINING ALL STORM WATER FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY INCLUDING SEWER, STRUCTURES, DETENTION/RETENTION BASINS, AND SLUMP MAINS.

GRANT OF UTILITY EASEMENT

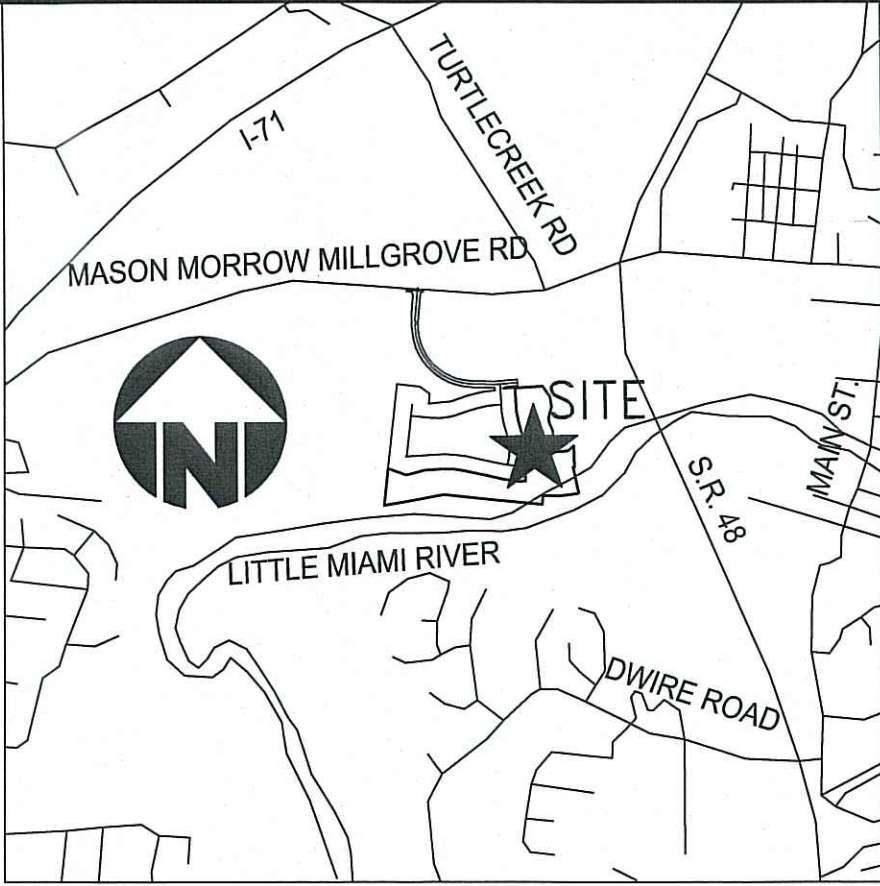
FOR VALUABLE CONSIDERATION, WE, THE UNDERSIGNED ("GRANTOR") DO HEREBY PERMANENTLY GRANT TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR PARENT ENTITY (OR ENTITY CONTROLLING BOTH ENTITIES), THEIR RESPECTIVE SUBSIDIARIES OR AFFILIATE ENTITIES, AND ANY OTHER PROVIDER OF UTILITY SERVICES ("GRANTEE") THEIR SUCCESSORS AND ASSIGNS, FOREVER, NON-EXCLUSIVE EASEMENTS, AS SHOWN ON THE WITHIN PLAT AND DESIGNATED AS "UTILITY EASEMENTS" FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, OR REPLACEMENT OF ANY AND ALL NECESSARY FIXTURES FOR THE OVERHEAD OR UNDERGROUND DISTRIBUTION OF GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS OR OTHER UTILITIES ("GRANTEE FACILITIES" OR "FACILITIES"). THE GRANTEE SHALL HAVE THE RIGHT OF INGRESS AND EGRESS AND ALSO THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, UNDERGROWTH, OR OVERHANGING BRANCHES WITHIN THE UTILITY EASEMENTS OR IMMEDIATELY ADJACENT THERETO. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN THE UTILITY EASEMENTS AREA, NOR MAY THE UTILITY EASEMENTS AREA BE PHYSICALLY ALTERED TO (1) REDUCE THE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF GRANTEE FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE FACILITIES OR; (4) CREATE A HAZARD. TO HAVE AND TO HOLD THE EASEMENT FOREVER. WE ACKNOWLEDGE HAVING THE FULL POWER TO CONVEY THIS UTILITY EASEMENT AND WILL DEFEND THE SAME AGAINST ALL CLAIMS.

ALSO HEREBY GRANTED TO DUKE ENERGY OHIO/KENTUCKY, INC. AND ITS SUBSIDIARIES, SUCCESSORS, AND ASSIGNS IS THE RIGHT TO LATERALLY EXTEND, REPAIR, AND MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICES TO SERVICE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON WHICH THE SERVICE IS LOCATED. RECONSTRUCTION OR RELOCATION IS PERMISSIBLE ONLY WITH THE WRITTEN PERMISSION OF THE PARCEL OWNER AND SAID UTILITY PROVIDER TO A MUTUALLY AGREEABLE LOCATION. NO PART OF THE UTILITY EASEMENTS SHALL ENCUMBER EXISTING BUILDINGS OR ADJOINING LOTS.

BOUNDARY LINE TABLE		
Line	Direction	Distance
L-1	N84°31'35"E	131.38'
L-2	N87°04'38"E	142.86'
L-3	S35°35'27"E	125.92'
L-4	S08°19'54"E	104.40'
L-5	S15°02'19"W	117.77'
L-6	S11°48'16"E	48.88'
L-7	S23°27'37"E	78.93'
L-8	S07°29'59"E	82.69'
L-9	S01°13'47"E	128.03'
L-10	N88°46'13"E	79.00'
L-11	N81°05'39"E	60.54'
L-12	N50°22'08"E	76.56'
L-13	S01°13'47"E	214.88'
L-14	S12°18'13"E	257.28'
L-15	S64°31'30"W	25.56'
L-16	S82°21'50"W	164.85'
L-17	N89°02'40"W	170.25'

BOUNDARY LINE TABLE		
Line	Direction	Distance
L-18	S05°49'00"W	87.60'
L-19	S70°29'29"E	194.06'
L-20	N75°10'36"E	188.70'
L-21	N86°53'54"E	180.00'
L-22	S89°37'24"E	115.52'
L-23	S80°10'37"E	116.32'
L-24	S77°53'43"E	398.02'
L-25	S80°33'22"E	68.75'
L-26	S83°52'46"E	68.84'
L-27	N88°46'13"E	68.43'
L-28	N01°13'47"W	120.00'
L-29	N88°46'13"E	3.94'
L-30	N01°13'47"W	249.00'
L-31	N14°33'36"W	96.96'
L-32	N16°16'26"W	115.56'
L-33	N12°38'53"W	118.46'
L-34	N02°53'29"W	237.04'

CURVE TABLE				
Curve	Delta	Radius	Length	Chord
C-1	1°50'53"	425.00'	13.71'	S76°46'21"W 13.71'



VICINITY MAP
n.l.s.

SURVEYOR

BAYER BECKER
6900 TYLERSVILLE ROAD
MASON, OH, 45040
513-336-6600

OWNER

LEBANON MASON LLC
4020 KINROSS LAKES, SUITE 200
RICHFIELD, OH 44286
513-404-6401

OWNER

LEBANON MASON RESIDENTIAL, LLC
4020 KINROSS LAKES, SUITE 200
RICHFIELD, OH 44286
513-404-6401

NOTES

- PRIOR DEED REFERENCE: DOCUMENT NUMBER 2016-033236. OFFICIAL RECORD 5856, PAGE 129
- BASIS OF BEARING: PLAT BOOK 94, PAGE 63.
- 5/8" IRON PINS ARE SET ON ALL LOT CORNERS UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
- OCCUPATION IN GENERAL MATCHES SURVEY, UNLESS OTHERWISE NOTED.
- ALL EXISTING MONUMENTS ARE IN GOOD CONDITION UNLESS OTHERWISE SHOWN.
- MINIMUM PERMISSIBLE LOW FLOOR ELEVATION (INCLUDING BASEMENT). IF A FLOOR IS DESIRED BELOW THE M.O.E. ELEVATION SHOWN, THEN NO GRAVITY FLOW STORM DRAIN WILL BE PERMITTED FROM ANY DRIVEWAY, WINDOW WELL, STAIRWELL, FOUNDATION, BASEMENT, PATIO OR OTHER SOURCE TO BE DIRECTLY CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXISTING OR PROPOSED WATERCOURSE BELOW THE M.O.E. ELEVATION SHOWN. SLUMP PUMP WELLS AND SLUMP PUMPS SHALL BE INSTALLED FOR BASEMENTS OF HOMES IF THE BASEMENT ELEVATION IS BELOW THE M.O.E. ELEVATION SHOWN.

VILLAGE OF SOUTH LEBANON PLANNING COMMISSION

THIS PLAT WAS APPROVED BY THE VILLAGE OF SOUTH LEBANON PLANNING COMMISSION ON THIS DAY OF 2018.

CHAIRMAN

VILLAGE OF SOUTH LEBANON

I HEREBY CERTIFY THAT ON THE DAY OF 2018, THIS PLAT WAS APPROVED AND ACCEPTED BY RESOLUTION NO. ADOPTED BY THE COUNCIL OF THE VILLAGE OF SOUTH LEBANON, OHIO.

ATTEST:

JAMES D. SMITH, MAYOR

NICOLE ARMSTRONG, FISCAL OFFICER



COUNTY AUDITOR

TRANSFERRED ON THIS DAY OF 2018, AT M.

COUNTY AUDITOR

DEPUTY

PRINTED NAME:

COUNTY RECORDER

FILE NO. _____

RECEIVED ON THIS DAY OF 2018, AT M.

RECORDED ON THIS DAY OF 2018, AT M.

RECORDED IN PLAT BOOK NO. PAGE NO. _____

LEE: _____

COUNTY RECORDER

DEPUTY

PRINTED NAME:

RIVERSIDE
PHASE THREE
SECTION 1 & 7, TOWN 4, RANGE 3
BETWEEN THE MIAMIS, UNION TOWNSHIP
VILLAGE OF SOUTH LEBANON
WARREN COUNTY, OHIO
RECORD PLAT



Drawing:	13R050-000 RP3 TITLE
Drawn by:	PAH
Checked by:	BRJ
Issue Date:	11-09-18
Sheet:	

1/2

CURVE TABLE				
Curve	Delta	Radius	Length	Chord
C-1	1°50'53"	425.00'	13.71'	N76°46'21"E 13.71'

LOT CURVE TABLE				
Curve	Delta	Radius	Length	Chord
C-2	9°00'00"	25.00'	39.27'	S43°46'13"W 35.36'
C-3	12°13'54"	275.00'	58.71'	S07°20'44"E 58.60'
C-4	11°53'49"	275.00'	57.10'	S19°24'36"E 57.00'
C-5	1°35'22"	325.00'	9.02'	S24°33'49"E 9.02'
C-6	10°30'38"	325.00'	59.62'	S18°30'49"E 59.54'
C-7	10°34'44"	325.00'	60.00'	S07°58'08"E 59.92'
C-8	5°12'33"	325.00'	29.55'	S00°04'29"E 29.54'
C-9	5°11'04"	25.00'	22.39'	S23°07'45"E 21.65'
C-10	30°27'24"	55.00'	28.24'	S33°33'34"E 28.89'
C-11	47°48'07"	55.00'	45.89'	S05°34'11"W 44.57'
C-12	40°15'24"	55.00'	38.64'	S49°35'56"W 37.85'
C-13	43°09'35"	55.00'	41.43'	N88°41'34"W 40.46'
C-14	41°06'44"	55.00'	39.46'	N46°33'25"W 38.62'
C-15	47°00'09"	55.00'	45.12'	N02°29'59"W 43.86'
C-16	32°50'46"	55.00'	31.53'	N37°25'29"E 31.10'
C-17	5°11'04"	25.00'	22.39'	N28°11'20"E 21.65'
C-18	8°30'01"	275.00'	40.80'	N01°43'13"W 40.76'
C-19	18°25'19"	275.00'	88.42'	N15°10'53"W 88.04'
C-20	0°57'57"	275.00'	4.63'	N24°52'32"W 4.64'
C-21	9°45'38"	325.00'	55.36'	N20°28'41"W 55.30'
C-22	10°34'40"	325.00'	60.00'	N10°18'32"W 59.91'
C-23	3°47'25"	325.00'	21.50'	N03°07'30"W 21.50'
C-24	9°00'00"	25.00'	39.27'	N46°13'47"W 35.36'
C-25	5°21'41"	375.00'	35.09'	S86°05'22"W 35.08'
C-26	9°19'11"	375.00'	61.00'	S78°44'56"W 60.93'
C-27	8°08'20"	425.00'	60.00'	N81°44'27"E 59.95'
C-28	2°59'05"	425.00'	22.14'	N87°16'40"E 22.14'

CENTERLINE CURVE TABLE				
Curve	Delta	Radius	Length	Chord
CC-29	13°44'41"	400.00'	95.96'	N81°53'52"E 95.73'
CC-30	24°07'43"	300.00'	126.34'	N13°17'39"W 125.41'
CC-31	27°53'18"	300.00'	146.02'	N11°24'51"W 144.59'

EASEMENT CURVE TABLE				
Curve	Delta	Radius	Length	Chord
EC-32	5°57'17"	340.00'	35.34'	S17°29'58"E 35.32'
EC-33	8°25'07"	70.00'	10.29'	N71°21'23"W 10.28'
EC-34	8°00'29"	70.00'	9.78'	N63°08'35"W 9.78'
EC-35	4°58'20"	440.00'	38.18'	N80°10'58"E 38.17'

Parcel Table		
Parcel #	Acres	S.Ft.
86	0.2146	9346
87	0.1653	7200
88	0.1653	7200
89	0.1869	8142
90	0.1823	7941
91	0.1733	7547
92	0.2043	8898
93	0.2098	9137
94	0.1940	8451
95	0.2361	10285
96	0.3553	15478
97	0.2450	10673
98	0.2510	10934
99	0.1998	8701
100	0.1861	8105
101	0.1925	8385
102	0.1948	8487
103	0.1942	8457
104	0.1991	8672
105	0.1766	7692
106	0.1653	7200
107	0.2146	9346
108	0.1653	7200
109	0.1653	7200
110	0.1704	7423
111	0.2008	8746
112	0.1968	8572
113	0.1742	7587
114	0.1653	7200
115	0.1653	7200
116	0.1653	7200
117	0.1653	7200
118	0.1653	7200
119	0.1653	7200
*E**	10.2496	446472

*OPEN SPACE

TOTAL R/W CURVE TABLE				
Curve	Delta	Radius	Length	Chord
C-36	24°07'43"	275.00'	115.81'	S13°17'39"E 114.95'
C-37	27°53'18"	325.00'	158.19'	S11°24'51"E 156.63'
C-38	282°38'08"	55.00'	271.31'	N87°28'13"W 68.75'
C-39	27°53'18"	275.00'	133.85'	N11°24'51"W 132.54'
C-40	24°07'43"	325.00'	136.86'	N13°17'39"W 135.86'
C-41	14°40'52"	375.00'	96.09'	S81°25'47"W 95.82'
C-42	12°55'19"	425.00'	95.85'	N82°18'33"E 95.65'

SIDWELLS

OLD # 12-01-151-006

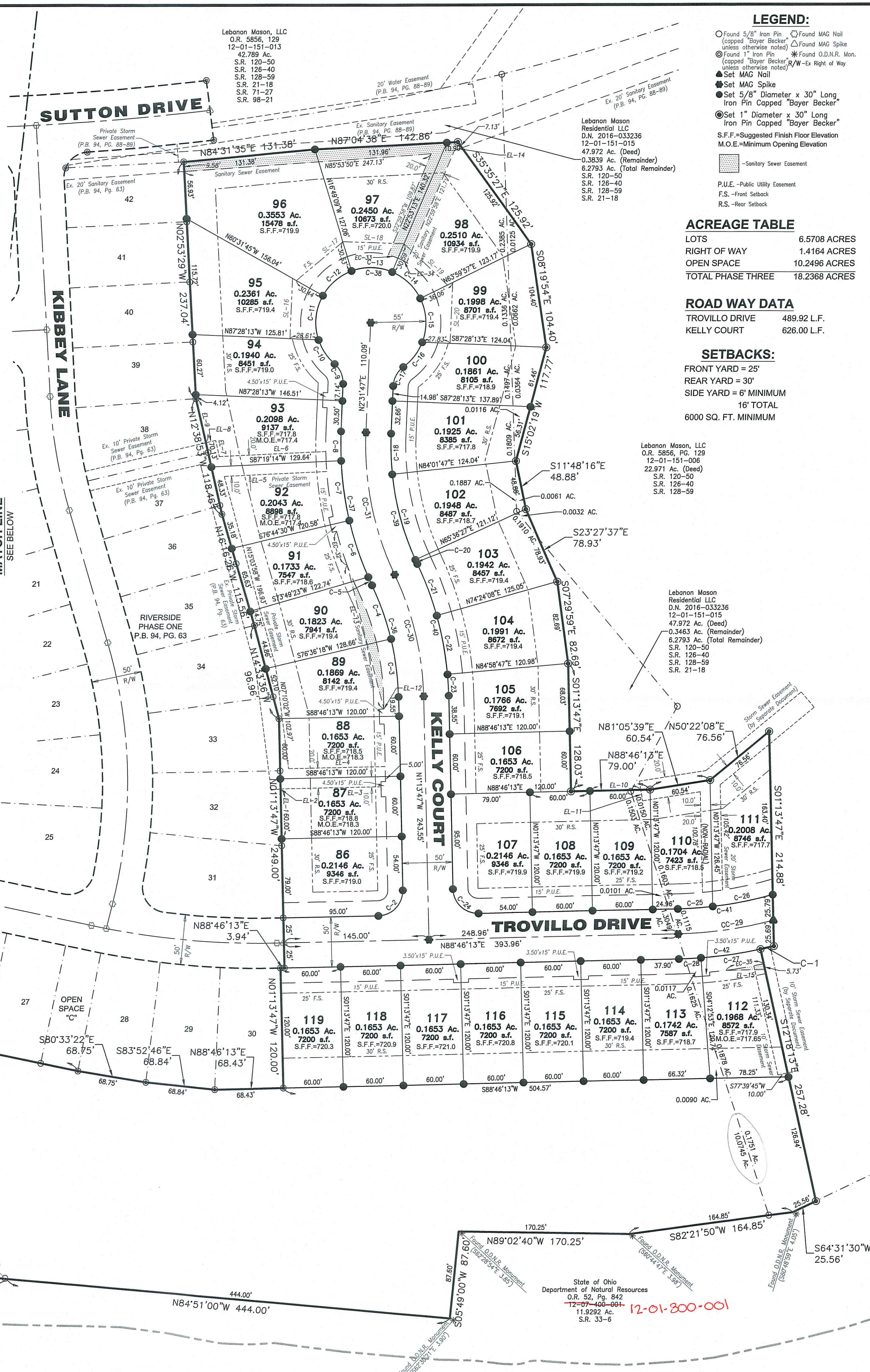
OLD # 12-01-151-015

Line	Direction	Distance
EL-1	N01°13'47"W	50.00'
EL-2	N82°49'58"E	0.02'
EL-3	N88°46'13"E	100.48'
EL-4	N88°46'13"E	96.49'
EL-5	S87°19'14"W	102.35'
EL-6	N87°19'14"E	106.39'
EL-7	N12°38'53"W	16.62'
EL-8	N76°36'39"E	10.00'
EL-9	S12°38'53"E	45.24'
EL-10	N88°46'13"E	50.59'
EL-11	S08°54'21"E	11.26'
EL-12	S01°13'47"E	0.05'
EL-13	S14°11'31"E	148.98'
EL-14	N70°18'56"E	8.01'
EL-15	N88°39'48"E	38.85'

LOT 86	NEW	LOT 87	NEW	LOT 88	NEW	LOT 89	NEW	LOT 90	NEW	LOT 91	NEW	LOT 92	NEW	LOT 93	NEW	LOT 94	NEW	LOT 95	NEW	LOT 96	NEW	LOT 97	NEW	LOT 98	NEW	LOT 99	NEW	LOT 100	NEW	LOT 101	NEW	LOT 102	NEW	LOT 103	NEW	LOT 104	NEW	LOT 105	NEW	LOT 106	NEW	LOT 107	NEW	LOT 108	NEW	LOT 109	NEW	LOT 110	NEW	LOT 111	NEW	LOT 112	NEW	LOT 113	NEW	LOT 114	NEW	LOT 115	NEW	LOT 116	NEW	LOT 117	NEW	LOT 118	NEW	LOT 119	NEW	LOT "E" O/S	REM	R/W 1.4164 ACRES	ACRES	LOT "E"	REM	10.2496 ACRES	ACRES
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EASEMENT LINE TABLE		
Line	Direction	Distance
EL-1	N01°13'47"W	50.00'
EL-2	N82°49'58"E	0.02'
EL-3	N88°46'13"E	100.48'
EL-4	N88°46'13"E	96.49'
EL-5	S87°19'14"W	102.35'
EL-6	N87°19'14"E	106.39'
EL-7	N12°38'53"W	16.62'
EL-8	N76°36'39"E	10.00'
EL-9	S12°38'53"E	45.24'
EL-10	N88°46'13"E	50.59'
EL-11	S08°54'21"E	11.26'
EL-12	S01°13'47"E	0.05'
EL-13	S14°11'31"E	148.98'
EL-14	N70°18'56"E	8.01'
EL-15	N88°39'48"E	38.85'

BUILDING SETBACK LINE TABLE		
Line	Direction	Distance
SL-16	S02°31'47"W	60.24'
SL-17	N50°11'30"E	80.53'
SL-18	S88°09'13"E	61.21'
SL-19	S46°17'51"E	60.00'
SL-20	S02°31'47"W	80.92'



LEGEND:

- Found 5/8" Iron Pin (capped "Bayer Becker" unless otherwise noted)
- Found 1" Iron Pin (capped "Bayer Becker" unless otherwise noted)
- Set MAG Nail
- Set MAG Spike
- Set 5/8" Diameter x 30" Long Iron Pin Capped "Bayer Becker"
- Set 1" Diameter x 30" Long Iron Pin Capped "Bayer Becker"
- S.F.F.=Suggested Finish Floor Elevation
- M.O.E.=Minimum Opening Elevation
- Sanitary Sewer Easement
- P.U.E.=Public Utility Easement
- F.S.=Front Setback
- R.S.=Rear Setback

ACREAGE TABLE	
LOTS	6.5708 ACRES
RIGHT OF WAY	1.4164 ACRES
OPEN SPACE	10.2496 ACRES
TOTAL PHASE THREE	18.2368 ACRES

ROAD WAY DATA	
TROVILLO DRIVE	489.92 L.F.
KELLY COURT	626.00 L.F.

SETBACKS:	
FRONT YARD = 25'	
REAR YARD = 30'	
SIDE YARD = 6' MINIMUM	
6000 SQ. FT. MINIMUM	

LEGEND:

- Found 5/8" Iron Pin (capped "Bayer Becker" unless otherwise noted)
- Found 1" Iron Pin (capped "Bayer Becker" unless otherwise noted)
- Set MAG Nail
- Set MAG Spike
- Set 5/8" Diameter x 30" Long Iron Pin Capped "Bayer Becker"
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SIDE YARD = 6' MINIMUM	
6000 SQ. FT. MINIMUM	

RIVERSIDE PHASE THREE
SECTION 1 & 7, TOWN 4, RANGE 3
BETWEEN THE MAINS, UNION TOWNSHIP
VILLAGE OF SOUTH LEBANON
WARREN COUNTY, OHIO
RECORD PLAT

bayer becker
www.bayerbecker.com
6800 Tyersville Road, Suite A
Mason, OH 45040 - 513.336.6600

Drawing:	13R050-000 RP3
Drawn by:	PAH
Checked by:	BRJ
Issue Date:	11-09-18
Sheet:	2/2

VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission
FROM: Jerry Haddix, Village Administrator
RE: Case 20-08P, Site Plan Review for McDonald's
DATE: April 17, 2020

On the agenda for the April 21st meeting is an application for approval of the site plan, landscape design and signage for the McDonald's restaurant to be located at Corwin Nixon Boulevard on 1.4581 acres on Lot 5 of the Rivers Crossing West Section 2 Subdivision (the "Project") submitted by Permit Solution (the "Applicant") on behalf of McDonald's.

Background

The Project that is the subject of the application is located on 1.4581 acres along the west side of State Route 48. The property is owned by Rivers Crossing Power LLC. The present zoning classification is B-2 General Business District. The proposed Project consists of a 4,073 s.f. restaurant with a drive-thru with access provided by a private access easement from Corwin Nixon Boulevard north of the existing Speedway site.

The site plan has been distributed to various agencies and, to date, we have received comments from Kim Lapensee, our Planning Consultant, and the Choice One Engineering. The Union Township relayed that he had no comments on the site plan.

Zoning Code Analysis

Upon review of the plans, it has been determined that the drawings generally satisfy the Zoning Regulations and Design Guidelines and Standards with the exceptions listed in the attached letter and accompanying site plan approval checklist.

Zoning Process

Pursuant to Article 18 of the Village Zoning Regulations, the development of any new use or construction of any new structures shall require site plan approval prior to construction and/or occupancy. At the first regular meeting at which a site plan proposal is considered, the Commission shall first determine whether to accept the plan for processing. If accepted for processing, the Commission shall review the site plan in relation to applicable standards and regulations, and in relation to the intent and purpose of the Village Zoning Regulations and Design Guidelines and Standards. The Commission shall consider the comments and recommendations from the Village Administrator, the Village Engineer, public safety officials and other reviewing agencies.

If the Commission determines that revisions are necessary to bring the site plan into compliance with applicable standards and regulations, the applicant shall be given the opportunity to submit a revised

site plan. The Commission shall review the revised site plan and application materials within 30 days after the Village received a complete revised site plan application.

The Commission shall make a determination on a site plan based on the requirements and standards in the Zoning Regulations and Design Guidelines and Standards. The Commission is authorized to grant approval, grant approval subject to conditions, or reject a site plan. If the Commission chooses to grant approval subject to conditions, the Commission may waive its right to review the revised plan, and instead authorize the Zoning Administrator, or his designee, to review and recommend approval of the resubmitted plans if all required conditions have been addressed.

If construction is not started within 18 months of final approval of the site plan, the site plan approval becomes null and void and a new application for site plan review shall be required.

Recommendation

Given the width of the lot, the parking spaces and building, the 10 foot landscape buffer is not feasible for this site. With the adjoining commercial uses, a 6-foot buffer as shown on the plans would be adequate. Also, operationally, McDonald's doesn't require a designated loading space as part of their business. Therefore, waiving of this requirement would not be detrimental to the development.

Staff recommends that the Planning Commission grant its approval of the site plan and landscape plan for McDonald's with the following conditions:

Prior to issuance of a zoning permit, the applicant must resubmit the site plan and provide the following information to the Zoning Administrator:

1. Addressing the comments of the Village Engineer and Planning Consultant to the satisfaction of the Village Administrator;
2. Provide the Storm Water Pollution Prevention Plan (SWPPP) and address any review comments from the Warren County Soil & Water Conservation District relative to the SWPPP.

Attachments

Planning Commission Application

Site Plan and Landscape Plan

Plan Review – Kim Lapensee

Choice One Engineering Review Letter

VILLAGE OF SOUTH LEBANON PLANNING COMMISSION APPLICATION

1. Application Type: (check the appropriate box) (all plans must be folded when submitted)

	Draft Plan-Discussion Only		Preliminary PUD
X	Site Plan		Final PUD
X	Landscape Plan		Rezoning
X	Construction Drawings. (Please complete Fee Schedule form on Page 2)		Lot Split
	Preliminary Plat (Please complete Fee Schedule form on Page 2)		Conditional Use
	Final Plat or Replat		Special Meeting
	Right-of-Way Dedication Plat		Other:

(See Page 3 for complete Fee Schedule and Submittal Requirement Information)

2. Development Information:

Development/Business Name: McDonald's Corporation			
Type of Business/Project Description: New Drive-Thru Restaurant			
Location: Rivers Crossing West Rt 48 and 71 South Lebanon,		Size of Building: 4073	
Current Zoning: B-2 General Business District		Rezone to: N/A	
Total Acreage: 1.4581		Acres to be Rezoned: N/A	
Number of Employees: 10-15		Number of Fleet Vehicles: N/A	
Current Owner of the Property		Project Contact (Architect, Engineer, Planner)	
Name: Rivers Crossing Power LLC		Name: Bayer Becker - Enginner	
Address: 738 Corwin Nixon Blvd.		Address: 6900 Tylersville Rd	
City: South Lebanon	State: Ohio	Zip: 45065	City: Mason
			State: Ohio
			Zip:
Telephone:	Fax:	Telephone: 513-492-9835	Fax:
Applicant(s): Permit Solutions - Vanessa Stickel - Main Contact			
Address: 5195 Hampstead Village Center Way			
City: New Albay		State: Ohio	Zip: 43054
Telephone: 330-571-3315		Fax: n/a	
Please Print Applicant's Name Here: <u>Vanessa Stickel</u>			
* Applicant's Signature: <u>Vanessa Stickel</u>			
* Applicant is responsible for payment of all fees (See Fee Schedule and Footnotes on Pages 3 and 4 respectively.)			

TO BE COMPLETED BY THE VILLAGE OF SOUTH LEBANON

Application Number: _____ Date of Planning Commission Meeting: _____

Fee Paid: _____ Drawn: _____ Check #: _____ Date: _____ Initial: _____

Legal Notices Advertised: _____ Mailed to Surrounding Property Owners: _____

3. Rezoning and Preliminary PUD Plan Requests

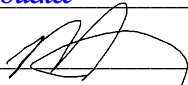
Surrounding Property Owners: Please list the names and addresses of all **Owners of Real Property** within 300 feet of any part of the property as such names and addresses appear on the most recent tax duplicate on 2 sets of mailing labels. (See submittal requirements on page 3).

4. Signatures Required

By signing this application, I attest under penalty of law that all the information given above is correct to the best of my knowledge.

Please **Print** Applicant's Name: Vanessa Stickel - Permit Solutions

Applicant's Signature: Vanessa Stickel Date: March 3, 2020

Property Owner's Signature:  Date: 3/4/20

5. Fee Determination for Construction Drawings and Preliminary Plat Submittals

Please create a detailed breakdown of the estimated infrastructure breakdown cost for the project and attach it to this application. For Construction Drawings complete Item 1 and for Preliminary Plats complete Item 2.

Total Infrastructure Cost \$ 690,279 (A)

1 – Construction Drawing Fee Breakdown

1.25% of Total Infrastructure Cost* (Line A x 0.0125) \$ 8,628.49 (B)

1.50% of Total Infrastructure Cost** (Line A x 0.015) + \$ 10,354.19 (C)

Application Fee + \$ 150.00 (D)

Total Construction Drawing Fee (Line B + C + D) \$ 19,132.68 (E)

2 – Preliminary Plat Fee Breakdown:

0.25% of Total Infrastructure Cost* (Line A x 0.0025) \$ _____ (F)

Application Fee + \$ 150.00 (G)

Total Preliminary Plat Fee (Line F + G) \$ _____ (H)

Total Paid with Application/Submittals (Line E+H) \$ _____

* Due upon submittal

** Due prior to construction

6. Fee Schedule and Submittal Requirements

Article/Ord. Reference	Item	Fees ⁽³⁾⁽⁴⁾	Submittal Requirements
Article 20 Article 14	Preliminary Plats Final PUDs	\$150 + 0.25% of estimated infrastructure construction costs ⁽¹⁾	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 20	Construction Drawings	\$150 + 2.75% of estimated infrastructure construction costs ⁽¹⁾ (Include estimate with application) (1.25% due at time of submittal and 1.5% due before construction begins) ⁽²⁾	4 Copies ⁽⁵⁾ 2 Drainage Calculations 2 Detailed Spreadsheet of the Estimated Infrastructure Costs
Article 20	Final / Dedication Plats	\$350	10 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 20	Lot Split / Minor Subdivision / Replats	\$75 per lot	3 Survey Plats ⁽⁵⁾ & Legal Descriptions 1 New Deed + 1 Original Deed
Article 18	Site Plans	\$400 + \$5 per unit Multi-family \$400 + \$20 per acre Commercial/ Office/Industrial/Institutional	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 17	Landscape Plans	\$150 + \$10 per acre	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 7	Zoning District Map Change Zoning Text Change	\$400 + \$10 per acre	20 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 2 Sets of Mailing Labels
Article 5	Variances / Appeals	\$400	8 Copies + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 1 Set of Mailing Labels
Article 14	Preliminary PUD Plans	\$2,500 + \$20 per acre	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 2 Sets of Mailing Labels
Article 14	Final PUD Plans	Site Plan Review Fees Apply	Site Plan Review Submittal Requirements Apply
Article 6	Conditional Use / Similar Use	\$250 + applicable site plan fee	15 Copies + 1 Copy Ledger Paper ⁽⁵⁾
Article 3	Zoning Permit	\$250 + \$0.03 per square foot of building area (Village water tap and inspection fee required if utilizing Village Water [proof of payment of County tap fee if utilizing County Water]; Village sewer tap and inspection fee also required)	5 Copies
Article 3	Temporary Use Permit	\$50	5 Copies
Article 3	Certificate of Occupancy	\$50	3 Copies
Ord. No: 2008-14; Permit App.	Flood Hazard Area Development Permit	\$50	3 Copies of Permit Application w/ applicable submittal requirements (stated on Page 2 of 2 of Permit Application + Engineering "No Rise" Certification (if applicable))
	Special Meeting	\$500 + Application Fee, if any ⁽⁶⁾	Depends Upon Type of Application or Meeting Requested

FOOTNOTES TO FEE SCHEDULE

- (1) Infrastructure construction costs include all infrastructure costs associated with a development including, but not limited to, drainage facilities, sanitary sewers, waterlines, grading, excavation, and street improvements.
- (2) Any inspection conducted outside the normal eight-hour workday of Monday through Friday, excluding holidays, 8:00 a.m. until 4:30 p.m., shall be charged at one and a half (1.5) times the standard rate. The Village reserves the right to charge fees in addition to the fees specified in the table above if, due to the applicant's responsibility, excessive review and/or field inspections are necessary, and as determined by the Village Engineer. Such fees for review and field inspection by Village staff shall be charged at the standard rate of forty dollars (\$40) per hour, plus a three-fourths (.75) hour charge for travel time. Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. Performance and maintenance bonds will not be released until payment of all fees is received.
- (3) Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. The applicant shall pay the difference when consultant fees charged to the Village are in excess of the established Fee Schedule base amounts. Final approvals will be held until all fees charged by consultants are paid-in-full by the applicant.
- (4) The fee for review of a revised application shall be sixty (60) percent of the fee specified for the initial or first review of such application.
- (5) All plans must be folded to fit a legal sized file folder with the title showing in the lower right-hand corner.
- (6) Special meetings that require one or more of the Village's consultants to attend shall require payment of the special meeting fee before the meeting is scheduled. Examples of special meetings include staff meetings and non-scheduled Planning Commission meetings requested by an applicant and/or developer.

1. Complete applications submitted by the deadlines posted above will be processed and placed on the next regularly scheduled Planning Commission meeting.
2. Incomplete applications or applications that do not comply with the minimum Village Zoning Ordinance and/or Subdivision Regulations or applications that are not submitted by the above posted deadlines will not be placed on the next regularly scheduled Planning Commission meeting agenda.
3. The applicant will be notified if his or her application is not accepted for processing. The Village Administrator and/or Zoning Administrator will discuss the reasons why the application was not accepted and the necessary steps required to meet the next meeting deadline.
4. Applicants may request a special Planning Commission meeting. Requests should be made with the Village Administrator at least two weeks in advance of the requested special meeting date. The meeting will be set if approved by the Planning Commission chairperson and if a quorum can be present. A \$500 fee plus applicable application fee must be paid in advance of the meeting (See Fee Schedule and Footnotes to Fee Schedule).
5. Meeting dates are subject to change due to unforeseen scheduling conflicts and holidays. Applicants should call the Village to check meeting dates in advance of the application deadlines.



Location: McDonald's New Build - Rivers Crossing West Rt 48 and 71 South Lebanon

Infrastructure Cost Breakdown

Div 22 Plumbing Site	\$9,450
Div 26 Electrical	\$53,387
Div 31 Earthwork	\$15,750
Div 32 Exterior Improvements	\$297,982
Div 33 Utilities	\$313,710
Total	\$690,279

Staff Report for McDonalds Site Plan

Project Description

McDonalds has submitted a site plan for the property located on Corwin Nixon Blvd, South Lebanon, Ohio. Lot 5 is 1.458 acres in size. They are proposing to build a McDonalds that will be 3,960 sf in size (90 X 44). The restaurant will have two drive-thru stack lanes (as you wrap around the building) on the north side of the building and three drive-up windows on the south side of the building.

Parcel Description

The parcel number is 12023350040 and is located in the Kings School District. This is an existing vacant parcel that was split into 4 lots – this being lot 5 of the River Crossing West Section 2 Subdivision. This parcel is located along the west side of State Route 48 just south of the I-71 ramp.

Zoning

The parcel is zoned B-2 General Business District which allows for general business uses such as the following:

- Animal Hospitals/Kennels;
- Automotive, mobile home, farm implement, sales, service, rental or lease establishments;
- Building and related trades, including sales areas;
- Business or professional offices;
- Car washes;
- Churches and similar places of worship;
- Financial institutions;
- Home furnishings sales/rental/repair;
- Medical clinics;
- Motels and hotels;
- Motion picture theaters, indoor or outdoor printing, copying and publishing establishments;
- **Restaurants;**
- Retail stores including those which sell petroleum products and may do on-site servicing or repair work;
- Service businesses which may do on-site installation or repair work;
- Studios, salons and health clubs;

Existing Requirements B-2 District

- Max height – 35'-0". **Height shown on the plans – 19'-0".**
- Front Yard – 20'-0"; **Front yard 205'-0".**
- Side Yard – 10'-0"; **Side yard 54'-0" on the south, 60'-0" north side.**
- Rear Yard – 20'-0"; **Rear yard 105'-0".**
- Min Lot Size – 8,000 sf; **The lot is 1.458 acres in size (63,515 sf).**
- Frontage – 60'-0". **The lot has 160 feet of frontage on SR48 and 160 feet on the private drive.**

Parking Requirements

- All parking spaces must be at least 162 sf in size. **The spaces measure 9 X 20 = 180 sf.**
- Parking lots can be no closer than 3 feet to the property line. **The parking areas are setback 5'-0" on both sides of the lot and 30'-0" to the east facing SR48.**
- Parking lots can be located in required yards with property screening. **There is screening provided down both sides of the parking lot and along the frontage of SR48.**
- Parking lots must be a hard surface, graded and drained with parking barriers.
- If more than 20 spaces, they must be marked.
- Circulation signage is permitted.
- If the parking lot is lighted, it must be illuminated away from any residential districts. **There are 8 proposed lights surrounding the perimeter of the paved area.**
- 15.12.5; Off-Street Storage Area for Drive-In Services – restaurants with drive-up windows that can serve customers in 3 minutes or less shall provide no less than 3 storage space per window. **There are 15 spaces required. There are one/two areas that can hold approximately 16 cars as it wraps around the building with 3 additional spaces after the drive-up windows.**
- 15.12.7; Required parking spaces – 1 for each 200 sf and 1 for each 2 employees. **51 parking spaces are shown on the plan. The building is 3,960 sf and 20 spaces would be required + parking for employees.**
- 15.12.8; Handicapped parking spaces – 1 space per 25 spaces. **2 spaces are required and there are 3 shown on the plan.**
- 15.12.10; Off-street loading – 1 space is required if the building is over 3,000 sf. plus one additional if over 10,000. **There is one loading space required. Loading space must be 12 wide, 65 feet in length and have a vertical clearance of 14 feet. There is none shown on the plans; however, one could be accommodated between the drive-up**

stack area and the last window near the handicapped parking area.

Signage

- Signs can be illuminated. **There is one monument sign along SR48 shown on the site plan.**
- No flashing lights are permitted.
- Signs must be setback at least 10'-0" from the ROW. **Signs are located outside the ROW and setback 30'-0" from SR48 and 10'-0" from the side yard on the south side of the building.**
- Building signs must be within the wall space.
- Free-standing signs cannot exceed 28'-0" in height in the business district. **There are no free-standing signs.**
- Ground signs cannot exceed 8'-0" in height. **Monument sign proposed will be 11'-7" X 5 and will be an electronic message board. The base cannot exceed 3'-0" in height.**
- Businesses and other permitted uses having street frontage of 100 linear feet or more shall not exceed 150 square feet of sign surface area. **The surface area of the monument sign totals 58 sf. The directional signage totals 12 sf. It is unclear how many feet the ordering boards (4) will be in size around the drive-thru area.**
- Businesses and other permissible uses may include variable message centers on the freestanding sign, provided that running copy is not displayed and maximum flash rate shall not exceed one (1) line in four (4) seconds, or two (2) lines in seven (7) seconds, or three (3) or more lines in ten (10) seconds. **There are 2 electronic message boards shown on the site plan that will be located in the drive-thru areas along with 2 additional menu signs.**
- Building signs: Any business or other permissible uses shall be permitted 1.5 square foot of building sign surface area for each foot or building frontage as measured along the length of the building façade that fronts the principal dedicated street, or the façade that contains the main entrance to the building. For other building frontage, signs may not exceed 75 square feet of sign surface area. **There are 5 building signs shown on these plans that total 108 sf. Total building frontage is 160 lf X 1.5 = 240 sf permitted wall signs.**

Landscaping

- All unpaved areas must be planted with grass, ground cover, trees or shrubs. 5% of the lot must be landscaped – 3,175 sf. **7,010 sf of area will be landscaped with trees and bushes and the remaining areas outside of the parking areas will be lawn.**

- 15.17.5; All parking lots must be screened and the screen must be 10'-0" wide with a 30" continuous screen planting or decorative wall. There must be 1 deciduous tree per 30 lineal feet. There is 230 linear feet by 6'-0" area along the parking lot side of the lot (south) shown on the plans for landscaping. **8 trees are needed with a continuous screen – 8 trees (Sweet Gum and Honey Locust) and 38 shrubs that are shown along the south side of the parking lot. There are 15 total trees and 40 shrubs shown on the north side with roughly the same length of parking lot. The width of the screening is 4'-0" less than required.**
- 15.17.8; Commercial landscaping adjacent to the ROW. Arterials "A" – 20'-0" width, 30" high – must contain 1 tree and 6 shrubs for every 30 lineal feet of frontage. **6 trees and 36 shrubs are required along State Route 48 – 8 trees are shown with 33 bushes across State Route 48 but they are located along the sides of the parking areas and not along the entire frontage.**
- Dumpsters must be screened and must be located in the side or rear yard with 6'-0" tall screen. **Site plan indicates that the dumpster is located in the front yard and is screened on all 3 sides with a gate.**
- 1 deciduous shade tree is required for every 300 sf of required interior parking lot landscaping area. 1 tree shall be planted and included in each landscaping island and 1 shrub shall be provided for every 250 sf of required interior landscaping area. **There are 3 trees and 23 shrubs shown next to the building. The island between the stack lane/order areas is planted with 9 bushes.**

Items to Consider

- Sidewalks along State Route 48 for pedestrian safety and a crosswalk at the light.
- Cross access easements for access on the private drive and a maintenance document that determines who pays for maintenance.
- It is recommended that all lots share one large sign for the lots being developed or have the same size signage along State Route 48 for uniformity.
- It is recommended that all lots (businesses) along SR48 have similar landscaping features so that it draws your eye to the buildings and there is a uniformity along SR48 that is unique to South Lebanon.



Date

March 23, 2020

Attention

Jerry Haddix
Village Administrator

Address

Village of South Lebanon
99 High Street
South Lebanon, OH 45065

Subject

Summary of Review #1 Rivers Crossing West – McDonald's
South Lebanon, Ohio

Dear Mr. Haddix:

Enclosed is a summary of our review of the McDonald's Site Plan.

Site Plan

1. Loading space will subtract 8 parking spaces. Clarify when loading space will be in use.

Utility Plan

1. It appears there is a typo on the proposed 4" sanitary sewer lateral. 695.50 would put it 26' above the building elevation.
2. Show 100-year overland flood routing on this sheet or on grading plan.

SWPPP

1. Site disturbance is over 1 acre. Provide Village copy of approved NOI.
2. Standalone SWPPP is required. Erosion control notes/details on site plan/grading plan are not acceptable.

Lighting Plan

1. Foot-candles at adjacent property lines exceed allowable limits. Per Section 15.18.21.14 of Village zoning code, exterior lighting shall be decided so that it is deflected away from adjoining properties.

Storm Sewer

1. Storm pipes are to have a minimum inside diameter of 12" (not including downspout lines). Pipes from structure 5 and 7 need upsized from 8" to 12"
2. UG Detention callout lists 100-yr elevation at 662.06, where it should be 666.06.
3. Has an MR505 been obtained from ODOT for the outlet of the storm system into SR 48 R/W and the grading modifications?

Thank you for the opportunity to review the plans and suggest our comments.

Sincerely,

Nicholas J. Selhorst, P.E.

West Central Ohio
440 E. Hoewisher Rd.
Sidney, OH 45365
937.497.0200 Phone

S. Ohio/N. Kentucky
203 W. Loveland Ave.
Loveland, OH 45140
513.239.8554 Phone

Eastern Indiana
607 N. Meridian St.
Portland, IN 47371
260.766.2500 Phone



McDONALD'S USA, LLC

L/C# 34-2068

RIVERS CROSSING WEST VILLAGE OF SOUTH LEBANON WARREN COUNTY, OHIO



VICINITY MAP - NTS

SITE SUMMARY

BOUNDARY AND TOPOGRAPHIC INFORMATION ARE BASED ON FIELD SURVEY PERFORMED BY BAYER BECKER 9-16-19.

LOT ACREAGE: 43720 SF (1.0037 ACRES)

EXISTING ZONING: "B-2" (General Business)

MINIMUM LOT AREA: 8,000 S.F.

MINIMUM LOT FRONTAGE: 60'

MINIMUM FRONT YARD DEPTH: 20'

SIDE YARD DEPTH: 10'

MINIMUM REAR YARD DEPTH: 20'

MAXIMUM BUILDING HEIGHT: 35'

PRIVATE ACCESS DRIVE TO BE BUILT AT 29' WIDE B/C TO B/C

LANDSCAPE AREA REQUIRED: 5% OF TOTAL LOT AREA = 2,186 SF

1 TREE PER 400 SF OF REQUIRED

1 SHRUB PER 250 SF OF REQUIRED

LANDSCAPING ADJACENT TO SR 48 RIGHT OF WAY MAY REQUIRE A 30' WIDE SCREEN BUFFER, 3' HIGH, WITH 1 TREE AND 6 SHRUBS EVERY 30' ALONG FRONTAGE.

PROPOSED USE: FAST FOOD RESTAURANT WITH DRIVE THRU

PROPOSED SITE:
GROSS FLOOR AREA: 4073 SQUARE FEET

PARKING CALCULATIONS:

PARKING SETBACKS:
FRONT: 3' REAR: 3'
LEFT: 0' RIGHT: 0'

PROVIDED PARKING = 51 SPACES (INCLUDING 3 ACCESSIBLE)

REQUIRED ACCESSIBLE SPACES FOR 51 TO 75 TOTAL SPACES = 3 SPACES

UTILITY COMPANIES

Gas
Duke Energy
Contact: Tony Giska
Tony.Giska@duke-energy.com
5445 Audio Drive
Cincinnati, OH 45247
513-287-4667

Sanitary Sewer
Village of South Lebanon
Contact: Jerry Haddix
10 N High Street
South Lebanon, OH 45065
513-770-4871

Water Main
Village of South Lebanon
99 High Street
South Lebanon, OH 45065
513-4942296

Storm
Village of South Lebanon
99 High Street
South Lebanon, OH 45065
513-4942296

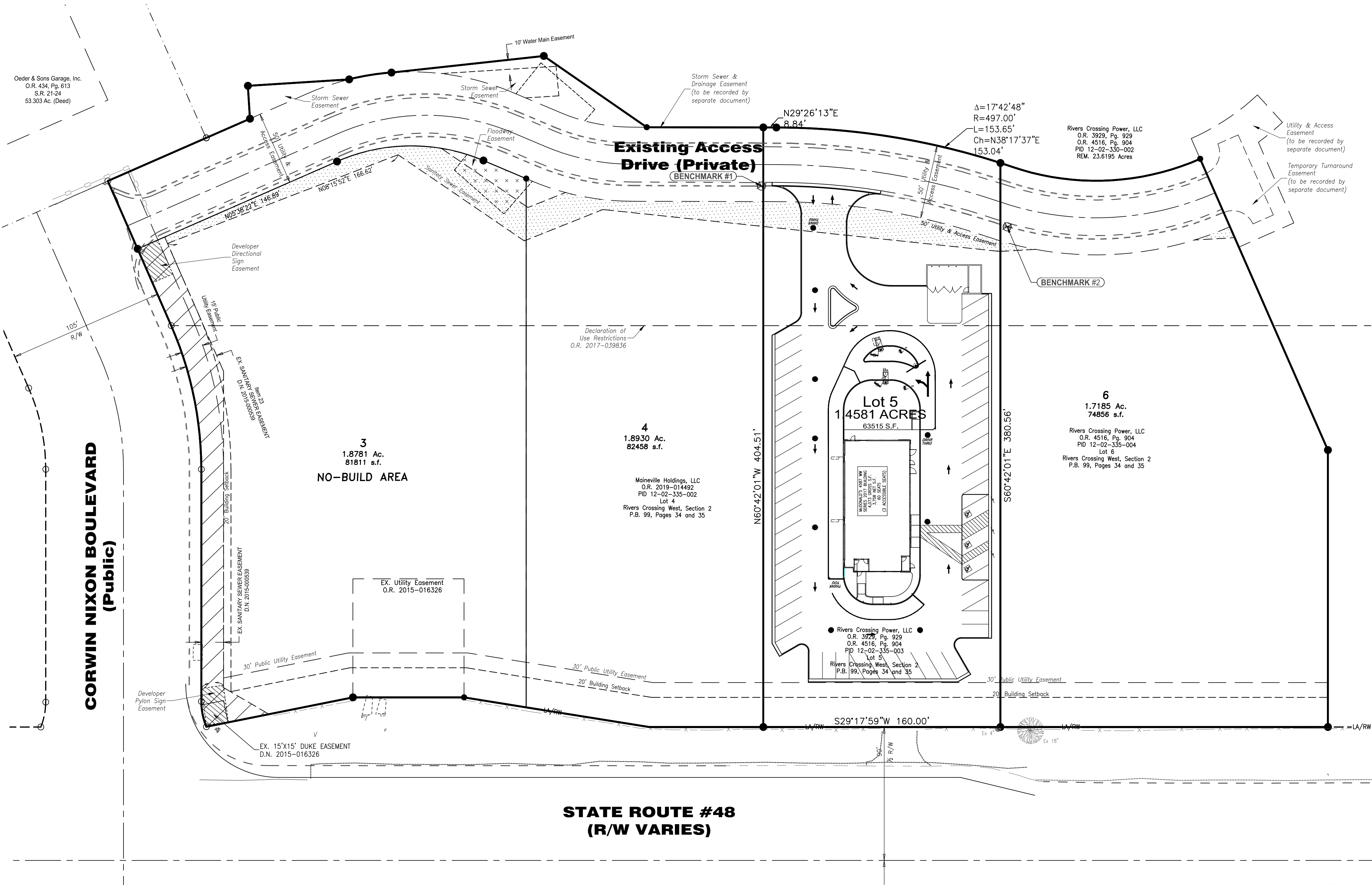
Electric
Duke Energy
Contact: Greg Finley
Gregory.Finley@duke-energy.com
5445 Audio Drive
Cincinnati, OH 45247
513-287-1104

Telephone
AT&T
3233 Woodman Drive
Dayton, OH 45420
937-296-7066

Cable TV
Time Warner Cable
11254 Cornell Park Drive
Cincinnati, OH 45242
513-489-5957

SHEET INDEX

C1.0	TITLE SHEET
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	SITE DETAILS
C3.2	SITE DETAILS
C3.3	DRIVE THRU DETAILS
C4.0	UTILITY PLAN
C4.1	UTILITY DETAILS
C4.2	UTILITY DETAILS
C5.0	GRADING PLAN
C5.1	EROSION DETAILS
L1.0	PLANTING PLAN
L2.0	PLANTING NOTES & DETAILS



CIVIL ENGINEER, SURVEYOR & LANDSCAPE ARCHITECTURE

BAYER BECKER
6900 TYLERSVILLE ROAD, SUITE A
MASON, OHIO 45040
513-336-6600

OWNER

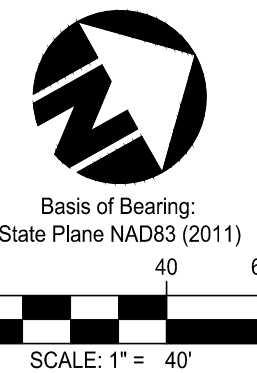
McDONALD'S CORPORATION
2 EASTON OVAL, SUITE 200
COLUMBUS, OHIO 43219

BENCHMARK #1

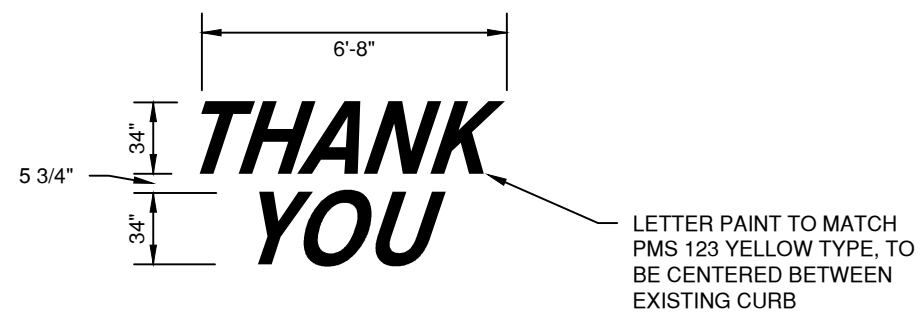
A cross notch located along the back of existing curb on the east side of the existing private access drive, 10.4' southwest of an existing storm manhole and 42.8' southwest of an existing water valve.
Elevation=667.81

BENCHMARK #2

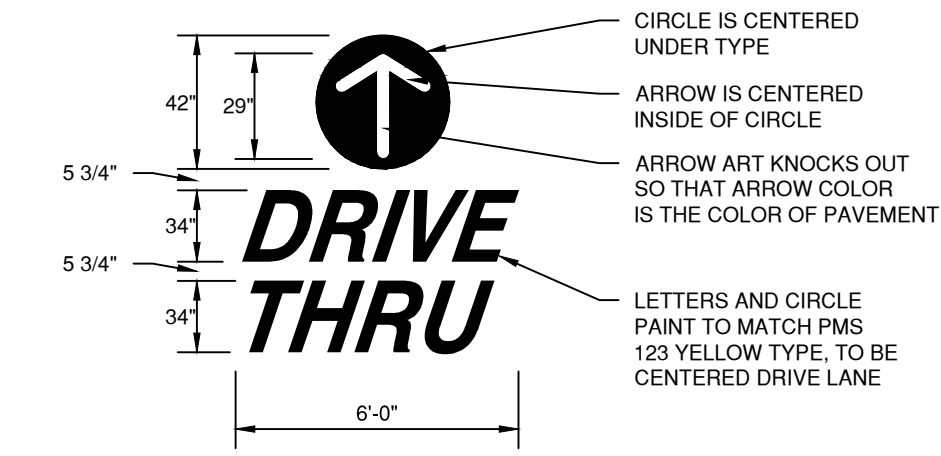
A cross notch located along the back of existing curb on the east side of the existing private access drive, 2.3' north of the center of an existing catch basin and 7.3' northwest of an existing sanitary manhole.
Elevation=672.88



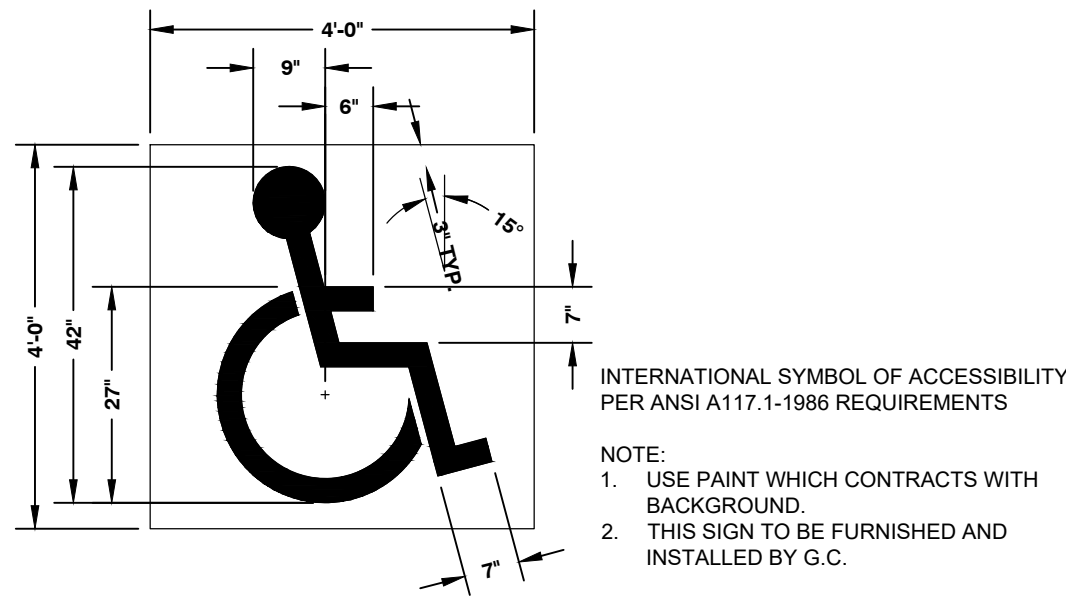
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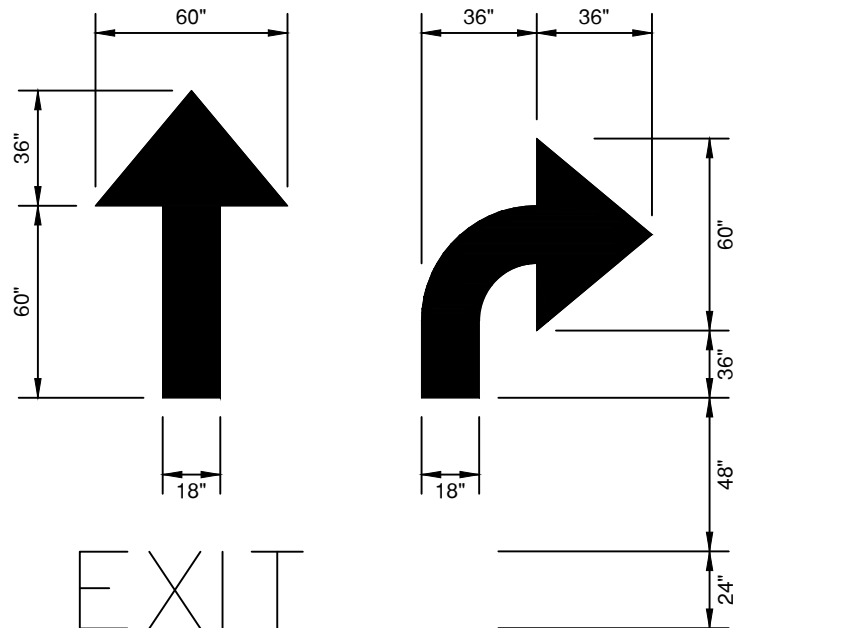
END OF PATH THANK YOU
NOT TO SCALE



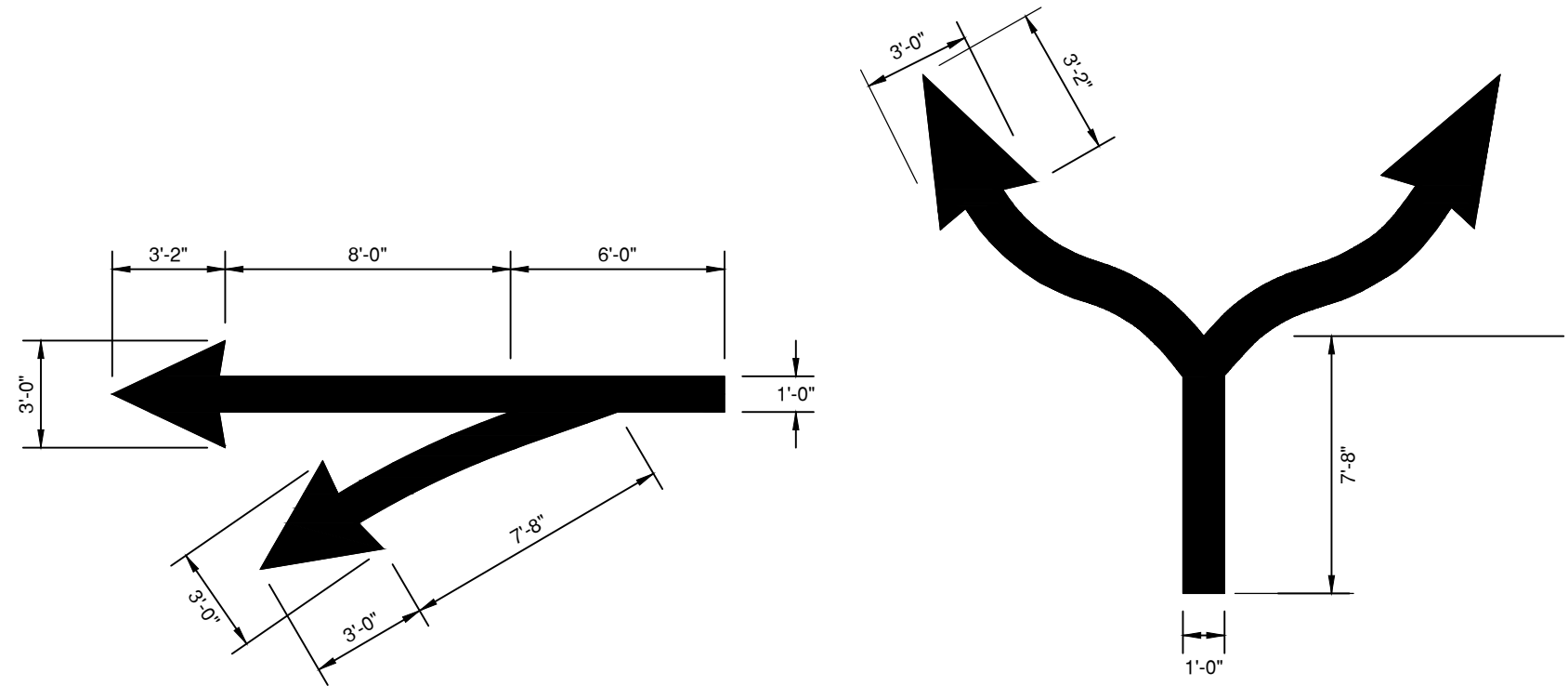
DRIVE THRU WITH ARROW
NOT TO SCALE



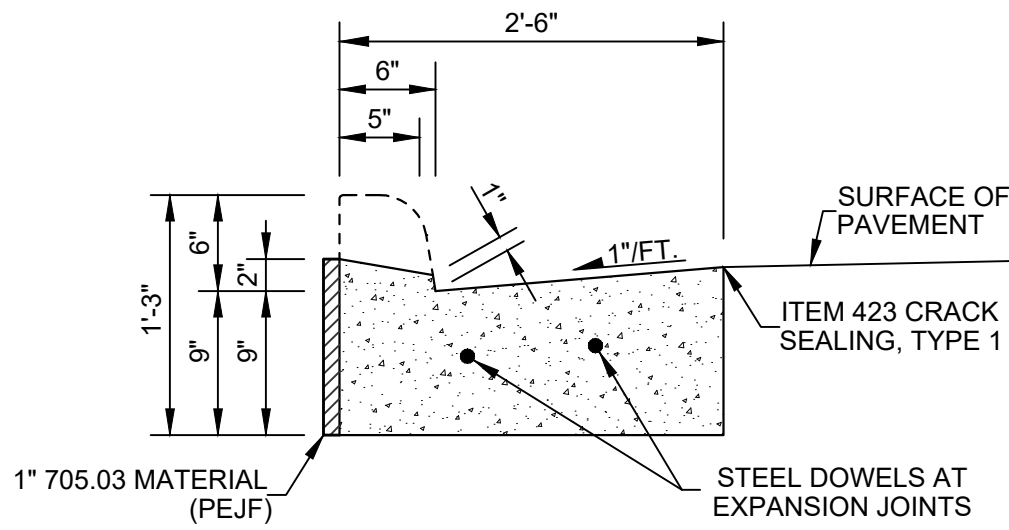
**PAINTED HANDICAP
PARKING SYMBOL**
NOT TO SCALE



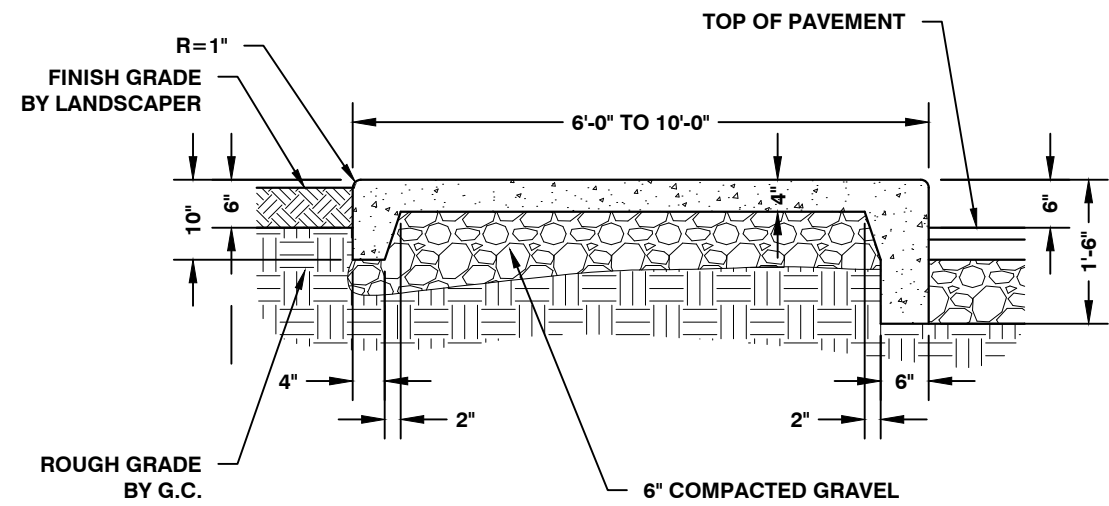
LANE ARROWS
NOT TO SCALE



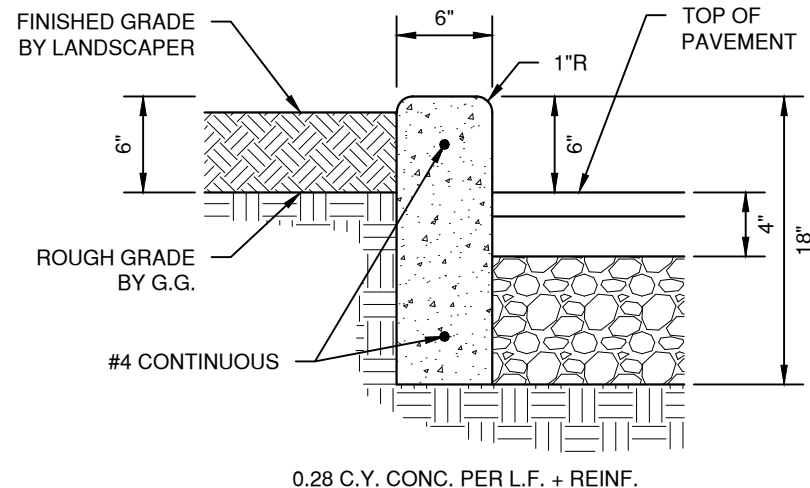
DOUBLE HEADED DRIVE-THRU ARROWS
NOT TO SCALE



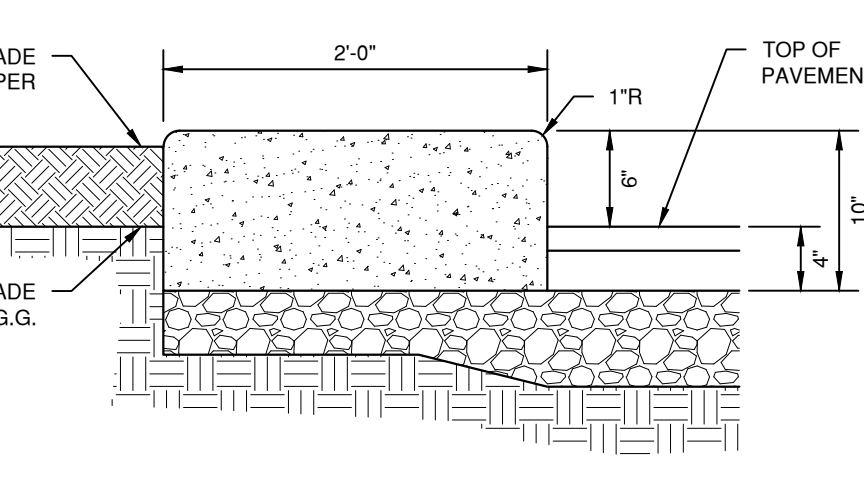
DEPRESSED 30" WIDE CURB DETAIL
NOT TO SCALE



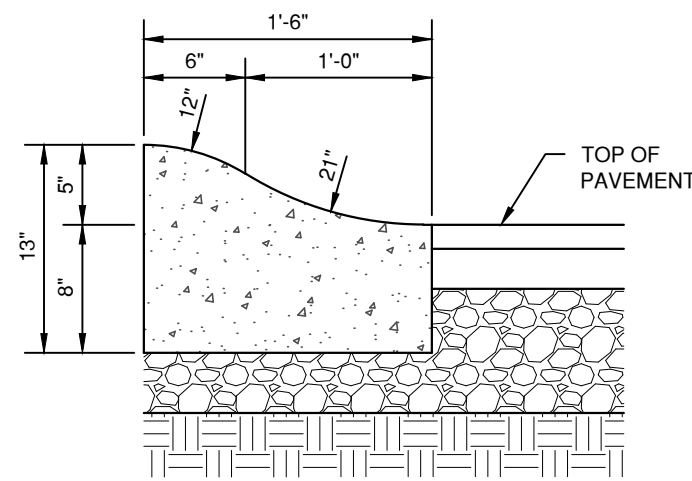
CONCRETE WALK & CURB DETAIL
NOT TO SCALE



6" CONCRETE CURB
NOT TO SCALE

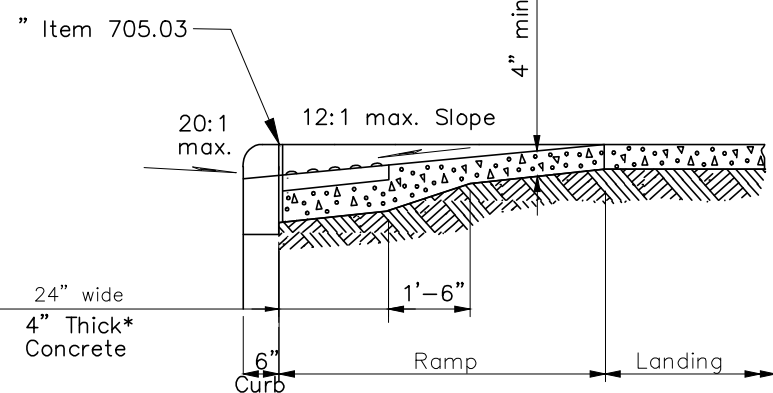


24" CONCRETE CURB
NOT TO SCALE

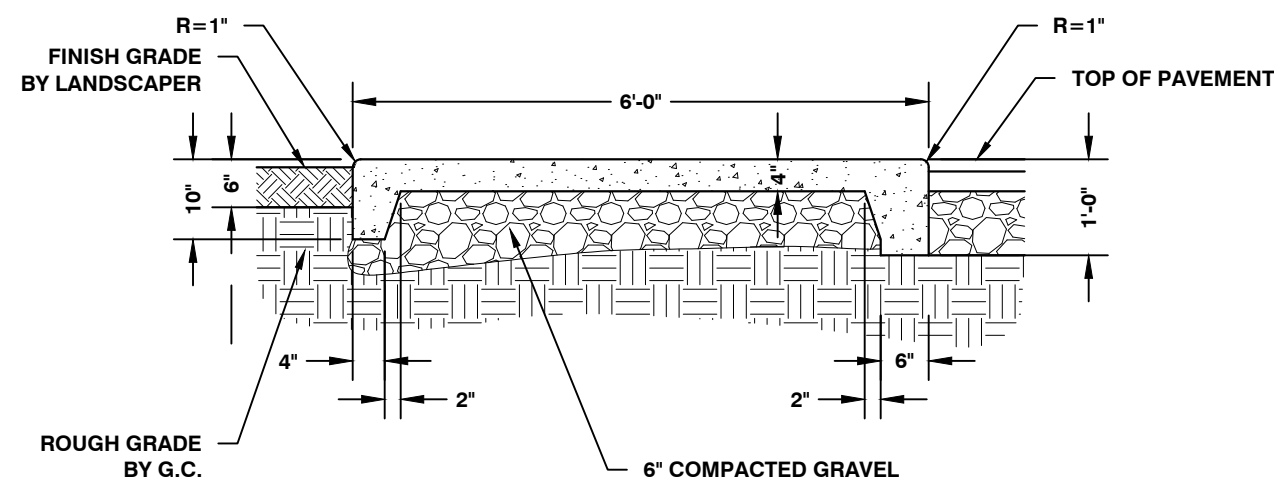


1'-6" CONCRETE ROLL CURB
NOT TO SCALE

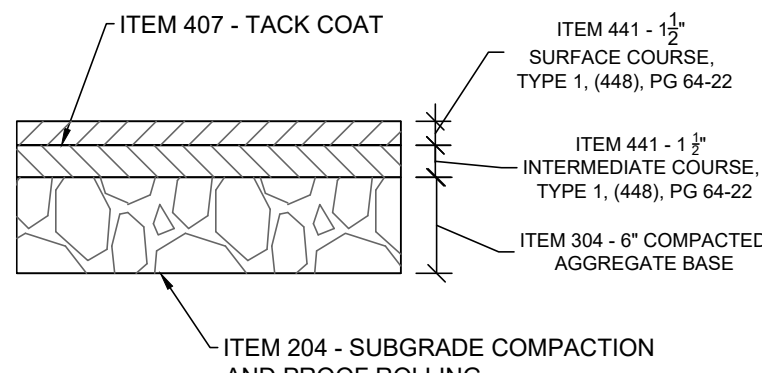
NOTE:
TRANSITION FROM STANDARD CURB SECTION TO BE
MADE 18" FROM THE BEGINNING AND END OF THE
DEPRESSED CURB LOCATIONS MARKED ON THE PLAN.



Section A-A
NORMAL DETAIL

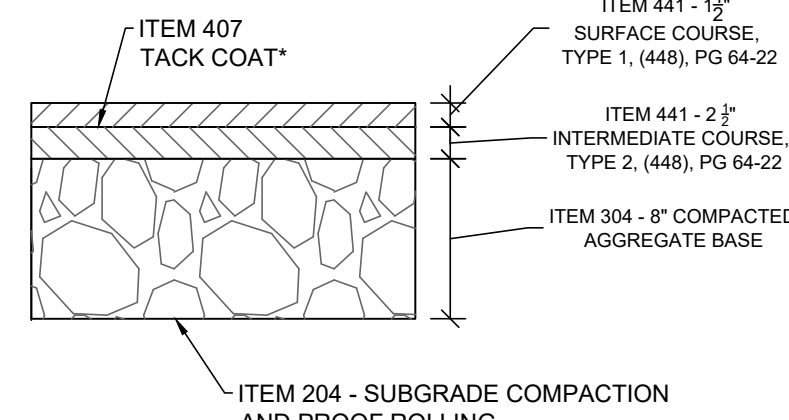


FLUSH WALK & CURB DETAIL
NOT TO SCALE



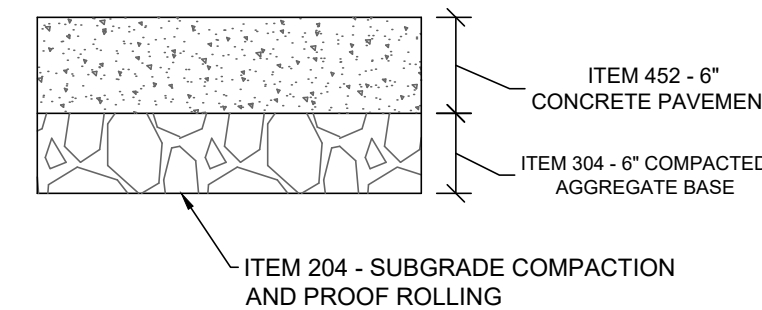
LIGHT DUTY ASPHALT

*ITEM 407 - TACK COAT TO BE PLACED BETWEEN ASPHALT
LAYERS WHEN PAVEMENT HAS BEEN SUBJECTED TO
TRAFFIC BEFORE UPPER LAYERS OF ASPHALT ARE PLACED.
APPLICATION RATE TO BE A MINIMUM OF 0.100 GAL/SQ YD.

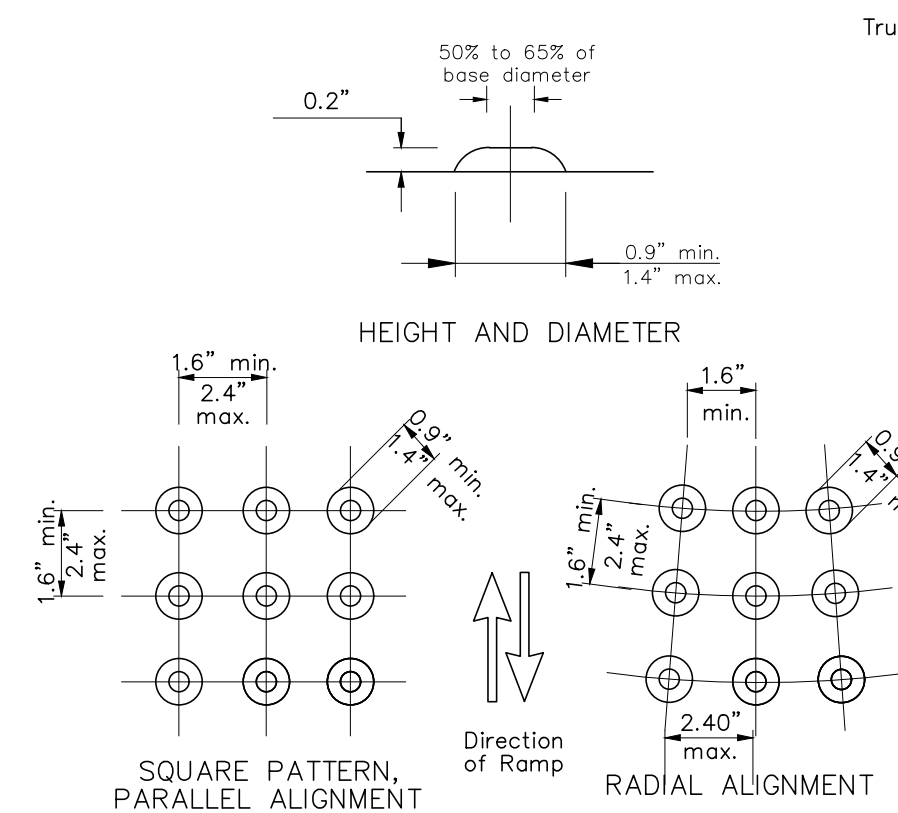


HEAVY DUTY ASPHALT

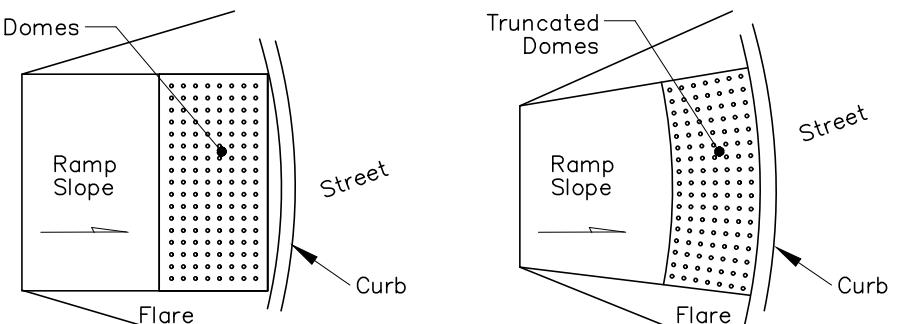
*ITEM 407 - TACK COAT TO BE PLACED BETWEEN ASPHALT
LAYERS WHEN PAVEMENT HAS BEEN SUBJECTED TO
TRAFFIC BEFORE UPPER LAYERS OF ASPHALT ARE PLACED.
APPLICATION RATE TO BE A MINIMUM OF 0.100 GAL/SQ YD.



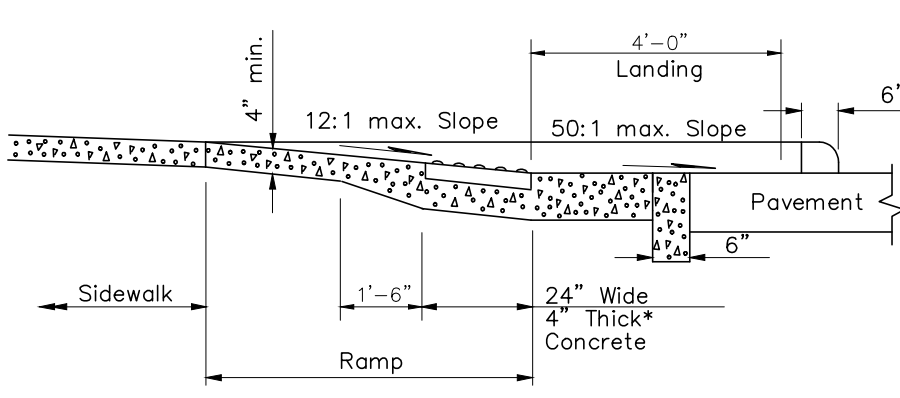
CONCRETE PAVEMENT



TRUNCATED DOMES DETAILS

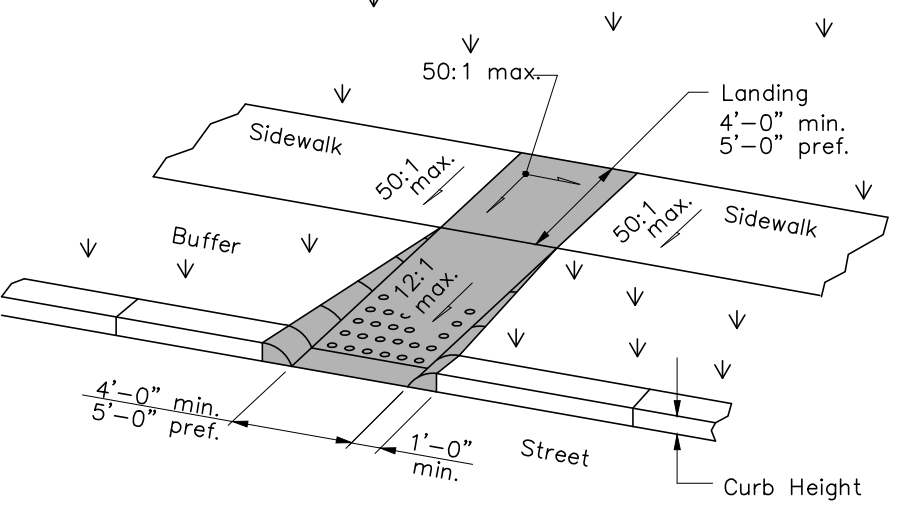


DOMES ALIGNMENT ON RADIUSED CURB

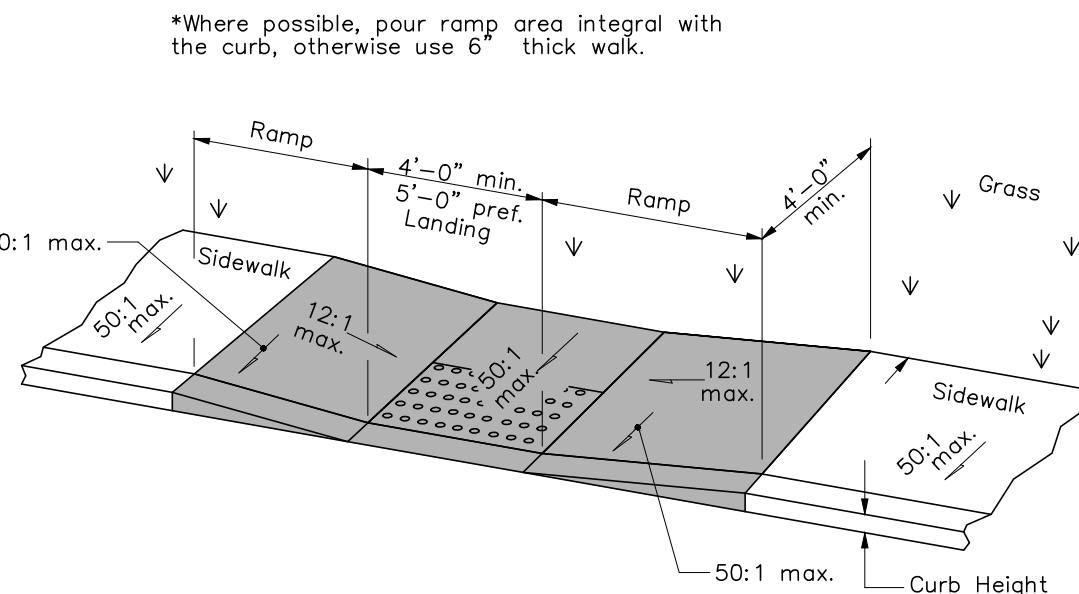


SECTION D-D

*Where possible, pour ramp area integral with
the curb, otherwise use 6" thick walk.



**PERPENDICULAR CURB
RAMP DETAILS**
NOT TO SCALE

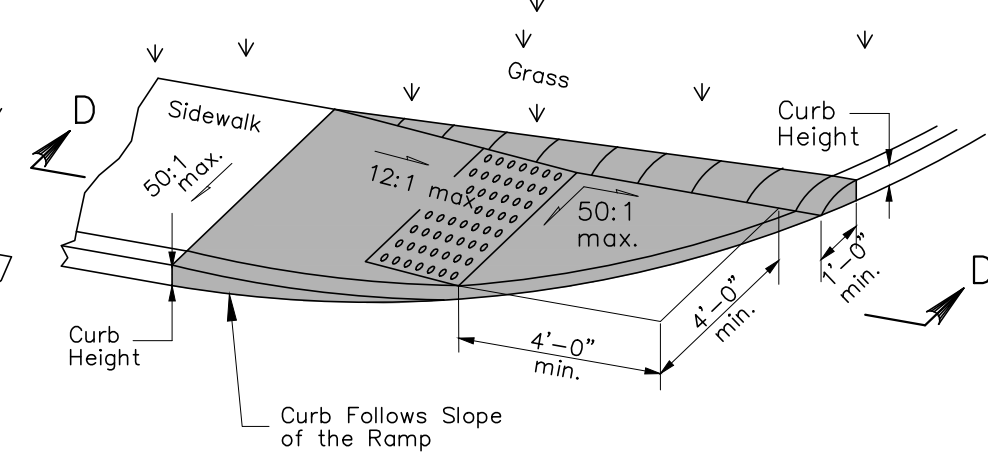


**PARALLEL CURB
RAMP DETAILS**
NOT TO SCALE

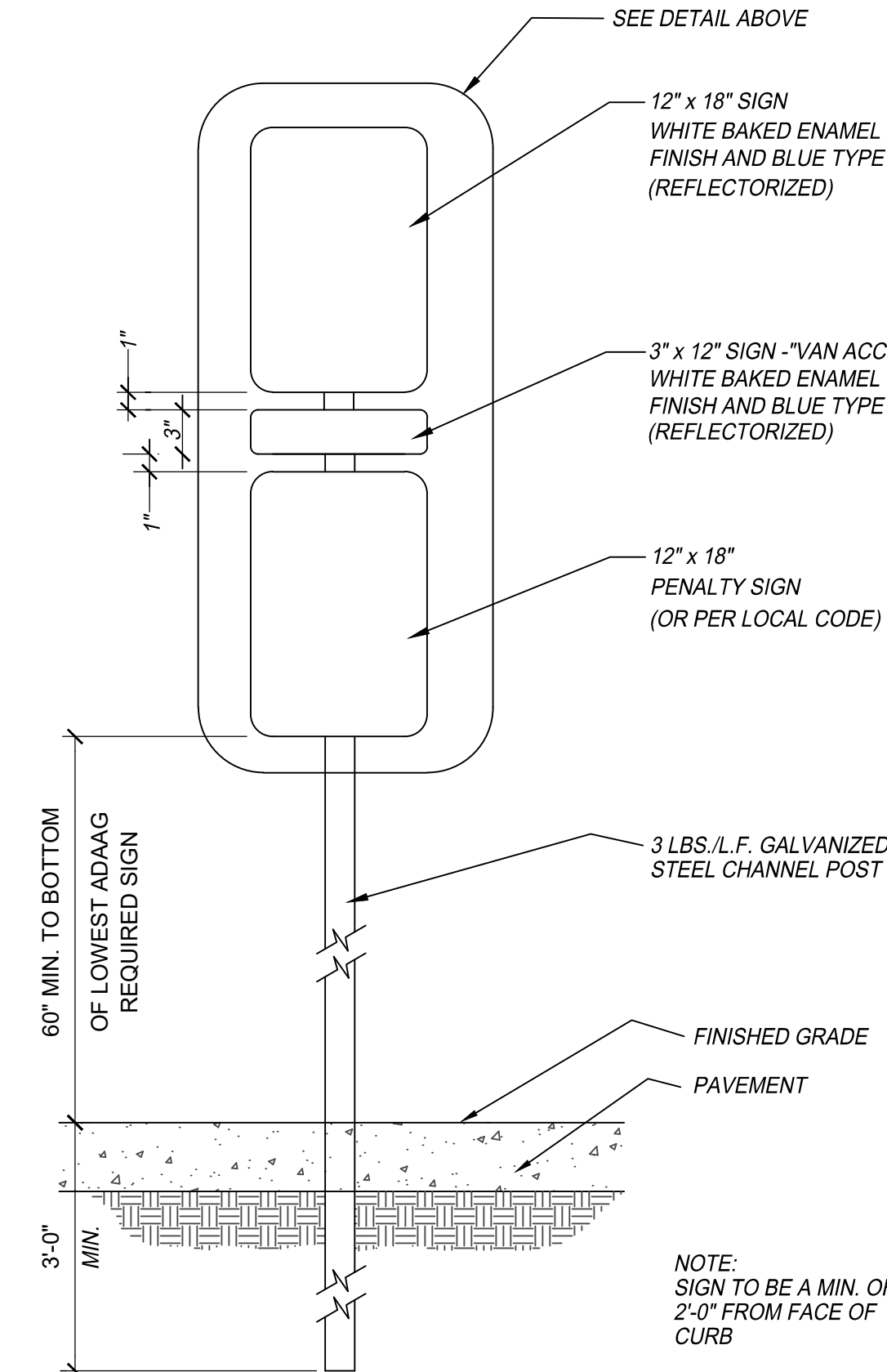
CURB RAMP NOTES
DRAINAGE: Contractor is to ensure the base of each constructed curb ramp allows for proper drainage, without exceeding allowable cross slope or ramp slopes. Vertical change in level exceeding 1/4" between the 1) pavement and gutter, and 2) gutter and ramp, are not allowed. See C7.0-C7.4 for Intersection Details.
SURFACE TEXTURE: Texture concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.
The edge of the curb shall be flush with the edge of the adjacent pavement and gutter and surface slopes that meet grade breaks shall also be flush.

DETECTABLE WARNINGS NOTES
GENERAL: Detectable Warnings are a distinctive surface pattern of truncated domes which are detectable by cane or underfoot to alert people with vision impairments of their approach to streets and hazardous drop-offs.
PLACEMENT: Detectable warnings are to be installed at any location where pedestrians might cross paths with vehicular traffic lanes, such as the base of curb ramps or at blended curbs. A 24" strip of domes is to be installed for the full width of the ramp or walk. See plan locations of curb ramps.
The depth of concrete underneath detectable warning products shall be a minimum of 4". See SECTION A.
ALIGNMENT: Truncated domes should be aligned with the primary direction of the ramp as shown on the DETECTABLE WARNING ALIGNMENT Detail. Normally the detectable warnings should be flush with the back of the curb, but in skewed conditions at least one corner of the 24" strip should be adjacent to the back of curb. For non-standard layouts, detectable warning materials may have to be mitered and placed segmentally.

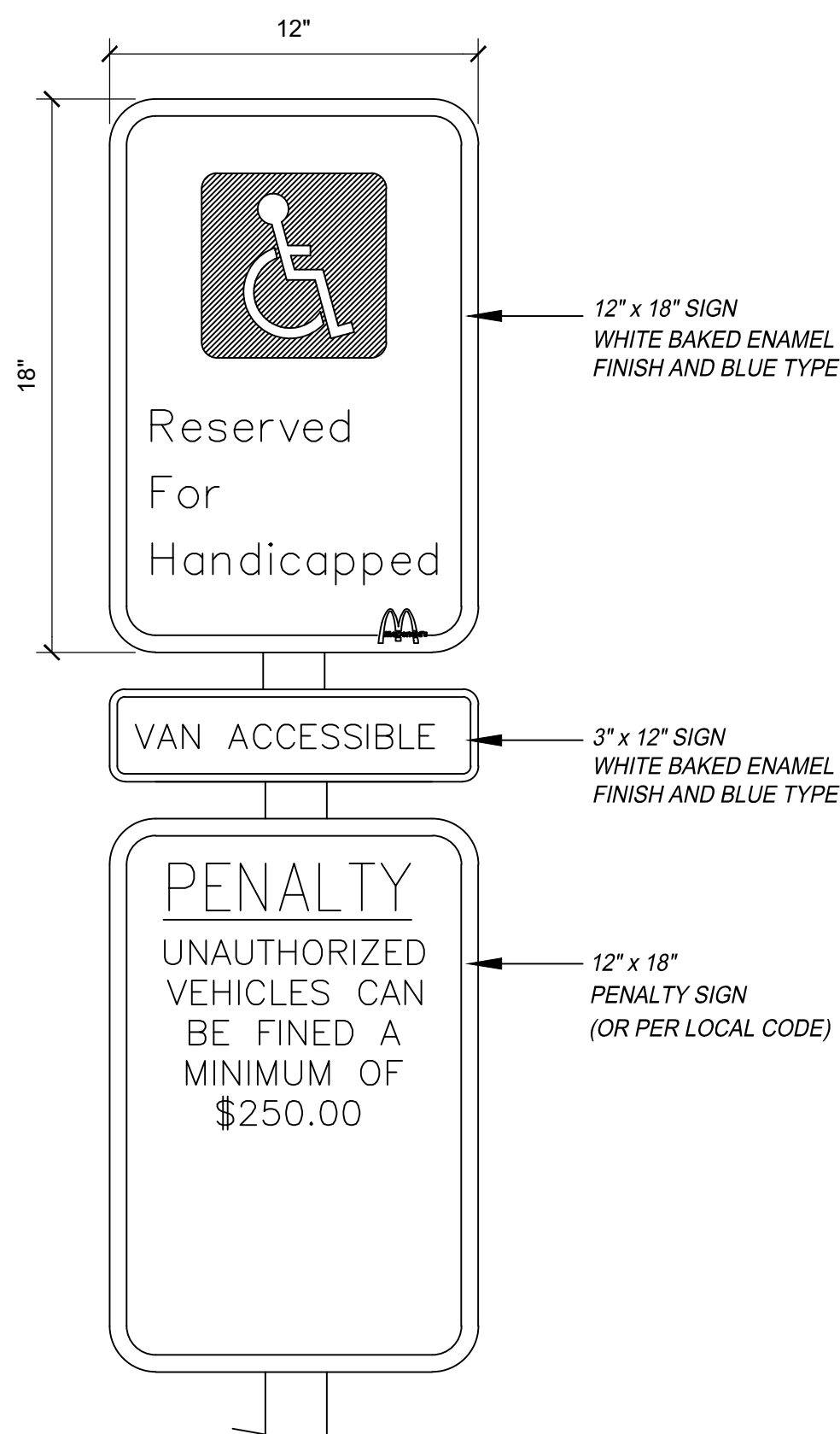
PRODUCTS & COLORS: Color of the detectable warnings should contrast with surrounding concrete walk and ramp. Black is not an acceptable color. Contractor to submit Armor-Tile Detectable/Tactile Warning Surface Cast In Place Tile or approved equal cut sheets for color selection approval to Owner. Install as per manufacturer's printed instructions.




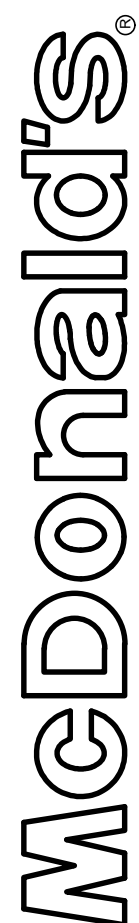
**PARALLEL CURB
RAMP DETAILS**
NOT TO SCALE



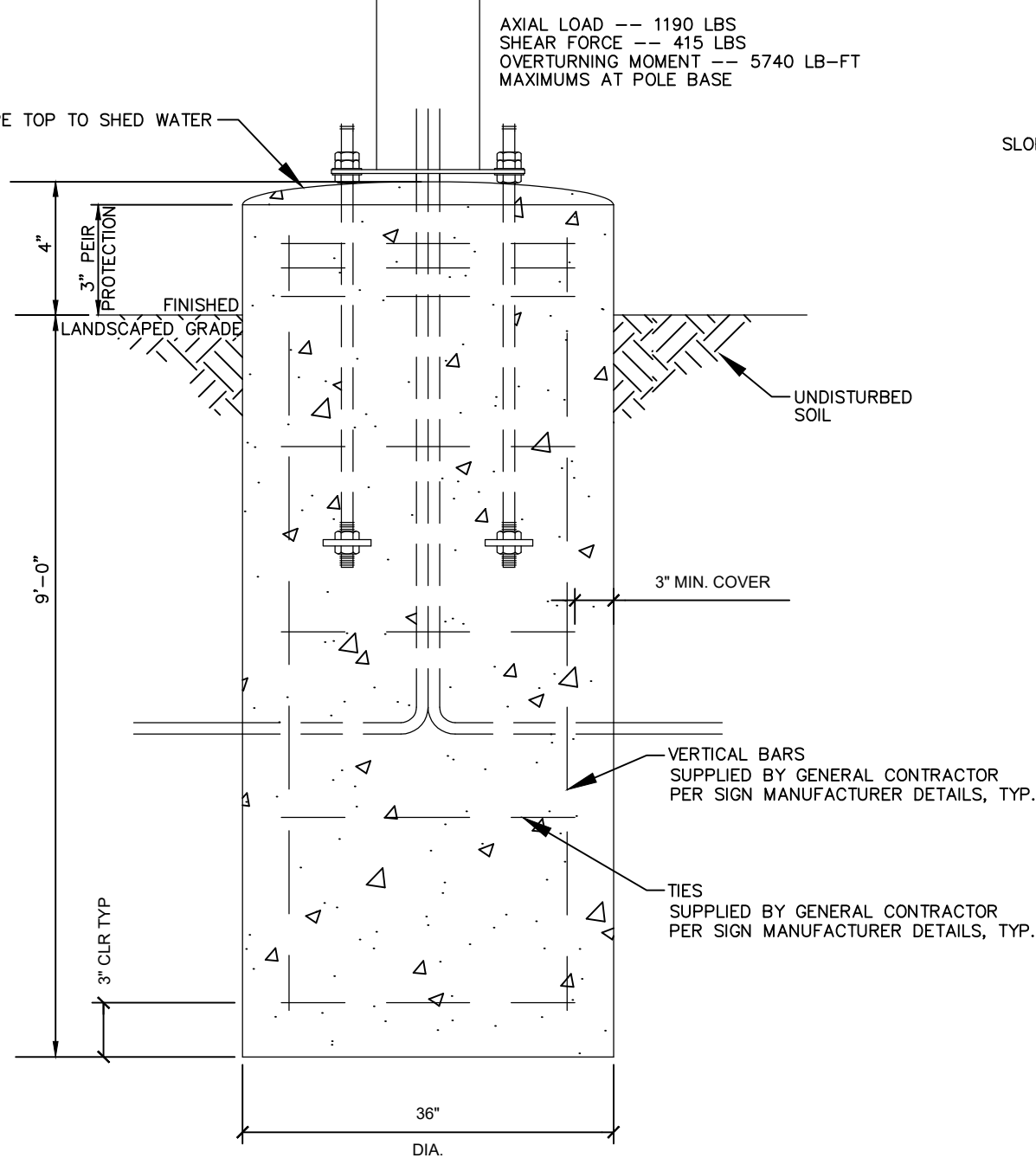
ACCESSIBLE PARKING SIGN
NOT TO SCALE



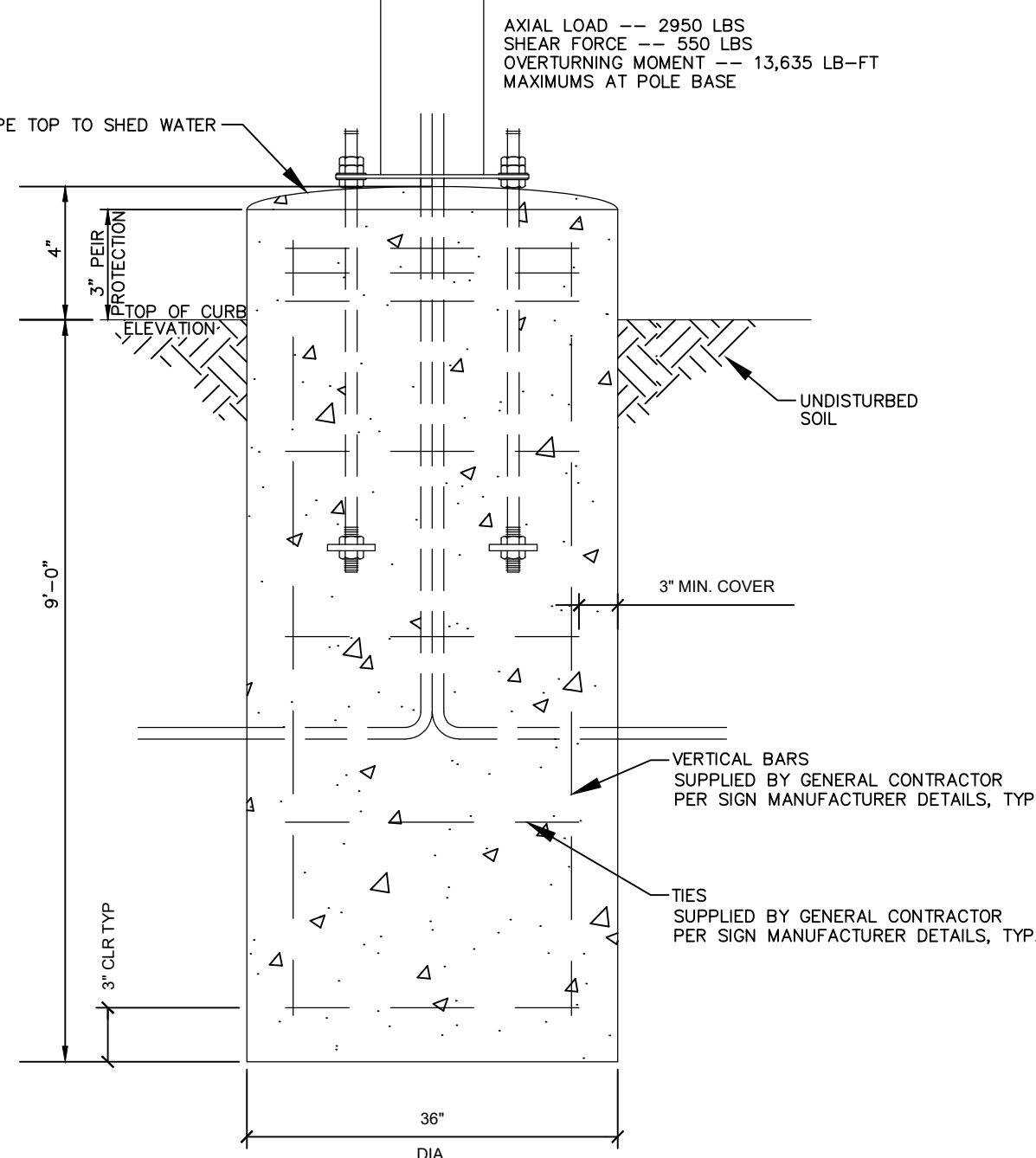
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

BY	
DESCRIPTION	
DATE	
REV	
 www.bayerbecker.com 6900 Tylerville Road, Suite A Mason, OH 45040 - 513.336.6600	
L/C# 34-2068	
 THESE SIGNS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. PROPOSED McDONALD'S RESTAURANT AT: RIVERS CROSSING WEST VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OH	
JOB NO. 19-0175	
DATE: 12/5/19	
SCALE: 1"= NTS	
SITE DETAILS	
SHEET: C3.1	

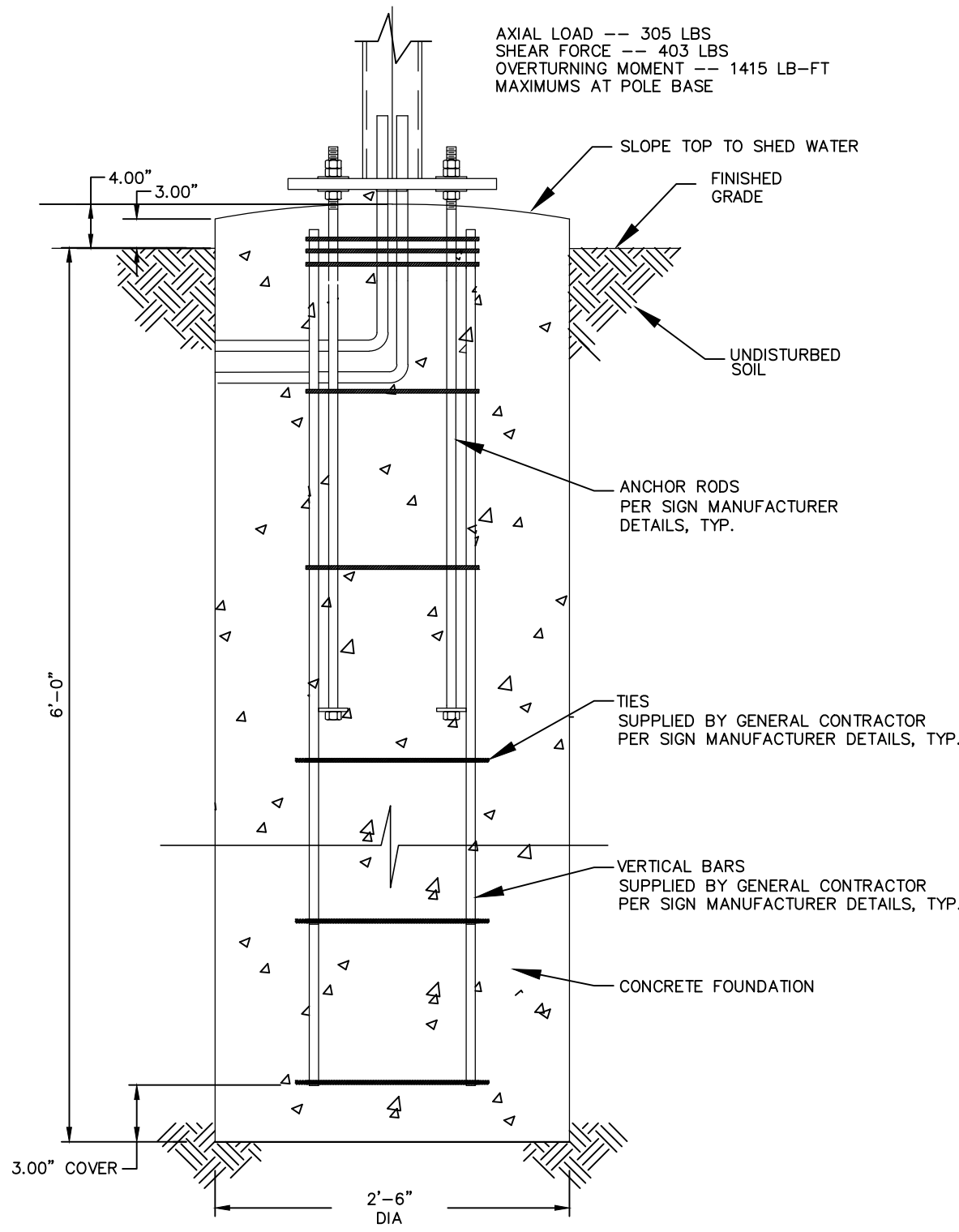
Plot time: Dec 05, 2019 -- 3:08pm -- Login Name: jointbayer
Drawing name: J:\2019\19-0175\CD\DWG\19-0175 CD.dwg -- Layout Tab: CD'S



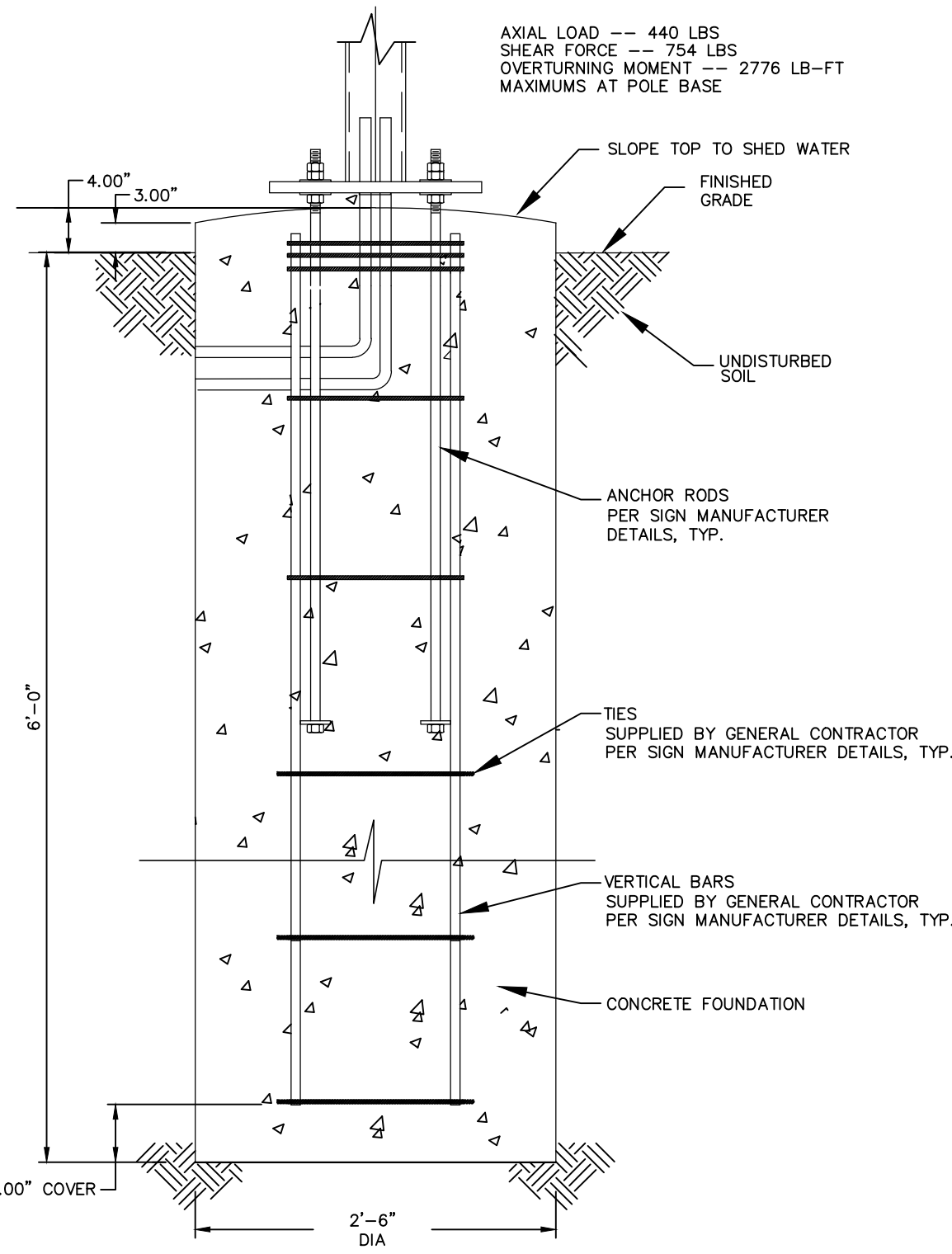
A WELCOME POINT GATEWAY
by Everbrite dated 4/11/16 NTS



A SPRINGBOARD CANOPY/COD
by Everbrite dated 4/10/16 NTS



A 55" ODMB 02 SINGLE
by Coates NTS



A 55" ODMB 02 DOUBLE
by Coates NTS

ENGINEER'S NOTE:

SEE SIGN MANUFACTURE'S PLANS FOR
STRUCTURAL COMPONENTS SHOWN ON THIS
PLAN. THE ENGINEER'S STAMP AFFIXED FOR
CONCRETE FOUNDATION DIMENSIONS ONLY.

GENERAL NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:
 - IBC 2012
 - ASCE 7-05
 - ACI 318-08
 - ASCE 13th EDITION
 - AWS D1.1
- WIND SPEED 115 MPH (MPH 3-SEC GUST)
- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED CLAY SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- SEE SIGN MANUFACTURER DETAILS FOR ANCHOR BOLT PATTERNS
- ALL REINFORCING STEEL TO BE PROVIDED BY GENERAL CONTRACTOR, PER SIGN MANUFACTURER DETAILS

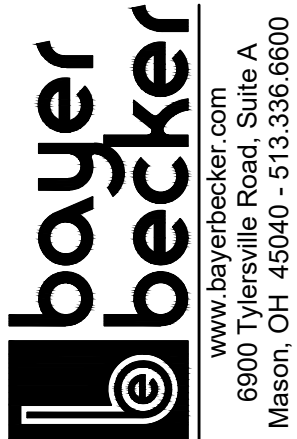
CONCRETE:

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
- ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION OR AS SHOWN, WHICHEVER IS GREATER.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM CONCRETE STRENGTH ($f'_c=3,000$ PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 2.6-A & 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
- PERFORMED BY GENERAL CONTRACTOR
- ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISI CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:

- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ($F_y=35ksi$)
- HSS ROUND SECTION: ASTM A500 GRADE B ($F_y=42ksi$)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ($F_y=46ksi$)
- HEADED ANCHOR RODS: ASTM F1554 OR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 OR 55, 51 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: ASTM A615 GRADE 60 -- BY GENERAL CONTRACTOR
- NUTS: ASTM A563A, HEAVY HEX
- WASHERS: ASTM F644 A36
- USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
- DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

REV	DATE	DESCRIPTION	BY



L/CH 34-2068

McDonald's®
THESE BRAND AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION
AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PROPOSED McDONALD'S RESTAURANT AT:
RIVERS CROSSING WEST
VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OH

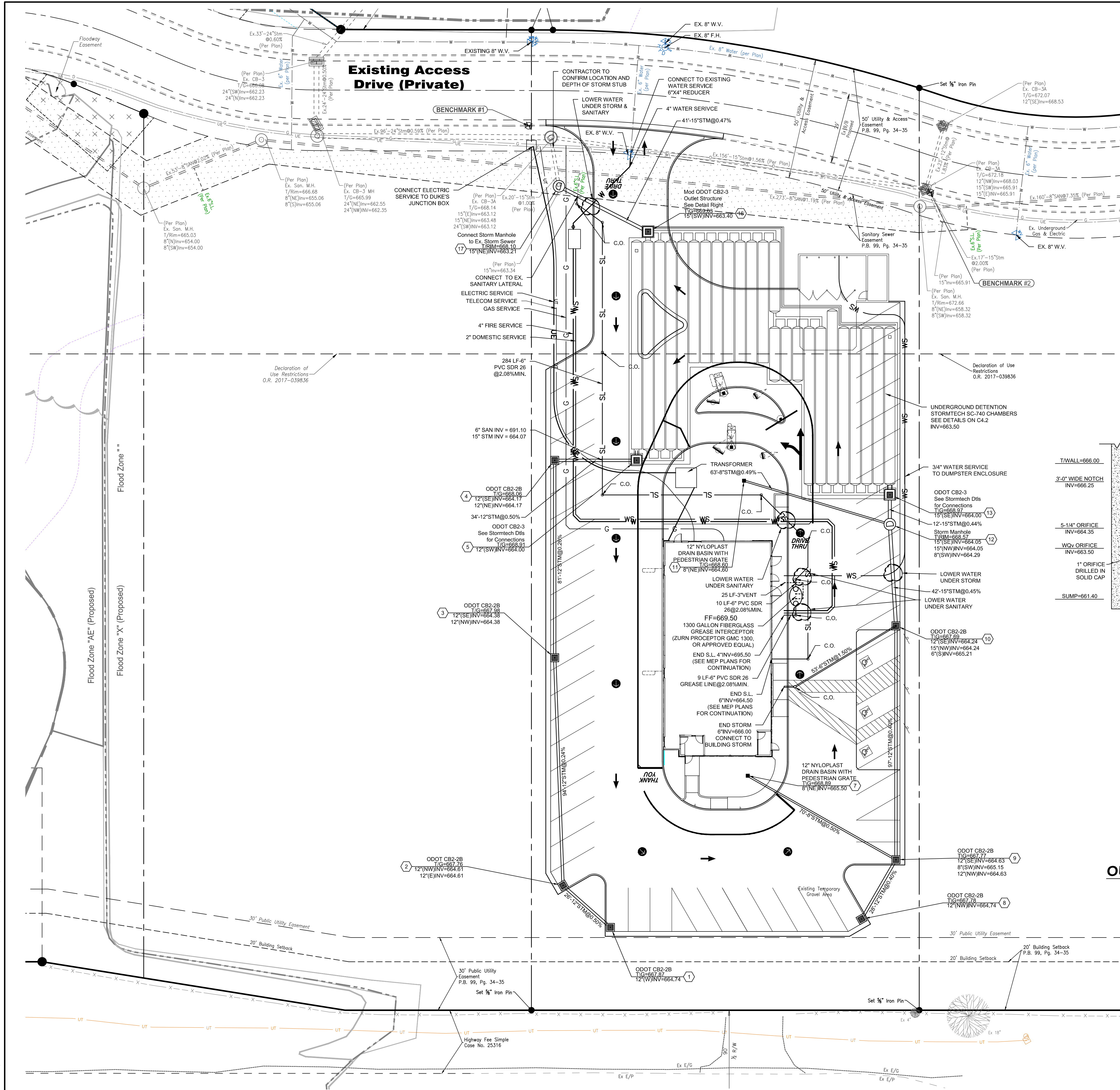
JOB NO. 19-0175

DATE: 12/5/19

SCALE: 1"= NTS

SITE DETAILS

SHEET: C3.2

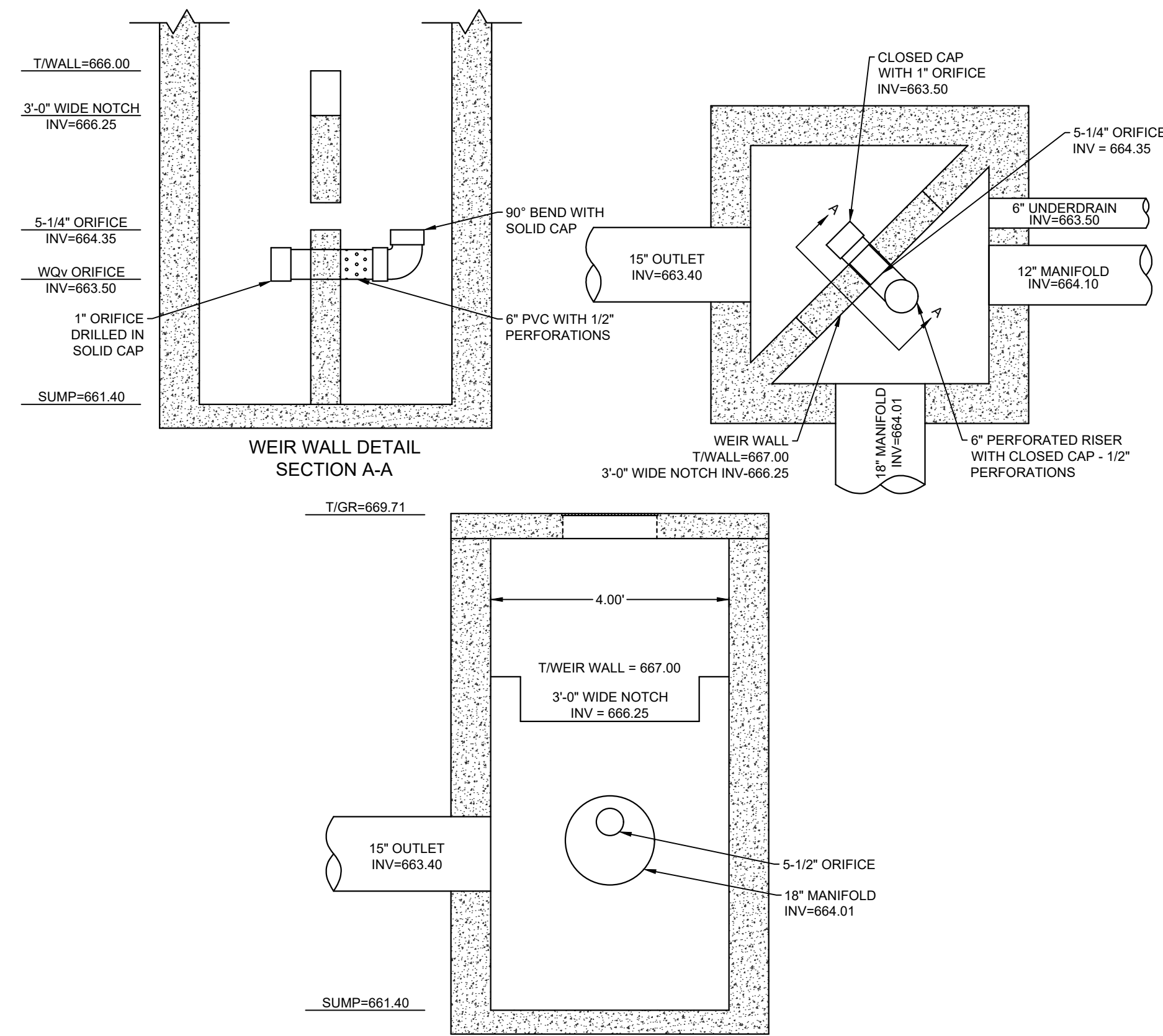


POST CONSTRUCTION WATER QUALITY

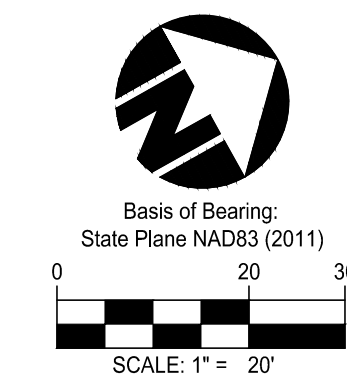
1. THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE PERMANENT WATER QUALITY SYSTEM ON THE SITE PER THE APPROVAL AND WILL COMPLETE ANY NECESSARY REPAIRS AND/OR PREVENTIVE MAINTENANCE PROCEDURES IN A TIMELY MANNER TO ENSURE PROPER FUNCTIONING OF THE SYSTEM AS A STORM WATER MANAGEMENT DEVICE.

UTILITY NOTES

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE CITY OF FAIRFIELD REQUIREMENTS FOR STREETS, SIDEWALKS, ALLEYS AND ROADWAY DESIGN (LATEST EDITION).
2. LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS IMMEDIATELY. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
4. ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
5. ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE MECHANICAL AND ELECTRICAL PLANS. NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL INSTALL ANY BENDS, FITTINGS, ETC. IN THE WATER LINE AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES (NO SEPARATE PAY).
7. NO WATER JETTING TO BACK FILL TRENCHES WILL BE ALLOWED ON THIS PROJECT.
8. STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE, SDR 26. FITTINGS AND JOINTS SHALL CONFORM TO COMPATIBLE SDR 26 PIPE, WITH THE EXCEPTION THE SOLVENT CEMENT JOINTS SHALL NOT BE USED.
9. THE CONTRACTOR SHALL INSTALL THE SANITARY SEWER SYSTEM OUTSIDE OF THE BUILDING IN ACCORDANCE WITH PROCEDURES SPECIFIED BY CITY OF FAIRFIELD.
10. ALL SPOIL AND OTHER UNSUITABLE MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, AT HIS EXPENSE.
11. ALL SERVICES ARE BROUGHT TO WITHIN 5 FEET OF THE BUILDING. BUILDING CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST TO CONNECT ALL SERVICES TO THE BUILDING.
12. CLEAN OUTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE AND AS DIRECTED BY CITY INSPECTOR. ALL CLEAN OUT TOPS SHALL BE INSTALLED AT LEAST 2' ABOVE FINISHED GRADE OUTSIDE PAVEMENT AND FLUSH WITH FINISHED GRADE WITHIN THE PAVEMENT AREAS.
13. CLEAN OUT TOPS WITHIN THE PAVEMENT AREAS SHALL BE TRAFFIC RATED.
14. THE SANITARY SEWER SERVICE FOR 5211 PLEASANT AVENUE SHALL REMAIN IN SERVICE. IF A SHUTDOWN IS NEEDED, CONTRACTOR SHALL COORDINATE WITH THE BUSINESS OWNER AND THE CITY OF FAIRFIELD.
15. THE FIRE LINE PIPE MATERIAL:
 - 15.1. FROM CONNECTION TO EXISTING 8" MAIN TO METER PIT SHALL BE DUCTILE IRON, CLASS 55.
 - 15.2. FROM METER PIT TO THE BUILDING SHALL BE C900 PVC PIPE.
16. THE DOMESTIC WATER SEWER SHALL BE POLYETHYLENE PIPE FROM THE METER PIT TO THE BUILDING.






OUTLET CONTROL STRUCTURE - STR. NO 16
MODIFIED ODOT CB 2-3



Know what's below.
Call before you dig.

CAUTION!!!
ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

BY	
DESCRIPTION	
DATE	
REV	
<div><div><div><div><div><div>bayer</div><div>becker</div></div></div><div><div><div>www.bayerbecker.com</div><div>6900 Tylerville Road, Suite A</div><div>Mason, OH 45040 - 513.336.6600</div></div></div></div></div></div>	
L/C# 34-2068	
<div><div><div><div><div><div>McDonald's</div><div>THESE SIGNS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</div></div></div><div><div>PROPOSED McDONALD'S RESTAURANT AT:</div><div>RIVERS CROSSING WEST</div><div>VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OH</div></div></div></div></div>	
JOB NO. 19-0175	
DATE: 12/5/19	
SCALE: 1"=20'	
UTILITY PLAN	
SHEET: C4.0	

PROJECT INFORMATION		 <p>ADVANCED DRAINAGE SYSTEMS, INC.</p>	 SiteAssist <small>FOR STORMTECH INSTRUCTIONS DOWNLOAD THE INSTALLATION APP</small>	
ENGINEERED BY:	DESIGNED BY:			
APPROVED BY:	DATE:			
ADD SALES REP:	REVISED BY:			
PROJECT NO.:	SITE NO.:			

MCDONALD'S S. LEBANON

SOUTH LEBANON, OH

SC-740 STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH SC-740.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COMPO UNITS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2476 (66), "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WELLS, STORMWATER COLLECTION CHANNELS."
4. CHAMBERS ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT THAT WOULD IMPIDE FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS DESCRIBED IN THE ASHTO LIVED LOAD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.15, ARE MET FOR: I.) ALL TRUCKS EXCEEDING THE DESIGN VEHICLE LOADS, BASED ON THE ASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VELOCITY PRESSURES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LIVE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F287, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC COMPOSITED WALL, STORMWATER COLLECTION CHANNELS," LOAD CONFIGURATIONS SHALL INCLUDE: I.) INSTANTANEOUS (I) MIN; ASD DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2' MAXIMUM PERMANENT (P) OVER COVER AND 3' IS ALLOWABLE COVER WITH FINISHED I.D. MAXIMUM ASD DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 • TO ENHANCE THE WEIGHT CAPABILITY DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTERNAL INTERLOCKING STAKES/LINEAS.
 • TO FACILITATE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE WEIGHT OF THE JOINDER, JOINT SHALL NOT BE LESS THAN:
 • 1) TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, & THE ARCH STIFFNESS CAPACITY AS DEFINED IN SECTION 4.2.3 OF ASTM F2476 SHALL BE GREATER THAN OR EQUAL TO 500 LB/SQ. FT. AND 1) TO RESIST CHAMBER REFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES ABOVE 70° F / 22° C, CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED, UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE. THIS EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO TEN (10) FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.10 OF THE ASHTO LIVED LOAD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 • THE TEST RESULT DEEP CRACK LENGTH AS SPECIFIED IN ASTM F2476 SHALL BE USED FOR PERMANENT DEAD LOAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE THIRTY MILLIMETER (3/8") MAXIMUM.
9. CHAMBERS AND END-CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT -NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

1. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED UNTIL THE MANUFACTURERS REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE RETAILERS.
2. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH® SC-31050-7400-780 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
 • STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 • STONE/CORRUGATED LOCATED OFF THE CHAMBER BED.
 • BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATIONSTONE OR SUBGRADE.
 • BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATIONSTONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEALED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM .6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. EMBEMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-(20-30mm).
8. THE CONTRACTOR MUST AVOID ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
9. ALSO RECOMMENDED THE USE OF "B-STENOUGH CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL KLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

1. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH® SC-31050-74000-780 CONSTRUCTION GUIDE".
2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BANK CHAMBERS.
 - DOZERS OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE DETERMINED IN ACCORDANCE WITH THE STORMTECH® SC-31050-74000-780 CONSTRUCTION GUIDE.
 - TO REPAIR TIEED LOADERS, DAMP TRUCKS, OR OTHER EQUIPMENT ON THE STORMTECH® SC-31050-74000-780 CONSTRUCTION GUIDE." WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE STORMTECH® SC-31050-74000-780 CONSTRUCTION GUIDE."
3. FULL 360° 90% OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DAMP TRUCK TRAVEL, OR DRIVING.

USE OF DOZER TO PUSH EMBLEMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-866-2084 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

[illegible]

UNDERDRAIN DETAIL

STORMTECH CHAMBERS

STORMTECH END CAP

OUTLET MANIFOLD

FOUNDATION STONE BENEATH CHAMBERS

ASOS GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE

STORMTECH END CAP

FOUNDATION STONE BENEATH CHAMBERS

ASOS GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE

NUMBER AND SIZE OF UNDERDRAIN PER SITE DESIGN ENGINEER
 4" (100 mm) TYP FOR SC-200 & SC-500 PAVING
 6" (150 mm) TYP FOR SC-740, SC-780, MC-3000 & MC-4000 SYSTEMS

SC-740 TECHNICAL SPECIFICATION

SIZE

60.7" (2004 mm) ACTUAL LENGTH

85.4" (2169 mm) INSTALLED LENGTH
 <= BUILD ROW IN THIS DIRECTION

START END

OVERLAP NEXT CHAMBER HERE (OVER SMALL CORRUGATION)

SECTION A-A

DUAL WALL PERFORATED HOPE UNDERDRAIN

SECTION B-B

26.3" (668 mm)

40.2" (1016 mm)

12.2" (310 mm)

51.0" (1290 mm)

30.0" (762 mm)

NOMINAL CHAMBER SPECIFICATIONS
 SIZE (W X L) INSTALLED LENGTH
 CHAMBER STORAGE
 WEIGHT

61.0" X 30.0" X 85.4"	(1296 mm X 762 mm X 2169 mm)
48.0 CUBIC FEET	(1.30 m ³)
51.0 LB CUBIC FEET	(0.12 m ³)
75.0 LB	(33.8 kg)

*ASSUMES 6" (150 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "T"
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "P"
 PRE-COLORED END CAPS END WITH "WC"

PART #	STUB	A	B	C
SC4DNF080T / SC4DNF080PC	8" (100 mm)	10.0" (277 mm)	10.0" (415 mm)	0.5" (13 mm)
SC4DNF080B / SC4DNF080BPC	8" (200 mm)	12.2" (310 mm)	10.0" (415 mm)	0.0" (16 mm)
SC4DNF080T / SC4DNF080TPC	10" (200 mm)	13.4" (340 mm)	14.0" (368 mm)	0.0" (16 mm)
SC4DNF080B / SC4DNF080BPC	10" (200 mm)	13.4" (340 mm)	14.0" (368 mm)	0.0" (16 mm)
SC4DNF100T / SC4DNF100TPC	12" (300 mm)	14.7" (373 mm)	12" (315 mm)	0.7" (18 mm)
SC4DNF100B / SC4DNF100BPC	12" (300 mm)	14.7" (373 mm)	12" (315 mm)	0.0" (16 mm)
SC4DNF120T / SC4DNF120TPC	12" (300 mm)	14.7" (373 mm)	12" (315 mm)	0.0" (16 mm)
SC4DNF120B / SC4DNF120BPC	12" (300 mm)	14.7" (373 mm)	12" (315 mm)	0.0" (16 mm)
SC4DNF150T / SC4DNF150TPC	15" (375 mm)	18.4" (467 mm)	18.4" (467 mm)	1.3" (33 mm)
SC4DNF150B / SC4DNF150BPC	15" (375 mm)	18.4" (467 mm)	18.4" (467 mm)	0.0" (16 mm)
SC4DNF180T / SC4DNF180TPC	18" (450 mm)	19.7" (500 mm)	19.7" (500 mm)	1.8" (44 mm)
SC4DNF180B / SC4DNF180BPC	18" (450 mm)	19.7" (500 mm)	19.7" (500 mm)	0.0" (16 mm)
SC4DNF240P	24" (600 mm)	18.0" (457 mm)	18.0" (457 mm)	0.0" (16 mm)

ALL STUBS, EXCEPT FOR THE SC4DNF080, ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-800-880-2004.

* FOR THE SC4DNF240 THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.73" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE 11-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.

SC4DNF080T / SC4DNF080PC

SC4DNF080B / SC4DNF080BPC

SC4DNF100T / SC4DNF100TPC

SC4DNF100B / SC4DNF100BPC

SC4DNF120T / SC4DNF120TPC

SC4DNF120B / SC4DNF120BPC

SC4DNF150T / SC4DNF150TPC

SC4DNF150B / SC4DNF150BPC

SC4DNF180T / SC4DNF180TPC

SC4DNF180B / SC4DNF180BPC

SC4DNF240P

60.7" (2004 mm) ACTUAL LENGTH

85.4" (2169 mm) INSTALLED LENGTH

START END

OVERLAP NEXT CHAMBER HERE

SECTION A-A

SECTION B-B

26.3" (668 mm)

40.2" (1016 mm)

12.2" (310 mm)

51.0" (1290 mm)

30.0" (762 mm)

NUMBER AND SIZE OF UNDERDRAIN PER SITE DESIGN ENGINEER

4" (100 mm) TYP FOR SC-200 & SC-500 PAVING

6" (150 mm) TYP FOR SC-740, SC-780, MC-3000 & MC-4000 SYSTEMS

NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X L) INSTALLED LENGTH

CHAMBER STORAGE

WEIGHT

61.0" X 30.0" X 85.4"	(1296 mm X 762 mm X 2169 mm)
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51.0 LB CUBIC FEET	(0.12 m ³)
75.0 LB	(33.8 kg)

PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "T"

PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "P"

PRE-COLORED END CAPS END WITH "WC"

PART #	STUB	A	B	C
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SC4DNF080B / SC4DNF080BPC	8" (200 mm)	12.2" (310 mm)	10.0" (415 mm)	0.0" (16 mm)
SC4DNF100T / SC4DNF100TPC	10" (200 mm)	13.4" (340 mm)	14.0" (368 mm)	0.0" (16 mm)
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SC4DNF120T / SC4DNF120TPC	12" (300 mm)	14.7" (373 mm)	12" (315 mm)	0.7" (18 mm)
SC4DNF120B / SC4DNF120BPC	12" (300 mm)	14.7" (373 mm)	12" (315 mm)	0.0" (16 mm)
SC4DNF150T / SC4DNF150TPC	15" (375 mm)	18.4" (467 mm)	18.4" (467 mm)	1.3" (33 mm)
SC4DNF150B / SC4				

[illegible]

SC-740 ISOLATOR ROW DETAIL
NTS

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

1. REMOVE/DO NOT USE ON VULNERABLE INLINE DRAIN
2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
3. USING A FLASHLIGHT AND STRAIN ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
5. IF SEDIMENT IS AT OR ABOVE 3\"/>

STEP 2) CLEAN OUT ISOLATOR ROWING

1. REMOVE FLEXSTORM FILTER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
2. REMOVE FLEXSTORM FILTER FROM DOWNSTREAM END OF ISOLATOR ROW
3. MIRROR ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFIRMED SPACE ENTRY
4. FOLLOW OSHA REGULATIONS FOR COVERED SPACE ENTRY IF ENTERING MANHOLE
5. IF SEDIMENT IS AT OR ABOVE 3\"/>

STEP 3) CLEAN OUT ISOLATOR ROWING AT THE JETWAY PROCESS

1. A FIXED DILUENT CLEANING NOZZLE WITH BEAM PICKING SPREAD OF 42\"/>
- 2. APPLY MULTIPLE PASSES OF JETWAC UNTIL BACKFLUSH WATER IS CLEAN
- 3. VACUUM STRUCTURE DUMP AS REQUIRED

STEP 4) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 5) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES


1. INSPECT EVERY 8 MONTHS DURING THE FIRST YEAR OF OPERATION; ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER EVENTS.
2. CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

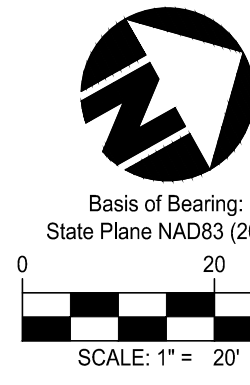
4\"/> PVC INSPECTION PORT DETAIL
NTS

CONNECTION DETAIL
NTS

NOTES:

1. INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER
2. CORROSION-RESISTANT VALVE
3. ALL DISPOSABLE FITTINGS TO BE SOLVENT CEMENTED (IF PVC NOT PROVIDED BY AGS).

 <p>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</p>		<p>PROPOSED McDONALD'S RESTAURANT AT: RIVERS CROSSING WEST VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OH</p>	
JOB NO. 19-0175			
DATE: 12/5/19			
SCALE: 1"= NTS			
UTILITY DETAILS			
SHEET: C4.2			



SCALE: 1" = 20'

Know what's **below**.
Call before you dig.

REQUIRED PARKING LOT SCREENING (SECTION 15.17.5)

1. THE BUFFER WIDTH SHALL BE A MINIMUM OF 10' WIDE
2. A 30" HIGH CONTINUOUS SCREEN CONSISTING OF AN EARTH MOUND, PLANTING, HEDGE OR DECORATIVE WALL OR ANY COMBINATION THEREOF, SHALL BE PROVIDED.
3. ONE DECIDUOUS TREE SHALL BE REQUIRED FOR EVERY 30 LF OF THE REQUIRED BUFFER ZONE.
4. THE PLANNING COMMISSION MAY MODIFY OR WAIVE THE PARKING LOT PERIMETER LANDSCAPING REQUIREMENTS IF THE PROVIDED BUFFER STRIP LANDSCAPING ADJACENT TO RIGHTS-OF-WAY AND BETWEEN LAND USES ADEQUATELY SCREENS THE PARKING LOT FROM VIEW FROM ADJACENT PROPERTIES AND ROADS

EAST BUFFER
232.62 LF / 30 = 8 DECIDUOUS TREES

-SITE LANDSCAPING (SECTION 15.17.9)

ON-SITE LANDSCAPING (SECTION 15.17.9)

1. ONE DECIDUOUS TREE OR ORNAMENTAL TREE OR EVERGREEN TREE SHALL BE PROVIDED FOR EVERY 400 SF OF REQUIRED INTERIOR LANDSCAPING AREA
2. ONE SHRUB SHALL BE PROVIDED FOR EVERY 250 SF OF REQUIRED LANDSCAPING AREA
3. THE INTERIOR LANDSCAPING AREA SHALL CONTAIN GRASS, GROUND COVER, 4" DEEP SHREDDED BARK MULCH, AND SHALL BE CURVED OR EDGED AS NECESSARY

3,175.75 / 400 SF = 8 REQUIRED TREES
3,175.75 / 250 SF = 13 REQUIRED SHRUBS

INTERIOR PARKING LOT LANDSCAPING (SECTION 15.17.10)

1. ONE DECIDUOUS TREE SHALL BE PLANTED FOR EVERY 300 SF OF REQUIRED INTERIOR PARKING LOT LANDSCAPING AREA
2. LANDSCAPING SHALL BE DESIGNED TO MAINTAIN THE PARKING LOT IN ORDER TO BREAK UP LARGE EXPANSIONS OF PAVEMENT AND HELP DIRECT SMOOTH TRAFFIC FLOW WITHIN THE LOT. A MINIMUM OF 1 TREE SHALL BE PLANTED AND INCLUDED IN EACH LANDSCAPING ISLAND OR REQUIRED LANDSCAPING AREA PURSUANT TO THE CALCULATIONS OF THIS SECTION.
3. LANDSCAPING SHALL BE INSTALLED SUCH THAT WHEN MATURE, IT DOES NOT OBSCURE TRAFFIC SIGNS OR LIGHT, OBSTRUCT ACCESS TO FIRE HYDRANTS NOR INTERFERE WITH ADEQUATE MOTORIST SIGHT DISTANCE.
4. ALL LANDSCAPE ISLANDS SHALL BE CURBED. DIMENSIONS OF ISLANDS SHALL BE SHOWN ON THE SITE PLAN. MINIMUM ISLAND WIDTH SHALL BE 10' MINIMUM RADIUS SHALL BE 10' AT ALL CURVED EDGES AND A MINIMUM OF 1' FOR RADII NOT ADJACENT TO MAIN CIRCULATION AISLES. THE LENGTH OF THE ISLANDS SHALL BE 2' SHORTER THAN ADJACENT PARKING SPACE TO IMPROVE MANEUVERING

1,580.9 / 300 SF = 6 REQUIRED TREES

PLANT SCHEDULE						
DECIDUOUS TREES						
	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE	
GIN AUT	5	Ginkgo biloba 'Autumn Gold' TM	Maidenhair Tree	B & B	2'0" Gal	
GIE IN2	7	Gleditsia triacanthos inermis 'Surburst'	Sunburst Common Honeylocust	B & B	2'0" Gal	
LIO HA6	7	Liquidambar styraciflua 'Happdel'	Happidaze Sweet Gum	B & B	2'0" Gal	
PLA BLO	4	Platanus x acerifolia 'Bloodgood'	London Plane Tree	B & B	2'0" Gal	
EVERGREEN TREES						
	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE	
THU GIA	6	Thuja plicata 'Green Giant'	Western Red Cedar	B & B	6" Ht	
ORNAMENTAL TREES						
	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE	
AME GRA	3	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry Tree Form	B & B	2'0" Cal	
CER AP2	2	Cercis canadensis 'Appalachian Red'	Appalachian Red Eastern Redbud	B & B	2'0" Cal	
DECIDUOUS SHRUBS						
	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	
FOR G04	3	Forsythia x 'Gold Tides'	Golden Tide Forsythia	3 gal	15" Ht	
RHY RU2	15	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Hydrangea	5 gal	24" Ht	
PHY BUR	3	Physocarpus opulifolius 'Burgundy Candy'	Burgundy Candy Ninebark	3 gal	15" Ht	
PHY OES	2	Physocarpus opulifolius 'Obsidian'	Obsidian Ninebark	3 gal	24" Ht	
RHY TIG	3	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac	B & B	36" Ht	
EVERGREEN SHRUBS						
	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	
JUN SEA	40	Juniperus chinensis 'Sea Green'	Sea Green Juniper	B&B	30" Ht	
THU AUS	3	Thuja occidentalis 'Aurea'	Golden Globe Arborvitae	B & B	18" Ht	
TSU GEN	22	Tsuga canadensis 'Gentle White'	Gentle White Hemlock	B & B	18" Ht	
VIB RHY	4	Viburnum x rhytidophyloides 'Alleghany'	Alleghany Viburnum	B & B	36" Ht	
ORNAMENTAL GRASSES						
	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	
PAN ROT	9	Panicum virgatum 'Rotstraubisch'	Rotstraubisch Switch Grass	5 gal	Clump	

L/C# 34-2068

McDonald's®

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**PROPOSED McDONALD'S RESTAURANT AT:
RIVERS CROSSING WEST
VILLAGE OF SOUTH LEBANON, WARREN CO**

JOB NO. 19-0175

DATE: 11/26/19

SCALE: 1"=20'

PLANTING PLAN

SHEET: L1.0

