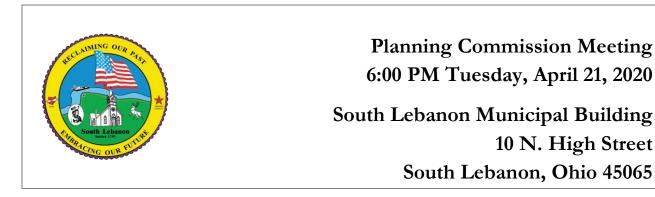
PLANNING COMMISSION AGENDA



	Agenda Item
1.	Call to Order
2.	Pledge of Allegiance
3.	Roll Call
4.	Open Forum
5.	Review and Approval of Minutes
	A. None
6.	Public Hearing – None
7.	Old Business
	A. None
8.	New Business
	A. Case -20-07P: Acceptance and Dedication of Public Improvements for Riverside Phase Three Subdivision
	B. Case 20-08P – Application for Site Plan-for McDonalds at Rivers Crossing West Section 2
9.	Communications
10.	Adjournment

Members of the public may address the Planning Commission during the Open Forum segment of the agenda and shall be limited to five minutes each. After the speaker concludes remarks, the Planning Commission may comment or ask questions at that time. The Chairperson may at his or her discretion restrict duplicate testimony on a particular subject.

VILLAGE OF SOUTH LEBANON MEMORANDUM

DATE:	April 16, 2020
RE:	Case 20-07P, Acceptance and Dedication of Public Improvements for Riverside Phase Three Subdivision
FROM:	Jerry Haddix, Village Administrator
TO:	Planning Commission

One of the items on the agenda for the August 21st meeting is a request of the Planning Commission to find that the public improvements for the Riverside Phase Three subdivision conform to South Lebanon's standards for construction of public improvements.

Background

On January 15^t, 2019, the Record Plat for Riverside Phase Three subdivision was recorded in the Warren County's Recorder's Office. This plat included thirty -four (34) single family lots in which all have been or in the process of houses constructed on them.

Code Analysis

Pursuant to Sec 15.20.7(6) Requirements for the Construction of Improvements, the Village, through formal action by the Village Council, shall accept public improvements made by a developer which meet the following conditions:

- a. Said public improvements have been made in accordance with the requirements of these Regulations; and
- b. The design standards of these Regulations have been adhered to; and
- c. Installation of said public improvements has been completed according to the requirements of the Village of South Lebanon; and
- d. All final inspections required by these Regulations have been carried out by the Village and said public improvements were found to be acceptable by the Village Administrator upon the advice (if needed and requested) by an engineer acting in the service of the Village; and
- e. Accurate "as built" construction plans have been submitted by the subdivider to the Village and release from the posted Performance Bond has been granted; and
- f. The Planning Commission has found the subdivider to be in conformance with these Regulations.

Zoning Process

Before Council may accept public improvements for a subdivision, the Planning Commission shall issue a finding that the developer is in conformance with the aforementioned regulations a - e.

Staff Review

Choice One Engineering, the Project Engineer, has inspected the public improvements by Lebanon Mason LLC ("Developer"). The Developer has completed all of the public improvements satisfactorily per the attached letter from Choice One Engineering.

Recommendation

Staff recommends that the Planning Commission issue a finding to Council that they have found the public improvements in Riverside Phase Three Subdivision, as attached, be in conformance with the regulations listed in Sec 15.20.7(6) items a – e.

Attachments

Choice One Inspection Letter Copy of Riverside Phase Three recorded plat





Date February 13, 2020

Subject Riverside Subdivision Phase 3 Acceptance Letter Village of South Lebanon, OH Attention Jerry Haddix Village Administrator

Address 99 N. High Street South Lebanon, OH 45065

Dear Mr. Haddix:

After a final punch list walkthrough on February 13, 2020, the public infrastructure and rights-ofway for the Riverside Phase 3 Subdivision have been deemed acceptable for dedication.

- The contractor has satisfactorily completed all punch list items pursuant to Sect. 15.20.7(6)(a-d).
- The acceptance and dedication of the public improvements created by this subdivision include the following streets. See attached plat for exact locations:
 - Kelly Court and a portion of Trovillo Drive.

If you have any questions, please contact our office.

Sincerely,

nicholas J. Selhout

Nicholas J. Selhorst, P.E. Choice One Engineering



West Central Ohio 440 E. Hoewisher Rd. Sidney, OH 45365 937.497.0200 Phone

<mark>S. Ohio/N. Kentucky</mark> 203 W. Loveland Ave. Loveland, OH 45140 513.239.8554 Phone Eastern Indiana 607 N. Meridian St. Portland, IN 47371 260.766.2500 Phone

www.CHOICEONEENGINEERING.com

DEED REFERENCE

SITUATED IN SECTION 1 & 7, TOWN 4, RANGE 3, UNION TOWNSHIP, VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OHIO AND BEING A SUBDIVISION CONTAINING 18.2368 ACRES, (OF WHICH 6.3640 ACRES ARE IN SECTION 7 AND 11.8728 ACRES ARE IN SECTION 1) AND BEING 17.2386 ACRES OF 47.972 (DEED) ACRES AS CONVEYED TO LEBANON MASON RESIDENTIAL LLC AS RECORDED IN DOCUMENT NO. 2016-033236, WARREN COUNTY, OHIO AND 0.9982 ACRES OF 22.971 (DEED - TRACT 2) ACRES AS CONVEYED TO LEBANON MASON, LLC AS RECORDED IN OFFICIAL RECORD 5856, PAGE 129, WARREN COUNTY, OHIO,

HOA REFERENCE

THE WITHIN SUBDIVISION IS SUBJECT TO THE DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR RIVERSIDE SUBDIVISION WHICH IS RECORDED IN THE DEED OF RECORDS OF WARREN COUNTY, OHIO COMMENCING WITH DOCUMENT NUMBER 2018-006004, AND THE ARTICLES OF INCORPORATION AND CODE OF REGULATIONS FOR THE ASSOCIATION. SAID DECLARATION MAY BE AMENDED, SAID AMENDMENT(S) RECORDED IN THE DEED RECORDS OF WARREN COUNTY, OHIO.

DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS, PARKS OR PUBLIC GROUNDS AS SHOWN HEREON TO THE PUBLIC USE FOREVER.

ANY "PUBLIC UTILITY EASEMENTS" AS SHOWN ON THIS PLAT ARE FOR THE PLACEMENT OF SIDEWALKS AND AND PUBLIC UTILITIES FOR THE MAINTENANCE AND REPAIR OF SAID UTILITIES. THIS EASEMENT AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT, UNLESS DESIGNATED FOR A SPECIFIC PURPOSE, ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, OR OTHER UTILITY LINES OR SERVICES, STORMWATER DISPOSAL AND FOR THE EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS INCLUDING, BUT NOT LIMITED TO DUKE ENERGY, AT&T, CHARTER COMMUNICATIONS, THE VILLAGE OF SOUTH LEBANON AND WARREN COUNTY

ALL PERSONS INTERESTED IN THIS PLAT AS OWNERS HAVE UNITED IN ITS EXECUTION, SIGNED AND ACKNOWLEDGED IN THE PRESENCE OF:

OWNER: LEBANON MASON RESIDENTIAL LLC (47.972 ACRES)

NAME:

PRINTED NAME

STATE OF OHIO COUNTY OF

, 2018, BEFORE ME A NOTARY PUBLIC IN AND FOR BE REMEMBERED THAT ON THIS DAY OF SAID COUNTY AND STATE PERSONALLY CAME LEBANON MASON RESIDENTIAL LLC, AS REPRESENTED BY ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AS WRITTEN ABOVE

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

OWNER: LEBANON MASON LLC (22.971 ACRES)

NAME:

PRINTED NAME

STATE OF OHIO COUNTY OF

, 2018, BEFORE ME A NOTARY PUBLIC IN AND FOR BE REMEMBERED THAT ON THIS DAY OF SAID COUNTY AND STATE PERSONALLY CAME LEBANON MASON LLC, AS REPRESENTED BY , ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AS WRITTEN ABOVE.

NOTARY PUBLIC: _

MY COMMISSION EXPIRES:

LIEN HOLDER: WES BANCO BANK, INC.

NAME:

PRINTED NAME

STATE OF OHIO COUNTY OF

_, 2018, BEFORE ME A NOTARY PUBLIC IN AND FOR BE REMEMBERED THAT ON THIS _____ DAY OF _ SAID COUNTY AND STATE PERSONALLY CAME WES BANCO BANK, INC., AS REPRESENTED BY , ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AS WRITTEN ABOVE.

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

SURVEYORS CERTIFICATION

HEREBY CERTIFY THAT THIS MAP IS A TRUE AND COMPLETE SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS AND LOT CORNER PINS ARE SET AS SHOWN.

DATE BRIAN R. JOHNSON, P.S. PROFESSIONAL SURVEYOR #8484 IN THE STATE OF OHIO



Oeder & Sons Garage, O.R. 4647, Pg. 933 12-07-200-010 16.4608 Ac. S.R. 129-55 Lebanon Mason Residential LI D.N. 2016-033236 12-01-151-015 47.972 Ac. (Deed) 5.5491 Ac. (Remainder) 6.2793 Ac. (Total Remainder) S.R. 120-50, S.R. 126-40 S.R. 128-59, S.R. 21-18 The City of Lebanon O.R. 895, Pg. 367 47 12-07-400-009 / 45 38.749 Ac. S.R. 86-54 48 49 50 51 - 52 84 53 81

DRAINAGE STATEMENT

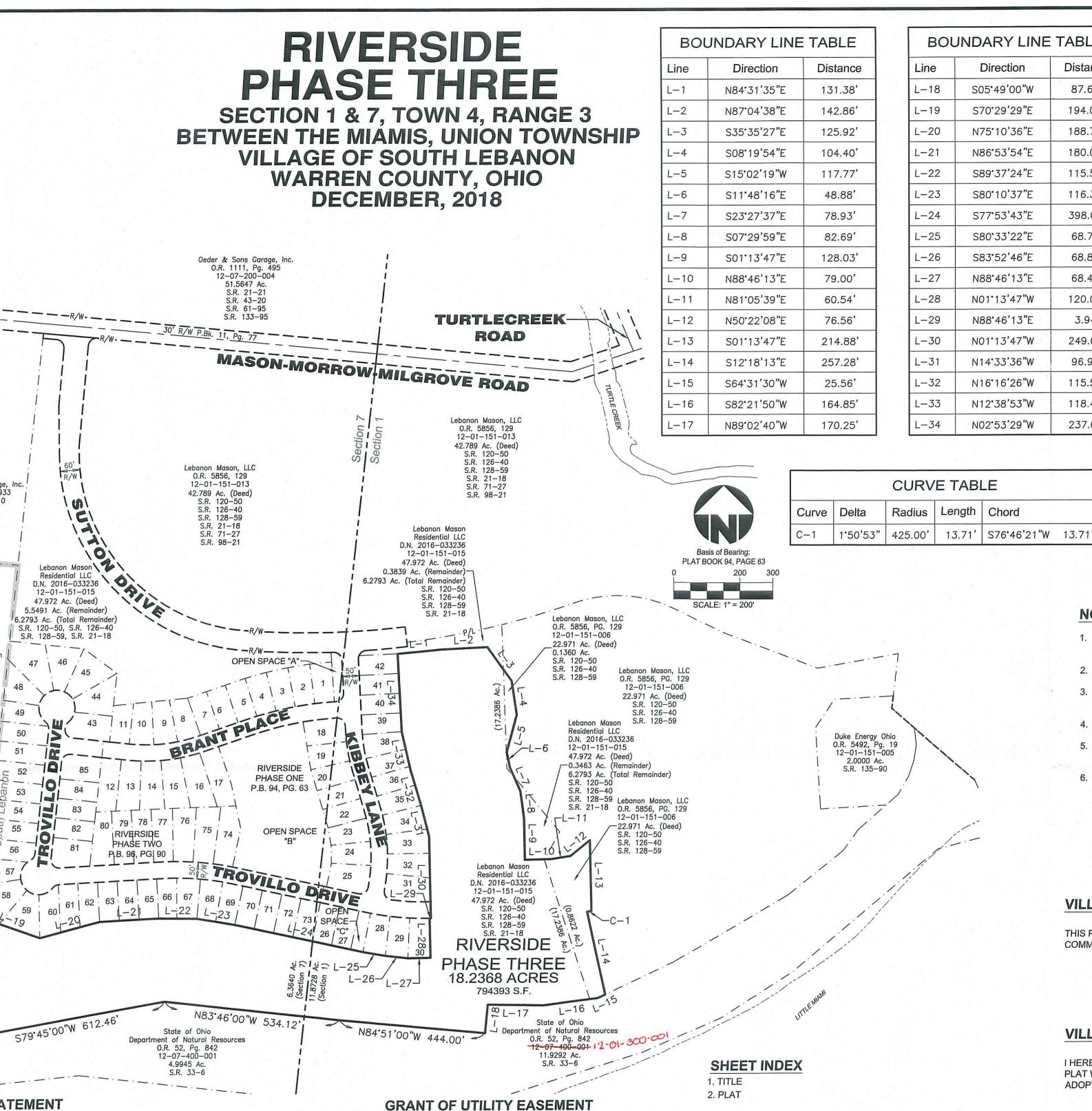
UNLESS OTHERWISE DESIGNATED ON THIS PLAT, A FIFTEEN (15) FOOT WIDE DRAINAGE EASEMENT

FOR VALUABLE CONSIDERATION, WE, THE UNDERSIGNED ("GRANTOR") DO HEREBY SHALL EXIST ALONG ALL REAR LOT LINES AND A TEN (10) FOOT WIDE DRAINAGE EASEMENT SHALL PERMANENTLY GRANT TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR PARENT EXIST ALONG ALL SIDE LOT LINES, WITH THE LINE BEING THE CENTERLINE OF SAID EASEMENT. ENTITY (OR ENTITY CONTROLLING BOTH ENTITIES), THEIR RESPECTIVE SUBSIDIARIES OR AFFILIATE ENTITIES, AND ANY OTHER PROVIDER OF UTILITY SERVICES ("GRANTEE") THEIR THE EASEMENT AREAS SHALL BE MAINTAINED CONTINUOUSLY BY THE LOT OWNER(S). WITHIN THE SUCCESSORS AND ASSIGNS, FOREVER, NON-EXCLUSIVE EASEMENTS, AS SHOWN ON THE EASEMENTS, NO STRUCTURE, PLANTING, FENCING, CULVERT, OR OTHER MATERIAL SHALL BE WITHIN PLAT AND DESIGNATED AS "UTILITY EASEMENTS" FOR THE CONSTRUCTION, PLACED OR PERMITTED TO REMAIN WHICH MAY OBSTRUCT, RETARD, OR DIVERT THE FLOW OPERATION, MAINTENANCE, REPAIR, OR REPLACEMENT OF ANY AND ALL NECESSARY THROUGH THE WATERCOURSE. FIXTURES FOR THE OVERHEAD OR UNDERGROUND DISTRIBUTION OF GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS OR OTHER UTILITIES ("GRANTEE FACILITIES" OR THE VILLAGE OF SOUTH LEBANON ASSUMES NO LEGAL OBLIGATION TO MAINTAIN OR REPAIR ANY "FACILITIES"). THE GRANTEE SHALL HAVE THE RIGHT OF INGRESS AND EGRESS AND ALSO OPEN DRAIN, DITCHES OR WATERCOURSE WITHIN THE EASEMENT AREA UNLESS NOTED OTHERWISE THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, UNDERGROWTH, OR OVERHANGING ON THIS PLAT. HOWEVER, WHEN THE PLATTED RIGHT-OF-WAY AREA HAS BEEN PREVIOUSLY BRANCHES WITHIN THE UTILITY EASEMENTS OR IMMEDIATELY ADJACENT THERETO. NO ACCEPTED FOR PUBLIC MAINTENANCE BY RESOLUTION OF THE VILLAGE OF SOUTH LEBANON OR BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN THE UTILITY EASEMENTS THEIR REPRESENTATIVES MAY ENTER UPON AND INSPECT THE EASEMENT AREAS AND, IN AREA, NOR MAY THE UTILITY EASEMENTS AREA BE PHYSICALLY ALTERED TO (1) REDUCE ACCORDANCE WITH SECTION 5589.06 OF THE OHIO REVISED CODE, MAY REMOVE OR CAUSE THE THE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE REMOVAL OF AN OBSTRUCTION ADVERSELY IMPACTING AN AREA WITHIN THE PUBLIC RIGHT-OF-WAY. LAND SUPPORT OF GRANTEE FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE FACILITIES OR; (4) CREATE A HAZARD. TO HAVE AND TO HOLD THE EASEMENT FOREVER. WE ACKNOWLEDGE HAVING THE FULL POWER TO CONVEY THIS UTILITY EASEMENT AND DEVELOPER (OR THEIR AGENTS) RESERVES THE RIGHT TO ENTER UPON ALL LOTS TO ESTABLISH OR WILL DEFEND THE SAME AGAINST ALL CLAIMS.

UNTIL THE EXPIRATION OF THE PUBLIC IMPROVEMENT MAINTENANCE BONDING PERIOD, THE RE-ESTABLISH DRAINAGE SWALES WITHIN ALL DRAINAGE EASEMENTS FOR THE PURPOSE OF CONTROLLING AND DIRECTING STORMWATER TO COLLECTION FACILITIES OR DRAINAGE CHANNELS.

THE PUBLICLY-MAINTAINED PORTION OF THE STORM SEWER SYSTEM WILL INCLUDE STORM DRAINS, CULVERTS, AND/OR DITCHES LOCATED WITHIN EITHER THE PUBLIC RIGHT-OF-WAY OR THE PUBLIC UTILITY EASEMENT AREA ADJACENT TO THE ROAD RIGHT-OF-WAY WITH THE EXCEPTION OF SUMP MAINS AND CULVERTS FOR PRIVATE DRIVEWAYS. WHERE, IN LIEU OF AN OPEN DITCH, A DEVELOPER, BUILDER OR LOT OWNER INSTALLS A STORM DRAIN ON PRIVATE PROPERTY, THE STORM DRAIN SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER TO ENSURE THAT NEITHER THIS PROPERTY OR ADJACENT PROPERTIES ARE NEGATIVELY IMPACTED, AND THE LOT OWNER(S) MUST NOTE THAT THEY ARE RESPONSIBLE FOR MAINTAINING THE STORM DRAIN UNLESS NOTED OTHERWISE ON THE PLAT.

THE HOME OWNER'S ASSOCIATION IS RESPONSIBLE FOR MAINTAINING ALL STORM WATER FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY INCLUDING SEWER, STRUCTURES, DETENTION/RETENTION BASINS, AND SUMP MAINS.



ALSO HEREBY GRANTED TO DUKE ENERGY OHIO/KENTUCKY, INC. AND ITS SUBSIDIARIES. SUCCESSORS, AND ASSIGNS IS THE RIGHT TO LATERALLY EXTEND, REPAIR, AND MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICES TO SERVICE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON WHICH THE SERVICE IS LOCATED. RECONSTRUCTION OR RELOCATION IS PERMISSIBLE ONLY WITH THE WRITTEN PERMISSION OF THE PARCEL OWNER AND SAID UTILITY PROVIDER TO A MUTUALLY AGREEABLE LOCATION. NO PART OF THE UTILITY EASEMENTS SHALL ENCUMBER EXISTING BUILDINGS OR ADJOINING LOTS.

BOUNDARY LINE TABLE						
Line	Direction	Distance				
_—18	S05*49'00"W	87.60'				
19	S70°29'29"E	194.06'				
20	N75°10'36"E	188.70'				
21	N86•53'54"E	180.00'				
22	S89'37'24"E	115.52'				
23	S80°10'37"E	116.32'				
24	S77•53'43"E	398.02'				
25	S80'33'22"E	68.75 '				
26	S83•52'46"E	68.84'				
27	N88 · 46'13"E	68.43'				
28	N01°13'47"W	120.00'				
29	N88'46'13"E	3.94'				
30	N01°13'47"W	249.00'				
31	N14°33'36"W	96.96'				
32	N16°16'26"W	115.56'				
33	N12 · 38'53"W	118.46'				
34	N02*53'29"W	237.04'				

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	513-336-6600			
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NOTES		visior	ITY M	
1. PRIOR D	EED REFERENCE: DOCUMENT NUMBER 2016-033236. OFFICIAL RECORD 5856, PAGE 129	Re	REN COUN	
2. BASIS OI	BEARING: PLAT BOOK 94, PAGE 63.		R WAR	
	I PINS ARE SET ON ALL LOT CORNERS UPON COMPLETION OF UCTION, UNLESS OTHERWISE NOTED.		REVISED PER	
4. OCCUPA	TION IN GENERAL MATCHES SURVEY, UNLESS OTHERWISE NOTED.	-	R	
5. ALL EXIS SHOWN.	TING MONUMENTS ARE IN GOOD CONDITION UNLESS OTHERWISE	Item	F	
A FLOOR GRAVITY WINDOW	I PERMISSIBLE LOW FLOOR ELEVATION (INCLUDING BASEMENT). IF IS DESIRED BELOW THE M.O.E. ELEVATION SHOWN, THEN NO FLOW STORM DRAIN WILL BE PERMITTED FROM ANY DRIVEWAY, WELL, STAIRWELL, FOUNDATION, BASEMENT, PATIO OR OTHER TO BE DIRECTLY CONNECTED TO THE PROPOSED STORM SEWER			

SOURCE TO BE DIRECTLY CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXISTING OR PROPOSED WATERCOURSE BELOW THE M.O.E. ELEVATION SHOWN. SUMP PUMP WELLS AND SUMP PUMPS SHALL BE INSTALLED FOR BASEMENTS OF HOMES IF THE BASEMENT ELEVATION IS BELOW THE M.O.E. ELEVATION SHOWN.

VILLAGE OF SOUTH LEBANON PLANNING COMMISSION

THIS PLAT WAS APPROVED BY THE VILLAGE OF SOUTH LEBANON PLANNING COMMISSION ON THIS ____ DAY OF ___ , 2018.

VILLAGE OF SOUTH LEBANON

I HEREBY CERTIFY THAT ON THE _____ DAY OF , 2018, THIS PLAT WAS APPROVED AND ACCEPTED BY RESOLUTION NO. ADOPTED BY THE COUNCIL OF THE VILLAGE OF SOUTH LEBANON, OHIO.

JAMES D. SMITH, MAYOR

NICOLE ARMSTRONG, FISCAL OFFICER

CHAIRMAN



<u>,</u> 2018, AT ____

COUNTY AUDITOR

TRANSFERRED ON THIS ____ DAY OF

COUNTY AUDITOR

DEPUTY

PRINTED NAME:

COUNTY RECORDER

=ILE NO	
RECEIVED ON THIS DAY OF	, 2018, ATM.
RECORDED ON THIS DAY O	F, 2018, ATM.
RECORDED IN PLAT BOOK NO.	PAGE NO
FEE:	
COUNTY RECORDER	DEPUTY

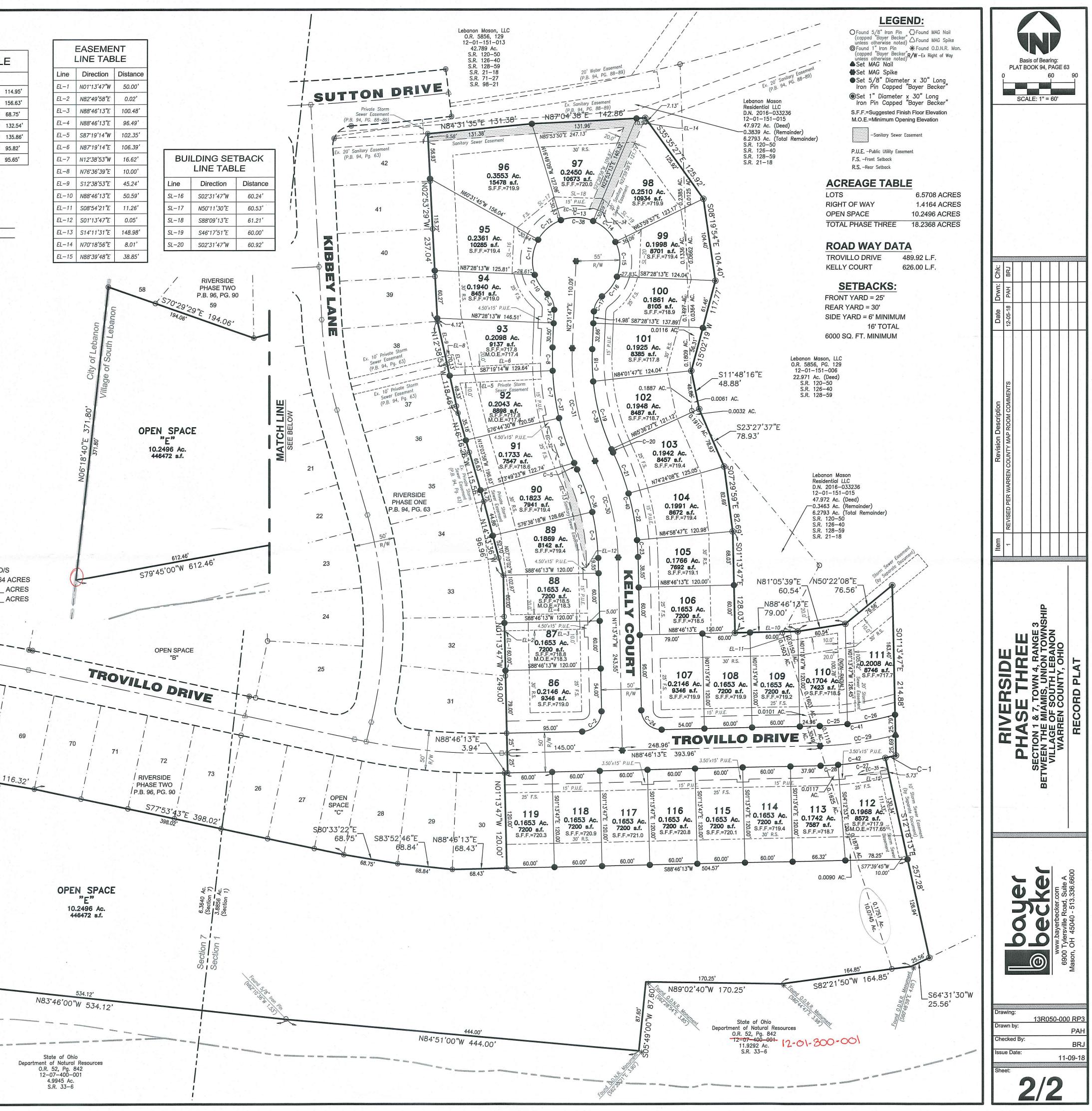
Revision Description Date Drwn: Chk:	REVISED PER WARREN COUNTY MAP ROOM COMMENTS 12-05-18 PAH								
Item	1								
RIVERSIDE PHASE THREE PHASE THREE SECTION 1 & 7, TOWN 4, RANGE 3 BETWEEN THE MIAMIS, UNION TOWNSHIP VILLAGE OF SOUTH LEBANON VILLAGE OF SOUTH LEBANON WARREN COUNTY, OHIO RECORD PLAT									
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	RIVERSIDE			SECTION 1 & 7, TOWN 4, RANGE 3	ETWEEN THE MIAMIS, UNION TOWN	OF SOUTH LE	N COUNTY, (Mason, OH 45040 - 513.336.6600	

11-09-1

COUNTY RECORDER

PRINTED NAME:

	CURVE	TABLE								
Delta	Radius Le	ngth Chord		Par	cel Tab	ble				
1*50'53"	425.00' 1	3.71' N76 · 46'21"E	13.71'	Parcel #	Acres	S.Ft.				
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LOT	CURVE T	ABLE		87	0.1653	7200	C-37	27'53'18"	325.00'	15
Delta	Radius Length	Chord		88	0.1653	7200	C-38 C-39	282'38'08" 27'53'18"	55.00' 275.00'	2
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12 13 54 11 * 53'49"	275.00' 57.10'	S19'24'36"E 57.00'		90	0.1733	7547	C-41	14'40'52" 12'55'19"	375.00' 425.00'	9
1'35'22"	325.00' 9.02'	S24*33'49"E 9.02'		92	0.2043	8898	0-12	12 33 19	420.00	
10'30'38" 10'34'44"	325.00' 59.62' 325.00' 60.00'	S18'30'49"E 59.54' S07'58'08"E 59.92'		93	0.2098	9137				
5'12'33"	325.00' 29.55'	S00'04'29"E 29.54'		94	0.1940	8451				
51°19'04" 30°27'24"	25.00' 22.39' 55.00' 29.24'	S23'07'45"E 21.65' S33'33'34"E 28.89'		95	0.2361	10285	SIDV	VELLS 12-01-15	1-006	
47*48'07"	55.00' 45.89'	S05'34'11"W 44.57'		96	0.3553	15478	OLD #			
40°15'24" 43°09'35"	55.00' 38.64' 55.00' 41.43'	S49'35'56"W 37.85' N88'41'34"W 40.46'		97	0.2450	10673	NEW NEW			-
43 [°] 09 [°] 35 [°] 41 [°] 06 [°] 44″	55.00 41.43 55.00' 39.46'	N46'33'25"W 38.62'		98	0.2510 0.1998	10934 8701	NEW NEW		-	
47°00'09"	55.00' 45.12'	N02'29'59"W 43.86'		100	0.1861	8105	NEW			-
32°50'46" 51°19'04"	55.00' 31.53' 25.00' 22.39'	N37°25'29"E 31.10' N28°11'20"E 21.65'		101	0.1925	8385	NEW NEW			
8'30'01"	275.00' 40.80'	N01°43'13"W 40.76'		102	0.1948	8487	NEW			-
18°25'19" 0°57'57"	275.00' 88.42' 275.00' 4.63'	N15'10'53"W 88.04' N24'52'32"W 4.64'		103	0.1942	8457	NEW			
0'57'57" 9'45'38"	275.00' 4.63' 325.00' 55.36'	N24'52'32'W 4.64 N20'28'41"W 55.30'		104	0.1991	8672	NEW NEW			
10'34'40"	325.00' 60.00'	N10'18'32"W 59.91'		105	0.1766	7692	NEW	<u> </u>	-	
3°47'25" 90°00'00"	325.00' 21.50' 25.00' 39.27'	N03°07'30"W 21.50' N46°13'47"W 35.36'		106	0.1653	7200	NEW NEW			
5'21'41"	375.00' 35.09'	S86'05'22"W 35.08'		107	0.2146	9346	NEW NEW			
9'19'11"	375.00' 61.00'	S78*44'56"W 60.93'		108	0.1653	7200	NEW			
8'05'20" 2'59'05"	425.00' 60.00' 425.00' 22.14'	N81'44'27"E 59.95' N87'16'40"E 22.14'		109	0.1653	7200	NEW			-
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				112	0.2008	8572	NEW			
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27 00 10	000.00			117	0.1653	7200	NEW	_		
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e Delta 5'57'17"		34' S17 [•] 29'58"E 35.32'		"E"*	10.2496	446472	NEW			
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VILLAGE OF SOUTH LEBANON MEMORANDUM

TO:	Planning Commission
FROM:	Jerry Haddix, Village Administrator
RE:	Case 20-08P, Site Plan Review for McDonald's
DATE:	April 17, 2020

On the agenda for the April 21st meeting is an application for approval of the site plan, landscape design and signage for the McDonald's restaurant to be located at Corwin Nixon Boulevard on 1.4581 acres on Lot 5 of the Rivers Crossing West Section 2 Subdivision (the "Project") submitted by Permit Solution (the "Applicant") on behalf of McDonald's.

Background

The Project that is the subject of the application is located on 1.4581 acres along the west side of State Route 48. The property is owned by Rivers Crossing Power LLC. The present zoning classification is B-2 General Business District. The proposed Project consists of a 4,073 s.f. restaurant with a drive-thru with access provided by a private access easement from Corwin Nixon Boulevard north of the existing Speedway site.

The site plan has been distributed to various agencies and, to date, we have received comments from Kim Lapensee, our Planning Consultant, and the Choice One Engineering. The Union Township relayed that he had no comments on the site plan.

Zoning Code Analysis

Upon review of the plans, it has been determined that the drawings generally satisfy the Zoning Regulations and Design Guidelines and Standards with the exceptions listed in the attached letter and accompanying site plan approval checklist.

Zoning Process

Pursuant to Article 18 of the Village Zoning Regulations, the development of any new use or construction of any new structures shall require site plan approval prior to construction and/or occupancy. At the first regular meeting at which a site plan proposal is considered, the Commission shall first determine whether to accept the plan for processing. If accepted for processing, the Commission shall review the site plan in relation to applicable standards and regulations, and in relation to the intent and purpose of the Village Zoning Regulations and Design Guidelines and Standards. The Commission shall consider the comments and recommendations from the Village Administrator, the Village Engineer, public safety officials and other reviewing agencies.

If the Commission determines that revisions are necessary to bring the site plan into compliance with applicable standards and regulations, the applicant shall be given the opportunity to submit a revised

site plan. The Commission shall review the revised site plan and application materials within 30 days after the Village received a complete revised site plan application.

The Commission shall make a determination on a site plan based on the requirements and standards in the Zoning Regulations and Design Guidelines and Standards. The Commission is authorized to grant approval, grant approval subject to conditions, or reject a site plan. If the Commission chooses to grant approval subject to conditions, the Commission may waive its right to review the revised plan, and instead authorize the Zoning Administrator, or his designee, to review and recommend approval of the resubmitted plans if all required conditions have been addressed.

If construction is not started within 18 months of final approval of the site plan, the site plan approval becomes null and void and a new application for site plan review shall be required.

Recommendation

Given the width of the lot, the parking spaces and building, the 10 foot landscape buffer is not feasible for this site. With the adjoining commercial uses, a 6-foot buffer as shown on the plans would be adequate. Also, operationally, McDonald's doesn't require a designated loading space as part of their business. Therefore, waiving of this requirement would not be detrimental to the development.

Staff recommends that the Planning Commission grant its approval of the site plan and landscape plan for McDonald's with the following conditions:

Prior to issuance of a zoning permit, the applicant must resubmit the site plan and provide the following information to the Zoning Administrator:

- 1. Addressing the comments of the Village Engineer and Planning Consultant to the satisfaction of the Village Administrator;
- 2. Provide the Storm Water Pollution Prevention Plan (SWPPP) and address any review comments from the Warren County Soil & Water Conservation District relative to the SWPPP.

Attachments

Planning Commission Application Site Plan and Landscape Plan Plan Review – Kim Lapensee Choice One Engineering Review Letter

VILLAGE OF SOUTH LEBANON PLANNING COMMISSION APPLICATION

1. Application Type: (check the appropriate box) (all plans must be folded when submitted)

	Draft Plan-Discussion Only	Preliminary PUD
Х	Site Plan	Final PUD
Х	Landscape Plan	Rezoning
Х	Construction Drawings. (Please complete Fee Schedule form on Page 2)	Lot Split
	Preliminary Plat (Please compete Fee Schedule form on Page 2)	Conditional Use
	Final Plat or Replat	Special Meeting
	Right-of-Way Dedication Plat	Other:

(See Page 3 for complete Fee Schedule and Submittal Requirement Information)

2. Development Information:

Development/Business Name: McDonald's Corporation			
Type of Business/Project Description: New Drive-Thru Restaura	nt		
Location: Rivers Crossing West Rt 48 and 71 South Lebanon,	Size of Building: 4073		
Current Zoning: B-2 General Business District	Rezone to: N/A		
Total Acreage: 1.4581	Acres to be Rezoned: N/A		
Number of Employees: 10-15	Number of Fleet Vehicles: N/A		
Current Owner of the Property	Project Contact (Architect, Engineer, Planner)		
Name: Rivers Crossing Power LLC	Name: Bayer Becker - Enginner		
Address: 738 Corwin Nixon Blvd.	Address: 6900 Tylersville Rd		
City: South Lebanon State: Ohio Zip: 45065	City: Mason State: Ohio Zip:		
Telephone: Fax:	Telephone: 513-492-9835 Fax:		
Applicant(s): Permit Solutions - Vanessa Stickel - Main Contact			
Address: 5195 Hampstead Village Center Way			
City: New Albay State: Ohio	D Zip: 43054		
Telephone: 330-571-3315 Fax: n/a			
Please Print Applicant's Name Here: Vanessa Stickel			
* Applicant's Signature: <u>Vanessa Stickel</u>			
* Applicant is responsible for payment of all fees (See	Fee Schedule and Footnotes on Pages 3 and 4 respectively.)		

TO BE COMPLETED BY THE VILLAGE OF SOUTH LEBANON						
Application Number:		Date of Planning Comr	nission Meeting:			
Fee Paid:	Drawn:	Check #:	_ Date:	_ Initial:		
Legal Notices Advertised: _		Mailed to Surroundi	ng Property Owners:			

3. Rezoning and Preliminary PUD Plan Requests

<u>Surrounding Property Owners</u>: Please list the names and addresses of all **Owners of Real Property** within 300 feet of any part of the property as such names and addresses appear on the most recent tax duplicate on 2 sets of mailing labels. (See submittal requirements on page 3).

4. Signatures Required

By signing this application, I attest under penalty of law that all the information knowledge.	on given above is correct to the best of my
Please <u>Print</u> Applicant's Name: Vanessa Stickel - Permit Solutions	
Applicant's Signature: <u>Vanessa Stickel</u>	Date: <u>March 3, 2020</u>
Property Owner's Signature:	Date:

5. Fee Determination for Construction Drawings and Preliminary Plat Submittals

Please create a detailed breakdown of the estimated infrastructure breakdown cost for the project and attach it to this application. For Construction Drawings complete Item 1 and for Preliminary Plats complete Item 2.

Total Infra	structure Cost \$_690,279	(A)
1 – Construction Drawing Fee Breakdown		
1.25% of Total Infrastructure Cost* (Line A x 0.0125)	\$	(B)
1.50% of Total Infrastructure Cost** (Line A x 0.015)	+ \$10,354.19	(C)
Application Fee	+ \$ <u>150.00</u>	(D)
Total Construction Drawing Fee (Line B + C + D)	\$_19,132.68	(E)
2 – Preliminary Plat Fee Breakdown:		
0.25% of Total Infrastructure Cost* (Line A x 0.0025)	\$	(F)
Application Fee	+ \$ 150.00	(G)
Total Preliminary Plat Fee (Line F + G)	\$	(H)
Total Paid with Application/Submittals (Line E+H)	\$	
* Due upon submittal ** Due prior to construction		

6. Fee Schedule and Submittal Requirements

Article/Ord. Reference	Item	Fees ⁽³⁾⁽⁴⁾	Submittal Requirements
Article 20 Article 14	Preliminary Plats Final PUDs	\$150 + 0.25% of estimated infrastructure construction costs ⁽¹⁾	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 20	Construction Drawings	\$150 + 2.75% of estimated infrastructure construction costs ⁽¹⁾ (Include estimate with application) (1.25% due at time of submittal and 1.5% due before construction begins) ⁽²⁾	 4 Copies⁽⁵⁾ 2 Drainage Calculations 2 Detailed Spreadsheet of the Estimated Infrastructure Costs
Article 20	Final / Dedication Plats	\$350	10 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 20	Lot Split / Minor Subdivision / Replats	\$75 per lot	3 Survey Plats ⁽⁵⁾ & Legal Descriptions 1 New Deed + 1 Original Deed
Article 18	Site Plans	\$400 + \$5 per unit Multi-family \$400 + \$20 per acre Commercial/ Office/Industrial/Institutional	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 17	Landscape Plans	\$150 + \$10 per acre	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 7	Zoning District Map Change	\$400 + \$10 per acre	20 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
	Zoning Text Change		1 List of Surrounding Property Owners + 2 Sets of Mailing Labels
Article 5	Variances / Appeals	\$400	8 Copies + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 1 Set of Mailing Labels
Article 14	Preliminary PUD Plans	\$2,500 + \$20 per acre	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 2 Sets of Mailing Labels
Article 14	Final PUD Plans	Site Plan Review Fees Apply	Site Plan Review Submittal Requirements Apply
Article 6	Conditional Use / Similar Use	\$250 + applicable site plan fee	15 Copies + 1 Copy Ledger Paper ⁽⁵⁾
Article 3	Zoning Permit	\$250 + \$0.03 per square foot of building area (Village water tap and inspection fee required if utilizing Village Water [proof of payment of County tap fee if utilizing County Water]; Village sewer tap and inspection fee also required)	5 Copies
Article 3	Temporary Use Permit	\$50	5 Copies
Article 3 Ord. No: 2008-14; Permit App.	Certificate of Occupancy Flood Hazard Area Development Permit	\$50 \$50	3 Copies 3 Copies of Permit Application w/ applicable submittal requirements (stated on Page 2 of 2 of Permit Application + Engineering "No Rise" Certification (if applicable)
	Special Meeting	$$500 + \text{Application Fee, if any}^{(6)}$	Depends Upon Type of Application or Meeting Requested

FOOTNOTES TO FEE SCHEDULE

- (1) Infrastructure construction costs include all infrastructure costs associated with a development including, but not limited to, drainage facilities, sanitary sewers, waterlines, grading, excavation, and street improvements.
- (2) Any inspection conducted outside the normal eight-hour workday of Monday through Friday, excluding holidays, 8:00 a.m. until 4:30 p.m., shall be charged at one and a half (1.5) times the standard rate. The Village reserves the right to charge fees in addition to the fees specified in the table above if, due to the applicant's responsibility, excessive review and/or field inspections are necessary, and as determined by the Village Engineer. Such fees for review and field inspection by Village staff shall be charged at the standard rate of forty dollars (\$40) per hour, plus a three-fourths (.75) hour charge for travel time. Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. Performance and maintenance bonds will not be released until payment of all fees is received.
- (3) Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. The applicant shall pay the difference when consultant fees charged to the Village are in excess of the established Fee Schedule base amounts. Final approvals will be held until all fees charged by consultants are paid-in-full by the applicant.
- (4) The fee for review of a revised application shall be sixty (60) percent of the fee specified for the initial or first review of such application.
- (5) All plans must be folded to fit a legal sized file folder with the title showing in the lower right-hand corner.
- (6) Special meetings that require one or more of the Village's consultants to attend shall require payment of the special meeting fee before the meeting is scheduled. Examples of special meetings include staff meetings and non-scheduled Planning Commission meetings requested by an applicant and/or developer.
 - 1. Complete applications submitted by the deadlines posted above will be processed and placed on the next regularly scheduled Planning Commission meeting.
 - 2. Incomplete applications or applications that do not comply with the minimum Village Zoning Ordinance and/or Subdivision Regulations or applications that are not submitted by the above posted deadlines will not be placed on the next regularly scheduled Planning Commission meeting agenda.
 - 3. The applicant will be notified if his or her application is not accepted for processing. The Village Administrator and/or Zoning Administrator will discuss the reasons why the application was not accepted and the necessary steps required to meet the next meeting deadline.
 - 4. Applicants may request a special Planning Commission meeting. Requests should be made with the Village Administrator at least two weeks in advance of the requested special meeting date. The meeting will be set if approved by the Planning Commission chairperson and if a quorum can be present. A \$500 fee plus applicable application fee must be paid in advance of the meeting (See Fee Schedule and Footnotes to Fee Schedule).
 - 5. Meeting dates are subject to change due to unforeseen scheduling conflicts and holidays. Applicants should call the Village to check meeting dates in advance of the application deadlines.



Location: McDonald's New Build - Rivers Crossing West Rt 48 and 71 South Lebanon Infrastructure Cost Breakdown

Div 22	\$9,450
Plumbing Site	
Div 26	\$53,387
Electrical	
Div 31	\$15,750
Earthwork	
Div 32 Exterior	\$297,982
Improvements	
Div 33 Utilities	\$313,710
Total	\$690,279

Staff Report for McDonalds Site Plan

Project Description

McDonalds has submitted a site plan for the property located on Corwin Nixon Blvd, South Lebanon, Ohio. Lot 5 is 1.458 acres in size. They are proposing to build a McDonalds that will be 3,960 sf in size (90 X 44). The restaurant will have two drive-thru stack lanes (as you wrap around the building) on the north side of the building and three drive-up windows on the south side of the building.

Parcel Description

The parcel number is 12023350040 and is located in the Kings School District. This is an existing vacant parcel that was split into 4 lots – this being lot 5 of the River Crossing West Section 2 Subdivision. This parcel is located along the west side of State Route 48 just south of the I-71 ramp.

Zoning

The parcel is zoned B-2 General Business District which allows for general business uses such as the following:

- Animal Hospitals/Kennels;
- Automotive, mobile home, farm implement, sales, service, rental or lease establishments;
- Building and related trades, including sales areas;
- Business or professional offices;
- Car washes;
- Churches and similar places of worship;
- Financial institutions;
- Home furnishings sales/rental/repair;
- Medical clinics;
- Motels and hotels;
- Motion picture theaters, indoor or outdoor printing, copying and publishing establishments;
- Restaurants;
- Retail stores including those which sell petroleum products and may do on-site servicing or repair work;
- Service businesses which may do on-site installation or repair work;
- Studios, salons and health clubs;

Existing Requirements B-2 District

- Max height 35'-0". *Height shown on the plans 19'-0".*
- Front Yard 20'-0"; *Front yard 205'-0"*.
- Side Yard 10'-0"; Side yard 54'-0" on the south, 60'-0" north side.
- Rear Yard 20'-0"; *Rear yard 105'-0"*.
- Min Lot Size 8,000 sf; The lot is 1.458 acres in size (63,515 sf).
- Frontage 60'-0". The lot has 160 feet of frontage on SR48 and 160 feet on the private drive.

Parking Requirements

- All parking spaces must be at least 162 sf in size. The spaces measure 9 X 20 = 180 sf.
- Parking lots can be no closer than 3 feet to the property line. **The** parking areas are setback 5'-0" on both sides of the lot and 30'-0" to the east facing SR48.
- Parking lots can be located in required yards with property screening. There is screening provided down both sides of the parking lot and along the frontage of SR48.
- Parking lots must be a hard surface, graded and drained with parking barriers.
- If more than 20 spaces, they must be marked.
- Circulation signage is permitted.
- If the parking lot is lighted, it must be illuminated away from any residential districts. *There are 8 proposed lights surrounding the perimeter of the paved area.*
- 15.12.5; Off-Street Storage Area for Drive-In Services restaurants with drive-up windows that can serve customers in 3 minutes of less shall provide no less than 3 storage space per window. There are 15 spaces required. There are one/two areas that can hold approximately 16 cars as it wraps around the building with 3 additional spaces after the drive-up windows.
- 15.12.7; Required parking spaces 1 for each 200 sf and 1 for each 2 employees. 51 parking spaces are shown on the plan. The building is 3,960 sf and 20 spaces would be required + parking for employees.
- 15.12.8; Handicapped parking spaces 1 space per 25 spaces. 2 spaces are required and there are 3 shown on the plan.
- 15.12.10; Off-street loading 1 space is required if the building is over 3,000 sf. plus one additional if over 10,000. There is one loading space required. Loading space must be 12 wide, 65 feet in length and have a vertical clearance of 14 feet. There is none shown on the plans; however, one could be accommodated between the drive-up

stack area and the last window near the handicapped parking area.

Signage

- Signs can be illuminated. *There is one monument sign along SR48* shown on the site plan.
- No flashing lights are permitted.
- Signs must be setback at least 10'-0" from the ROW. Signs are located outside the ROW and setback 30'-0" from SR48 and 10'-0" from the side yard on the south side of the building.
- Building signs must be within the wall space.
- Free-standing signs cannot exceed 28'-0" in height in the business district. *There are no free-standing signs.*
- Ground signs cannot exceed 8'-0" in height. Monument sign proposed will be 11'-7" X 5 and will be an electronic message board. The base cannot exceed 3'-0" in height.
- Businesses and other permitted uses having street frontage of 100 linear feet or more shall not exceed 150 square feet of sign surface area. The surface area of the monument sign totals 58 sf. The directional signage totals 12 sf. It is unclear how many feet the ordering boards (4) will be in size around the drive-thru area.
- Businesses and other permissible uses may include variable message centers on the freestanding sign, provided that running copy is not displayed and maximum flash rate shall not exceed one (1) line in four (4) seconds, or two (2) lines in seven (7) seconds, or three (3) or more lines in ten (10) seconds. There are 2 electronic message boards shown on the site plan that will be located in the drive-thru areas along with 2 additional menu signs.
- Building signs: Any business or other permissible uses shall be permitted 1.5 square foot of building sign surface area for each foot or building frontage as measured along the length of the building façade that fronts the principal dedicated street, or the façade that contains the main entrance to the building. For other building frontage, signs may not exceed 75 square feet of sign surface area. *There are 5 building signs shown on these plans that total 108 sf. Total building frontage is 160 lf X 1.5 = 240 sf permitted wall signs.*

Landscaping

• All unpaved areas must be planted with grass, ground cover, trees or shrubs. 5% of the lot must be landscaped – 3,175 sf. **7,010 sf of area** will be landscaped with trees and bushes and the remaining areas outside of the parking areas will be lawn.

- 15.17.5; All parking lots must be screened and the screen must be 10'-0" wide with a 30" continuous screen planting or decorative wall. There must be 1 deciduous tree per 30 lineal feet. There is 230 linear feet by 6'-0" area along the parking lot side of the lot (south) shown on the plans for landscaping. 8 trees are needed with a continuous screen 8 trees (Sweet Gum and Honey Locust) and 38 shrubs that are shown along the south side of the parking lot. There are 15 total trees and 40 shrubs shown on the north side with roughly the same length of parking lot. The width of the screening is 4'-0" less than required.
- 15.17.8; Commercial landscaping adjacent to the ROW. Arterials "A" 20'-0" width, 30" high must contain 1 tree and 6 shrubs for every 30 lineal feet of frontage. 6 trees and 36 shrubs are required along State Route 48 8 trees are shown with 33 bushes across State Route 48 but they are located along the sides of the parking areas and not along the entire frontage.
- Dumpsters must be screened and must be located in the side or rear yard with 6'-0" tall screen. Site plan indicates that the dumpster is located in the front yard and is screened on all 3 sides with a gate.
- 1 deciduous shade tree is required for every 300 sf of required interior parking lot landscaping area. 1 tree shall be planted and included in each landscaping island and 1 shrub shall be provided for every 250 sf of required interior landscaping area. *There are 3 trees and 23 shrubs shown next to the building. The island between the stack lane/order areas is planted with 9 bushes.*

Items to Consider

- Sidewalks along State Route 48 for pedestrian safety and a crosswalk at the light.
- Cross access easements for access on the private drive and a maintenance document that determines who pays for maintenance.
- It is recommended that all lots share one large sign for the lots being developed or have the same size signage along State Route 48 for uniformity.
- It is recommended that all lots (businesses) along SR48 have similar landscaping features so that it draws your eye to the buildings and there is a uniformity along SR48 that is unique to South Lebanon.



Date March 23, 2020 Attention Jerry Haddix Village Administrator Address Village of South Lebanon 99 High Street South Lebanon, OH 45065

Subject

Summary of Review #1 Rivers Crossing West – McDonald's South Lebanon, Ohio

Dear Mr. Haddix:

Enclosed is a summary of our review of the McDonald's Site Plan.

Site Plan

1. Loading space will subtract 8 parking spaces. Clarify when loading space will be in use.

Utility Plan

- 1. It appears there is a typo on the proposed 4" sanitary sewer lateral. 695.50 would put it 26' above the building elevation.
- 2. Show 100-year overland flood routing on this sheet or on grading plan.

SWPPP

- 1. Site disturbance is over 1 acre. Provide Village copy of approved NOI.
- 2. Standalone SWPPP is required. Erosion control notes/details on site plan/grading plan are not acceptable.

Lighting Plan

1. Foot-candles at adjacent property lines exceed allowable limits. Per Section 15.18.21.14 of Village zoning code, exterior lighting shall be decided so that it is deflected away from adjoining properties.

Storm Sewer

- 1. Storm pipes are to have a minimum inside diameter of 12" (not including downspout lines). Pipes from structure 5 and 7 need upsized from 8" to 12"
- 2. UG Detention callout lists 100-yr elevation at 662.06, where it should be 666.06.
- 3. Has an MR505 been obtained from ODOT for the outlet of the storm system into SR 48 R/W and the grading modifications?

Thank you for the opportunity to review the plans and suggest our comments.

Sincerely,

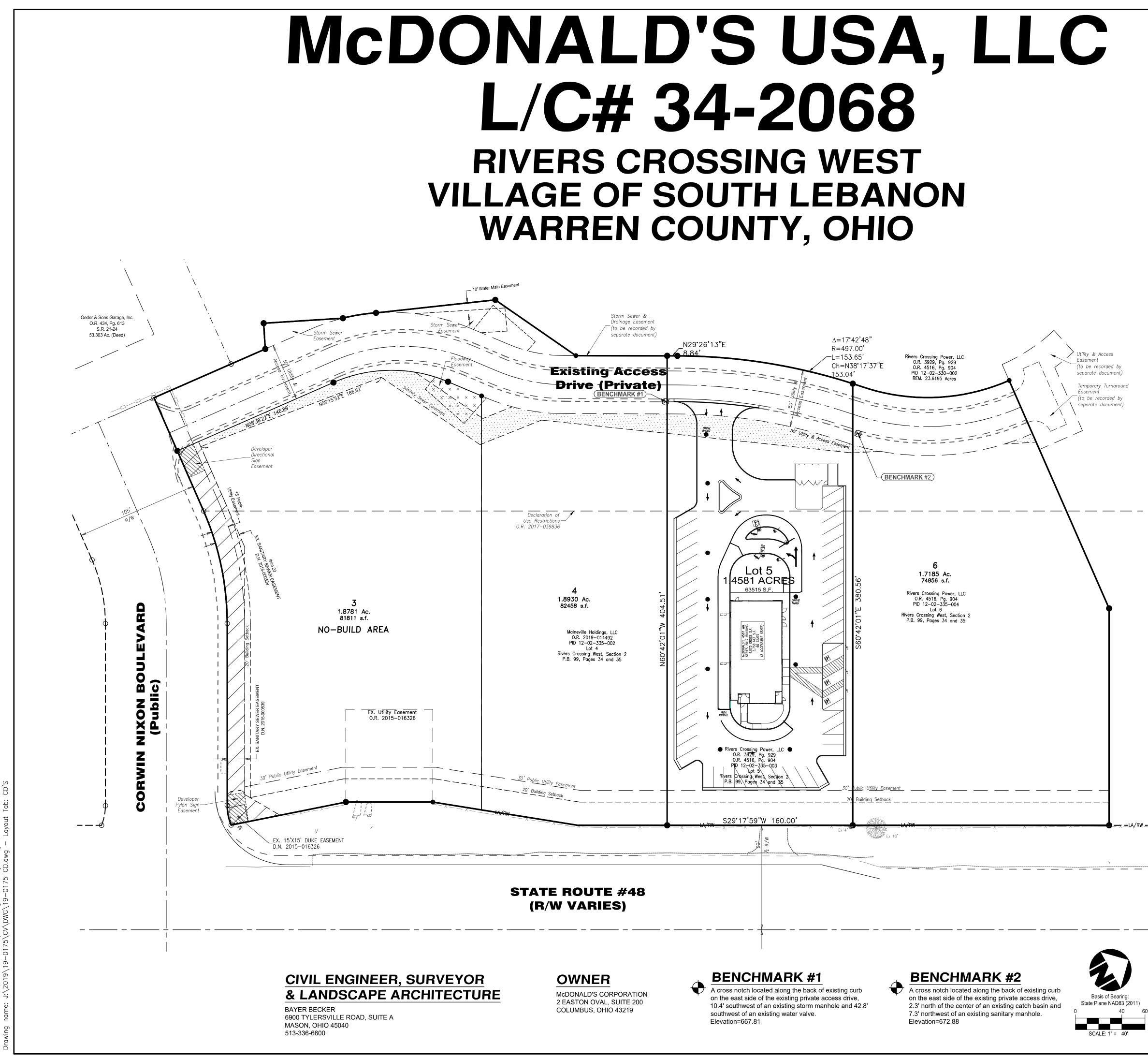
Nicholas J. Selhorst, P.E.

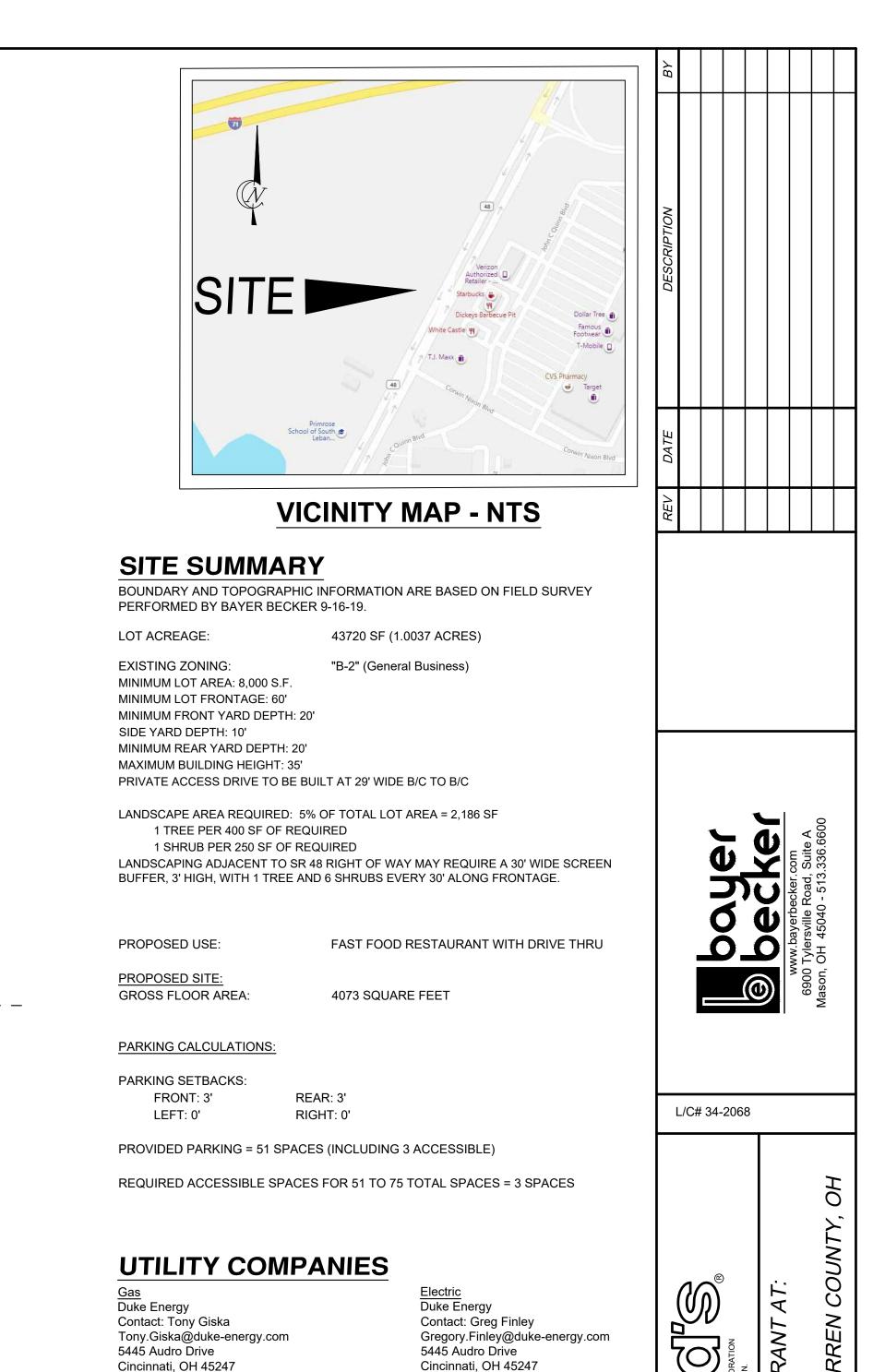
West Central OhioS. Ohio/N. Kentucky440 E. Hoewisher Rd.203 W. Loveland Ave.Sidney, OH 45365Loveland, OH 45140 937.497.0200 Phone 513.239.8554 Phone

Eastern Indiana 607 N. Meridian St. Portland, IN 47371 260.766.2500 Phone



www.CHOICEONEENGINEERING.com





Sanitary Sewer Village of South Lebanon Contact: Jerry Haddix 10 N High Street South Lebanon, OH 45065 513-770-4871

513-287-4667

Water Main Village of South Lebanon 99 High Street South Lebanon, OH 45065 513-4942296

<u>Storm</u> Village of South Lebanon 99 High Street South Lebanon, OH 45065 513-4942296

<u>∗</u> — LA/RW -

SHEET INDEX

C1.0	TITLE SHEET
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	SITE DETAILS
C3.2	SITE DETAILS
C3.3	DRIVE THRU DETAILS
C4.0	UTILITY PLAN
C4.1	UTILITY DETAILS
C4.2	UTILITY DETAILS
C5.0	GRADING PLAN
C5.1	EROSION DETAILS
L1.0	PLANTING PLAN
L2.0	PLANTING NOTES & DETAILS

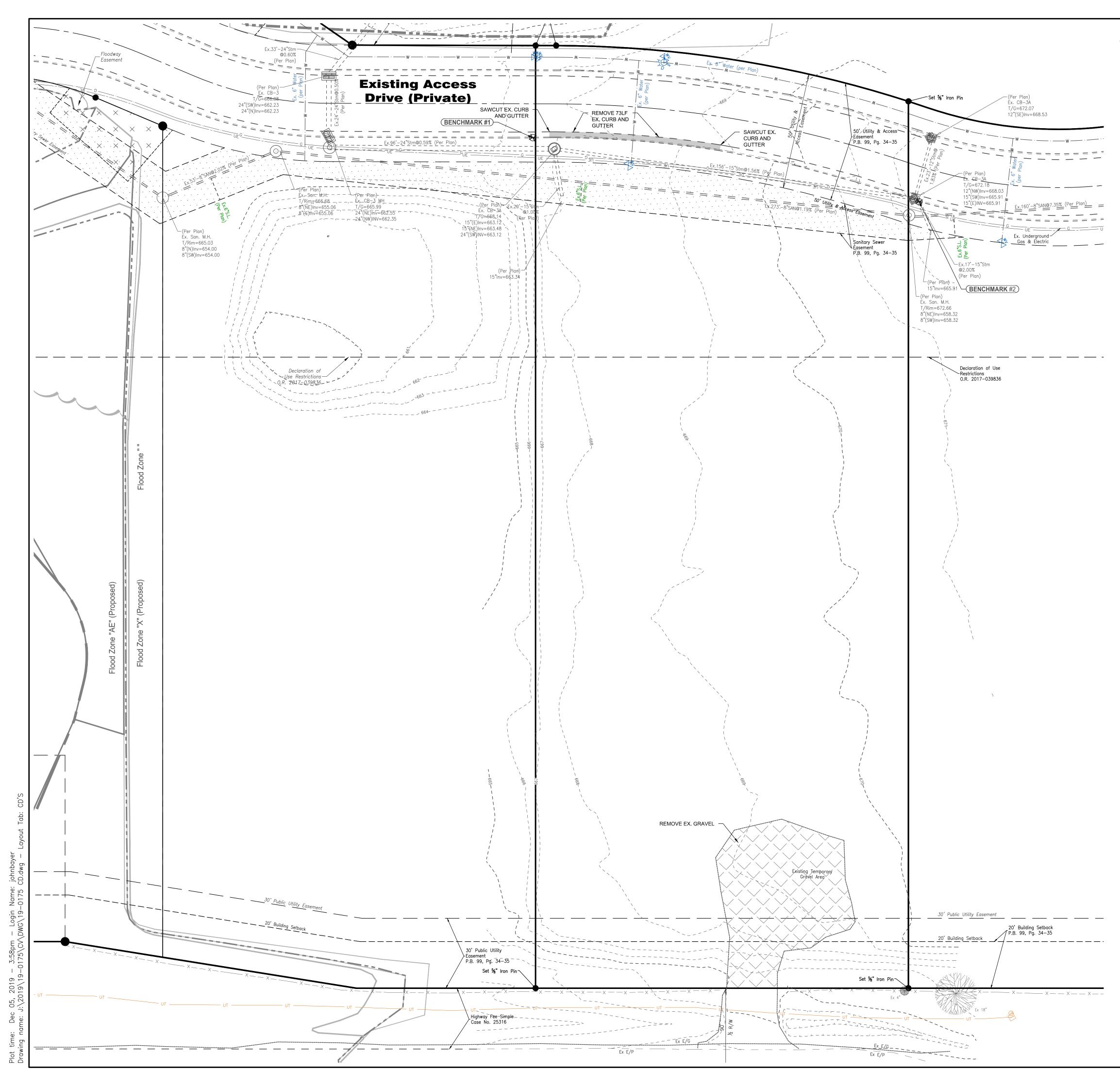
Cincinnati, OH 45247 513-287-1104

Telephone AT&T 3233 Woodman Drive Dayton, OH 45420 937-296-7066

Cable TV Time Warner Cable 11254 Cornell Park Drive Cincinnati, OH 45242 513-489-5957

	6900 Tylersville Ro Mason, OH 45040 -
L/C# 34-2068	
THESE PLANS AND SPECIFICATIONS ARE THE PROPARITY OF MEDINALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	PROPOSED McDONALD'S RESTAURANT AT: RIVERS CROSSING WEST VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OH
JOB NO. 19-0)175
DATE: 12/5/19	9
SCALE: 1"=40'	
TITLES	SHEET

SHEET: C1.0



DEMOLITION LEGEND

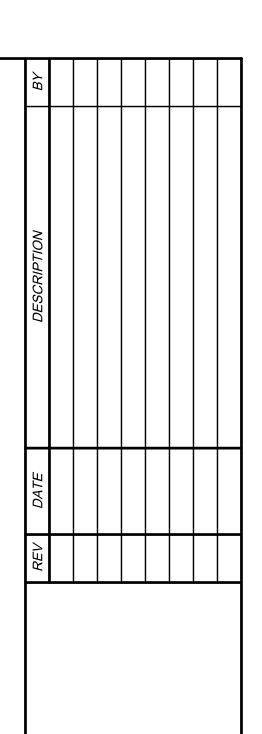


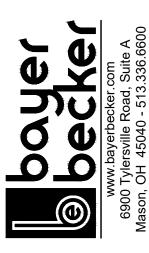
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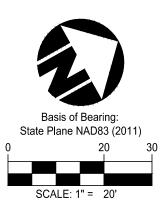
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<u> </u>	Found Stone		Set 1" Iron Pin
M	Found Mon. Box		Set MAG Spike
∲	Found Axel	•	Set Benchmark





GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT ALL NECESSARY PERMITS/APPROVALS ARE IN PLACE BEFORE BEGINNING CONSTRUCTION.
 LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, THROUGHOUT ALL PHASES OF CONSTRUCTION.
- SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING FROM THE SITE ALL ITEMS SHOWN TO BE DEMOLISHED UNLESS OTHERWISE INDICATED OR NOTED. ALL MATERIALS SHALL BE REMOVED FROM SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- 4. ALL EXISTING ITEMS NOT SPECIFICALLY NOTED TO BE DEMOLISHED SHALL REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE TO REMAIN.
- 5. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW PAVEMENT, CURB, AND SIDEWALK JUNCTURES, NO JAGGED OR IRREGULAR CUTS WILL BE ACCEPTED.
- 6. ALL NECESSARY EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO CONSTRUCTION/DEMOLITION. EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND IN WORKING CONDITION AT ALL TIMES.



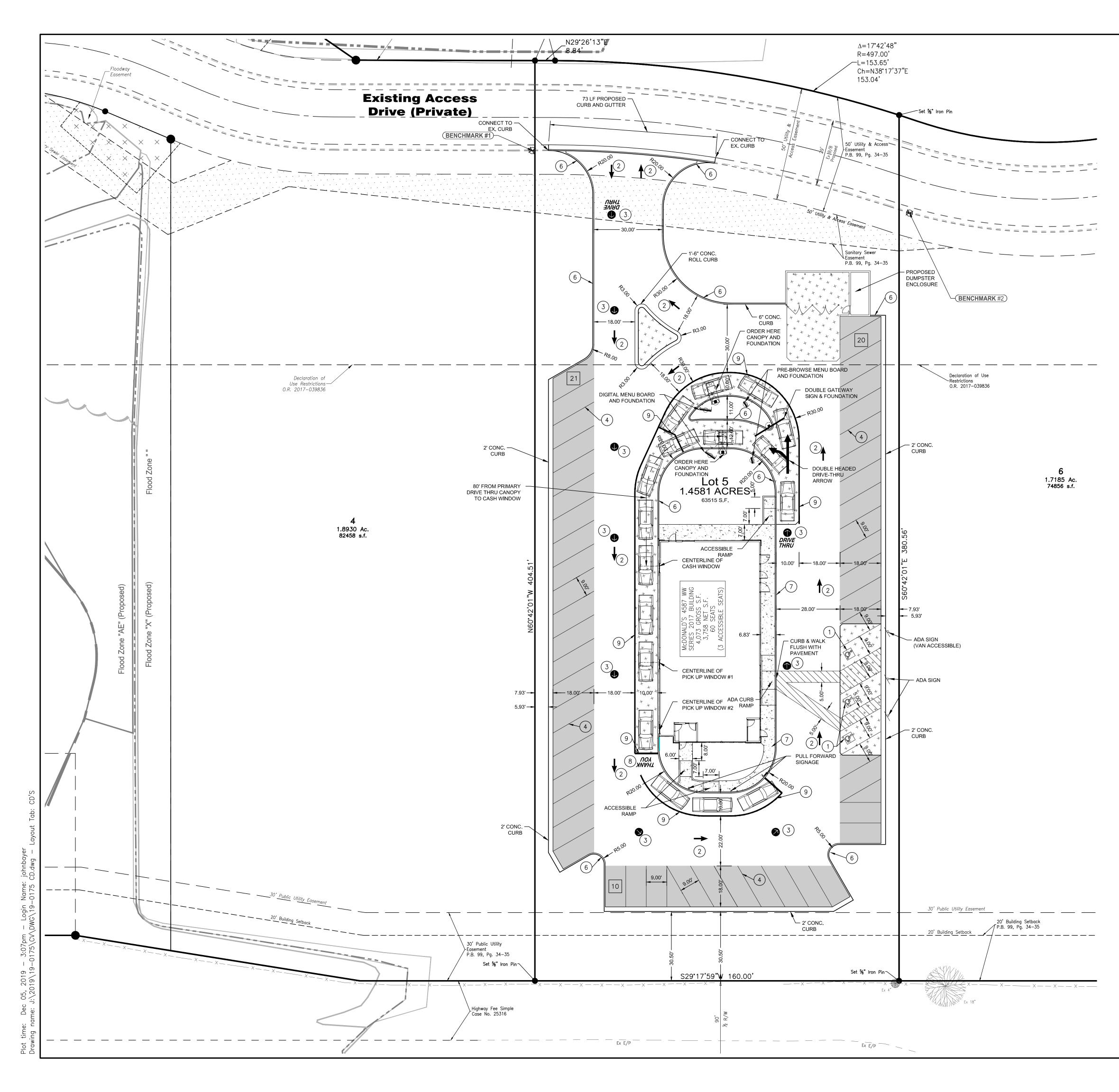
Know what's below. Call before you dig.

CAUTION!!!

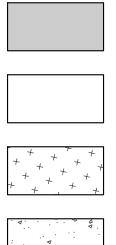
ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

L/C# 34-2068	
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MEDONALDS CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	PROPOSED McDONALD'S RESTAURANT AT: RIVERS CROSSING WEST VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OH
JOB NO. 19-0	175
DATE: 12/5/19)
SCALE: 1"=20'	
DEMOLITI	ON PLAN
SHEET	: C2.0

LEGEND







PROPOSED LIGHT DUTY ASPHALT PAVEMENT

PROPOSED HEAVY DUTY ASPHALT PAVEMENT

PROPOSED CONCRETE PAVEMENT

PROPOSED CONCRETE SIDEWALK

PARKING COUNT

 \square

20

PROPOSED SITE LIGHTING

KEY NOTES

- 1 PROPOSED ADA PARKING (PAINTED HANDICAP SYMBOL)
- (PAINTED HANDICAP STRIBUE)
 DIRECTIONAL ARROW (WHITE)
- DRIVE THRU PAVEMENT
- (3) DRIVE THRU PAVEMEI MARKINGS (YELLOW)
- (4) PROPOSED PARKING, 4" WIDE SOLID WHITE STRIPE, TYP.
- (5) 4" PAINTED WHITE STRIPE
- (6) PROPOSED 6" CONCRETE CURB
- 7 PROPOSED 6" CURB & SIDEWALK
- 8 "THANK YOU" (YELLOW)
- \bigcirc
- (9) 6" PAINTED YELLOW STRIPE
- 10 12" PAINTED WHITE STRIPE

SITE LAYOUT NOTES

- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT) "CONSTRUCTION AND MATERIAL SPECIFICATIONS," AND PROJECT SPECIFICATIONS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD APPLIES.
- 3. WHERE CONNECTING TO EXISTING ASPHALT PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT TO PROVIDE A CLEAN EDGE. ITEM 407 TACK COAT SHALL BE APPLIED TO THE ENTIRE CUT FACE OF THE EXISTING PAVEMENT PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT.
- WHERE CONNECTING TO EXISTING CONCRETE WALK, THE CONTRACTOR SHALL SAWCUT THE EXISTING WALK (AT AN EXISTING JOINT IF POSSIBLE) TO PROVIDE A SOUND & CLEAN EDGE.
- 5. ADDITIONAL PAVEMENT/CURB WORK DUE TO EXTENTS OF DEMO OR REWORK SHALL BE INCLUDED AS PART OF THE CONTRACTORS SCOPE OF WORK.
- ALL CURB RAMPS TO HAVE DETECTABLE WARNING SURFACE THAT MEETS ODOT'S APPROVED PRODUCTS LIST (APL). SURFACE APPLIED, STAMPED AND BRICK PRODUCTS ARE NOT PERMITTED.
- 7. ALL STOP SIGNS SHALL BE 30"X30".
- 8. ALL RADII ARE 3.00' UNLESS NOTED OTHERWISE ON THE PLANS.
- 9. SEE SHEET C3.1 FOR PAVEMENT SECTIONS.



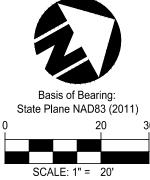
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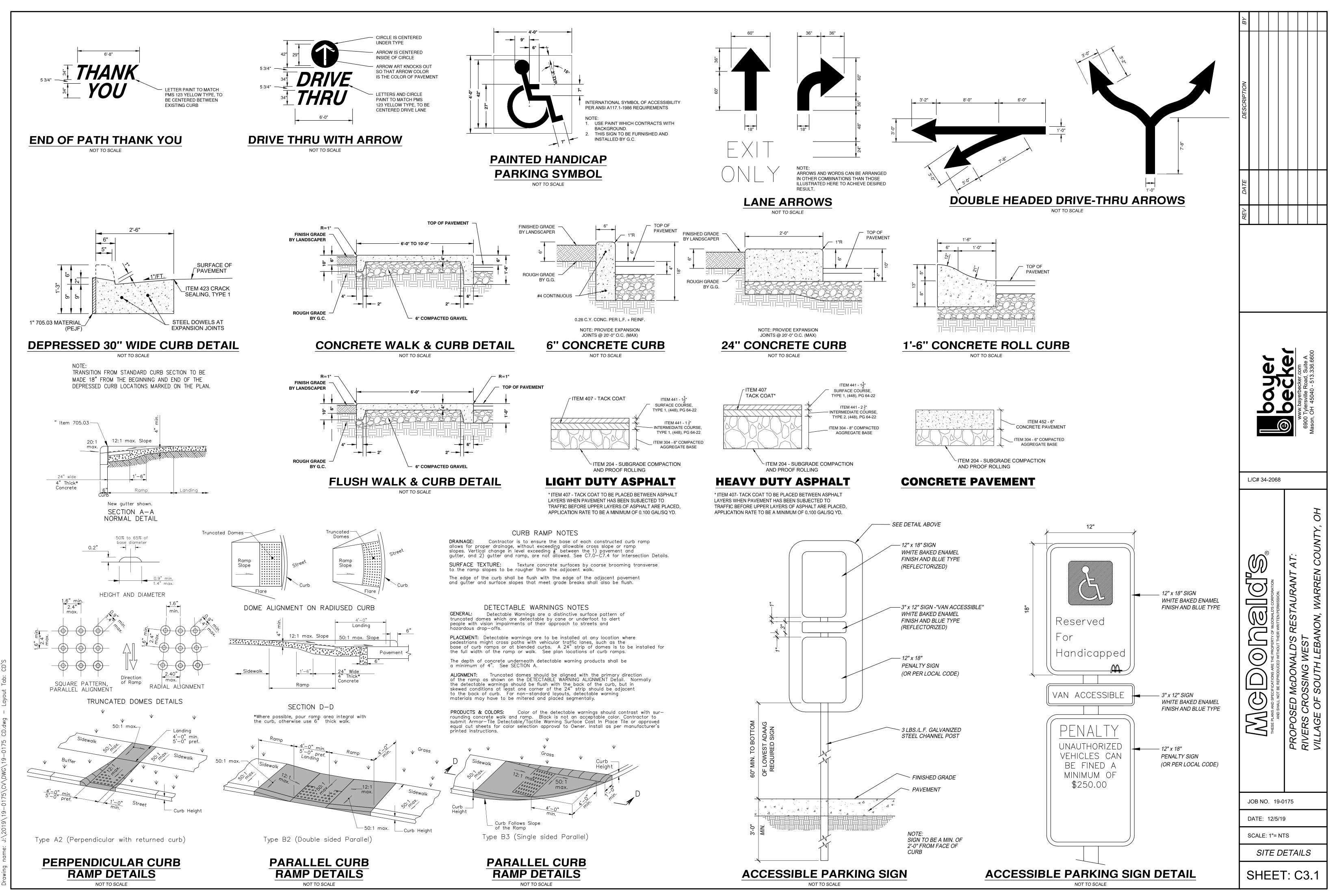
CAUTION!!!

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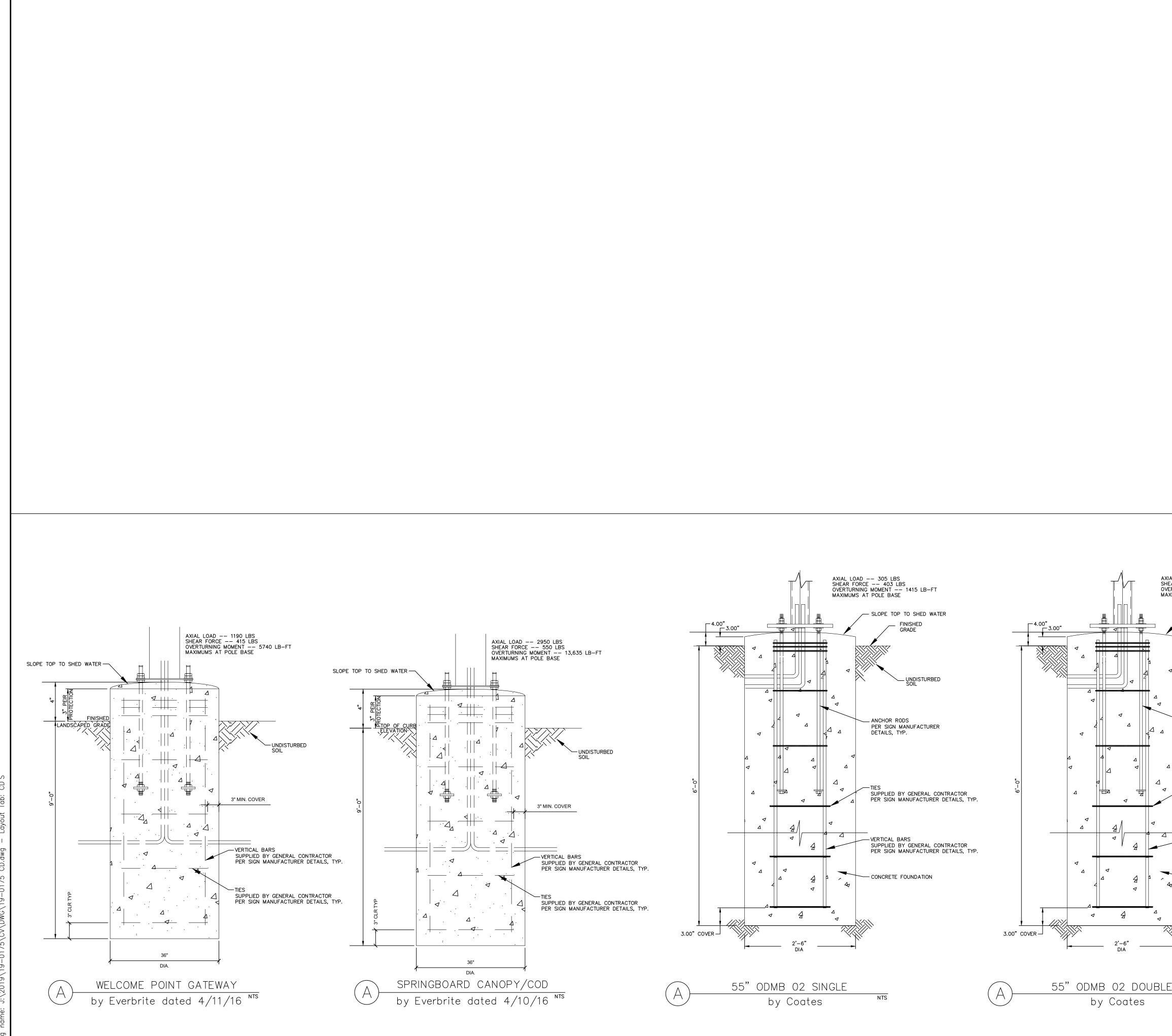


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JOB NO. 19-0	175
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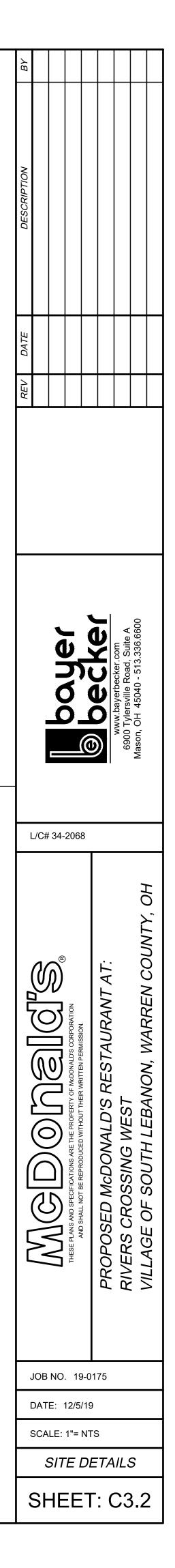




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by Coates



AXIAL LOAD —— 440 LBS SHEAR FORCE —— 754 LBS OVERTURNING MOMENT —— 2776 LB—FT MAXIMUMS AT POLE BASE - SLOPE TOP TO SHED WATER FINISHED

UNDISTURBED

GRADE

ANCHOR RODS PER SIGN MANUFACTURER DETAILS, TYP.

SUPPLIED BY GENERAL CONTRACTOR PER SIGN MANUFACTURER DETAILS, TYP.

— VERTICAL BARS SUPPLIED BY GENERAL CONTRACTOR PER SIGN MANUFACTURER DETAILS, TYP.

- CONCRETE FOUNDATION

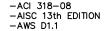
NTS

ENGINEER'S NOTE:

SEE SIGN MANUFACTURE'S PLANS FOR STRUCTURAL COMPONENTS SHOWN ON THIS PLAN. THE ENGINEER'S STAMP AFFIXED FOR CONCRETE FOUNDATION DIMENSIONS ONLY.

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN: -OBC 2017 -ASCE 7-05 -ACI 318-08 -ACI 318-08



-WIND SPEED 115 MPH (MPH 3-SEC GUST) -ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE MATTER BEFORE PLACING CONCRETE -MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (×2) -SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED CLAY SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS. -ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS. -ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER -SEE SIGN MANUFACTURER DETAILS FOR ANCHOR BOLT PATTERNS -ALL REINFORCING STEEL TO BE PROVIDED BY GENERAL CONTRACTOR, PER SIGN MANUFACTURER DETAILS

CONCRETE:

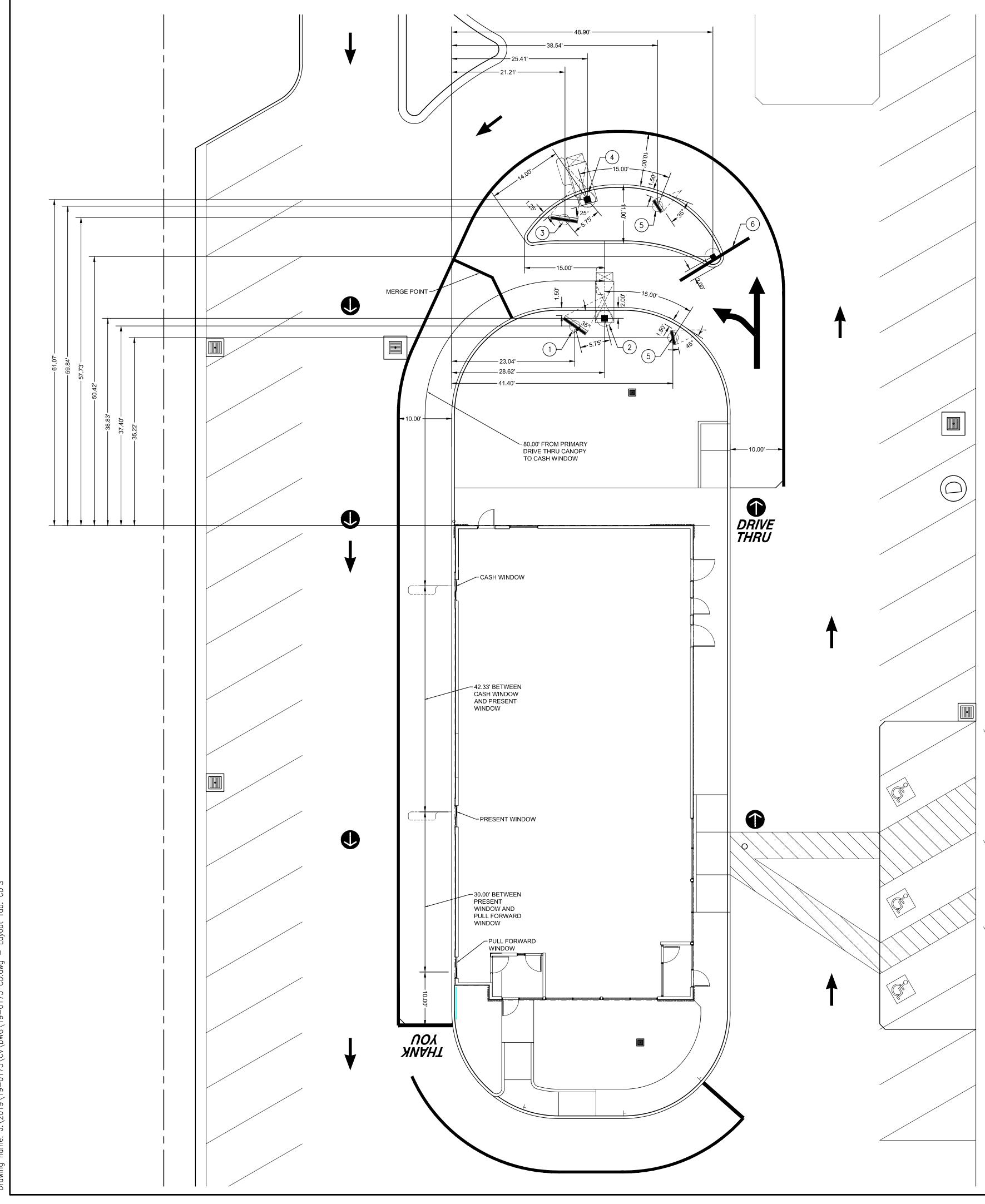
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION OR AS SHOWN WHICHEVER IS GREATER.
 TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 MINIMA CONCRETE STRENCTH (\$2-3,000, DSI) SHALL CONFORM WITH

- HOP OF PIERS STALL BE SLOPED SUCH THAT MOISTORE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH (f'c=3,000 PSI) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
- ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL: STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35ksi)
HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42ksi)
HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy=46ksi)
HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
REINFORCEMENT: ASTM A615 GRADE 60 – BY GENERAL CONTRACTOR
NUTS: ASTM A563A, HEAVY HEX
WASHERS: ASTM F844 A36
USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.

-NO FIELD HEATING IU BENU STEEL STALL DE OLLOWED WITTEN ENGINEER'S APPROVAL.
-DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.

ADDITIONAL INFORMATION. -CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY. -DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS -ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER



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GENERAL NOTES

<u>CURBING:</u> DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES AR TO BE A MIN. OF 10'-0".

THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS P

THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD I LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMM

THE ISLAND WIDTH SHOULD BE 9.50' AT THE WIDEST POIN ENTRANCE LANE ENTERING THE SIDE BY SIDE DRIVE-THE

PAVEMENT MARKINGS: 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF

ARROW PAVEMENT MARKING. STANDARD STRIPING MA LOCATED AT CENTER OF EACH LANE.

MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAV OFFSETTING THE INNER PRIMARY LANE BACK OF CURB YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO

EQUIPMENT POSITIONING FOR PRIMARY LANE: MIN. 60'(+/-5') LINEAR DISTANCE BETWEEN THE CENTER MEASURED ALONG THE CENTER LINE OF THE LANE. THIS THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE B

AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANO DETAILS. AUGER "McDONALD'S GATEWAY" FOUNDATION TIGHT AC

EQUIPMENT POSITIONING FOR SECONDARY LANE: AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANC DETAILS.

THE SECONDARY MENU BOARD SHOULD BE AT AN ANGL

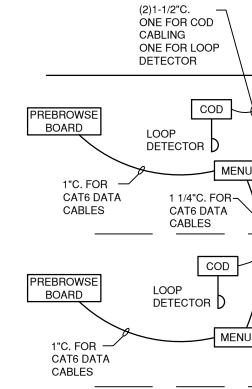
NOTES

- THE REGIONAL CONSTRUCTION MANAGER IS TO REV LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED ARE TO BE MADE AFTER THIS POINT.
- 2. DUE TO THE EXACT GEOMETRY REQUIRED FOR THE E DRIVE-THRU LAYOUT, IT IS RECOMMENDED THAT ALL PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY
- 3. THE PLACEMENT OF THE CODS AND ANY ADDITIONAL PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOME ORDERING.
- 4. ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONAI
- SEE ADDITIONAL SHEETS FOR FOUNDATION DETAILS
 ALL DIMENSIONS SHOWN ARE TO THE CENTER OF THE

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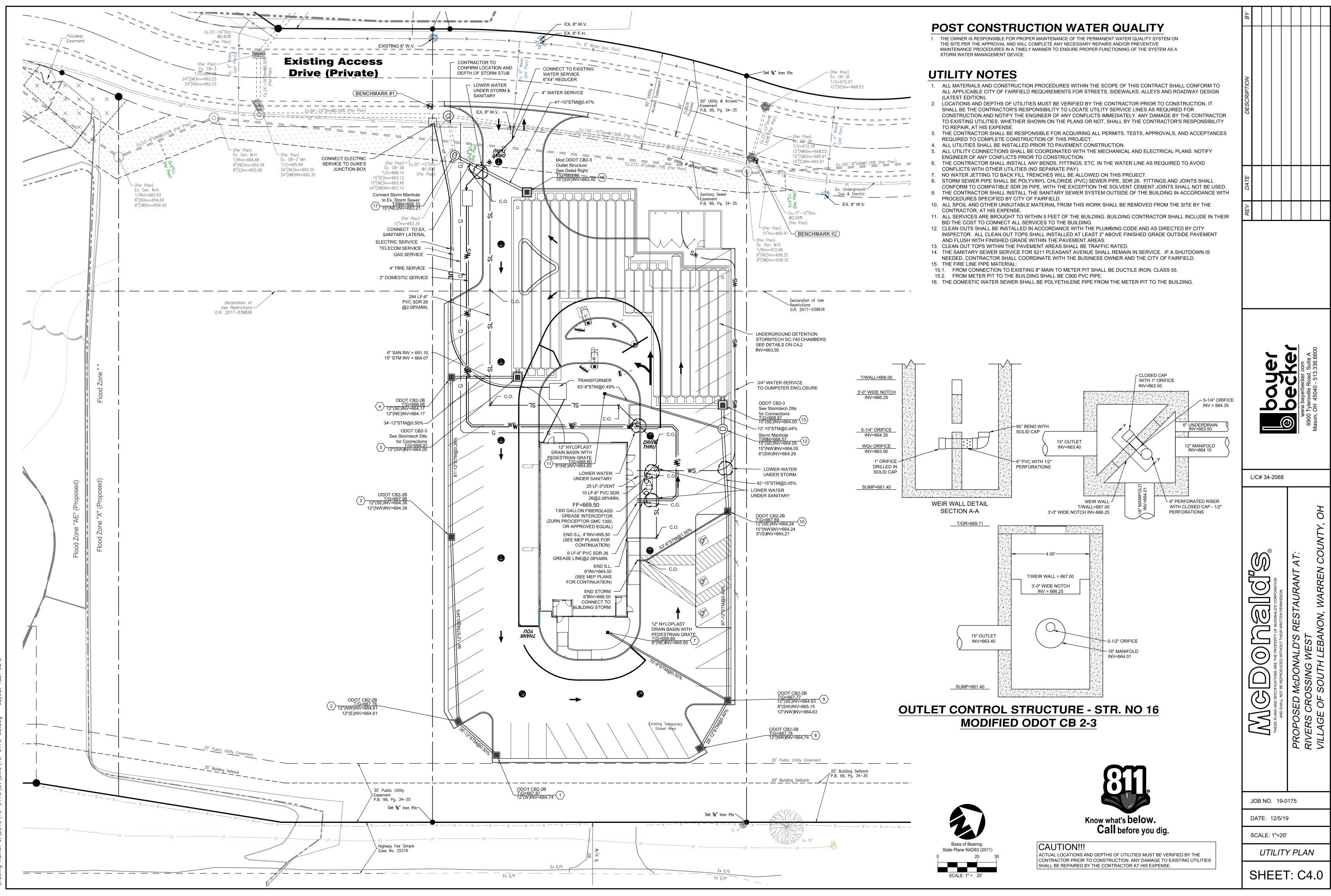
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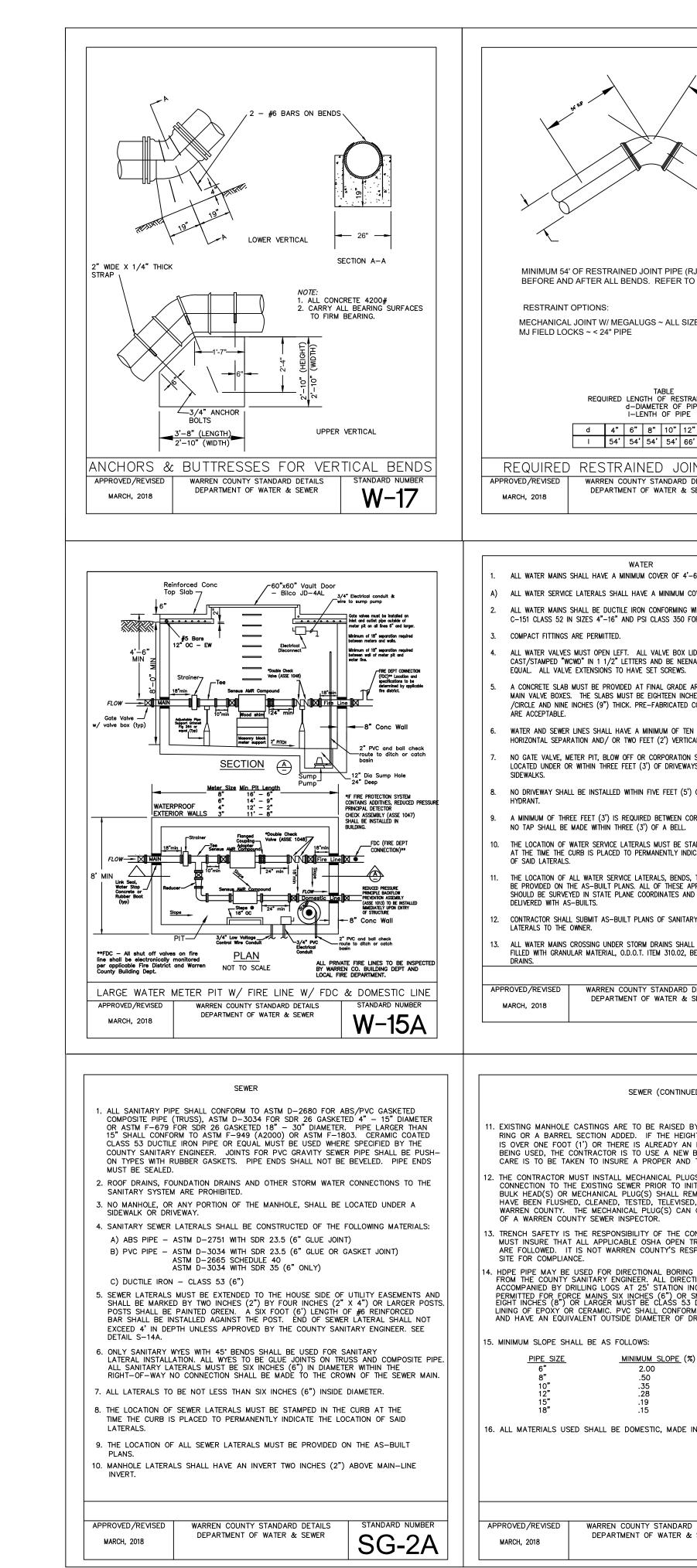
- 1 2 PANEL OUTDOOR DIGITAL MENU BOARD (PRIMAR)
- 2 "ORDER HERE" CANOPY/ CANOPY FOUNDATION (PR
- 3 2 PANEL OUTDOOR DIGITAL MENU BOARD (SECOND
- (4) "ORDER HERE" CANOPY/ CANOPY FOUNDATION (S
- 5 PRE-BROWSE BOARD
- 6 WELCOME POINT GATEWAY PYLON



DRIVE THRU LOW VOLTAG

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Call before you dig.	OB NO. 19-0175 ATE: 12/5/19	5
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CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.	ATE: 12/5/19 CALE: 1"=10'	
SCALE: 1" = 10'	ATE: 12/5/19	DETAILS





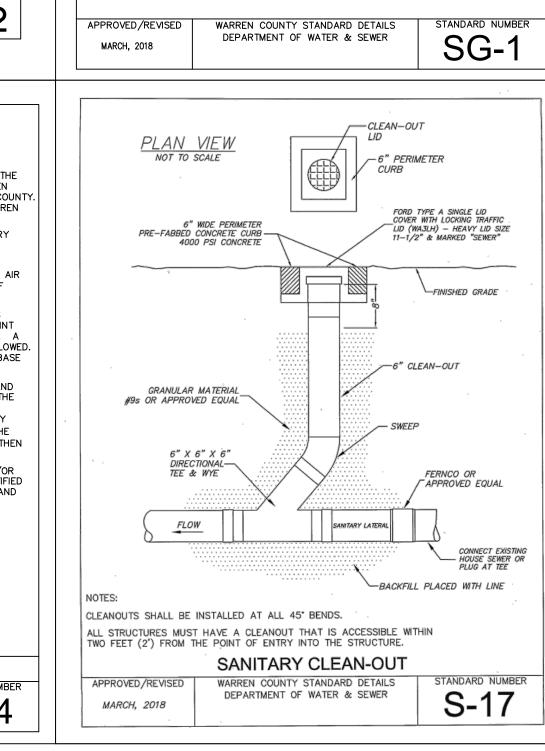
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		TRENCH SIDES S CONFORMANCE REQ	CH FROM THE PAVEMENT SHALL BE A APPLICAB TOP OF PAVEMENT	MON FILL WITHIN WAY, SELF COMPACTING FILL IN ROCK, AND D DENSITY FILL WITHIN E OF PAVEMENT DOT #703 ZES 6–8 RANULAR MATERIAL F IN ROCK OR WITHIN FROM EDGE OF AVEMENT) SHALL HAVE FLAT SO THAT PIPE WILL PORTED UNIFORMLY THE BARREL. NO T BY BLOCKING WITTED.		THRUST BLOCKS TO BE	MASONRY (TYP) <u>45° BEND</u> 12" MIN 12"	CEN OR AT (TY USE OAK, OR PRECA AT BACK	Cement Masonry PRECAST BLOCKS END TO BE PLUGGED P) CEMENT MASONRY AST BLOCKS OF BEND (TYP)
	R 3	 STOP TO THE METE BE USED FOR 3/4" MAY BE USED FOR POLY AND SDR 21. 15. SERVICE LINES 1" A (ASTM D-2737) OR EVENLY EVERY 3' C BEING SERVED (A 3) 16. 1 1/2" AND 2" SEF TYPE K COPPER OR 17. FIRE HYDRANTS MU ALL STREET INTERS 18. AN APPROVED BAC SERVICE LATERALS CONNECTION OR US 18. AN APPROVED BAC SERVICE LATERALS CONNECTION OR US A) RESIDENTIAL B) ENTRY OF ST C) LANDSCAPE I D) PREVENTION E) FIRE PROTEC PRESSURE PF LOCATED IN F) NON-RESIDEN A.S.S.E. 1013 19. SWAB PIPE WITH 50 20. ALL NEW WATER MA WHICHEVER IS GREA C-600. 21. DEDUCT METERS SF 22. NO IRRIGATION CON 23. BACK FLOW PREVEN AHEAD OF ANY SPE 	AND LARGER MUST BE EITHER TYPE K COPPER, POLY 200 F & SDR 21 (SLIP JOINT) (ASTM-2241). TRACER WIRE MUST BI DN POLY AND SDR 21 FROM THE METER PIT INTO THE STRU 3' LEAD IS REQUIRED INSIDE THE PIT). RVICE LINES FROM THE CORP STOP TO THE METER PIT MUS R POLYETHYLENE 200 PSI. POLY MUST HAVE A TRACER WI IST BE PROVIDED AT THE ENTRANCE TO ALL SUBDIVISIONS / SECTIONS. KKFLOW PREVENTION ASSEMBLY SHALL BE INSTALLED ON ALL BY THE PROPERTY OWNER PRIOR TO ANY POINT OF SAGE. THE FOLLOWING DEVICES AND LOCATIONS ARE REQUIR <u>DWELLING UNITS (3 FAMILY OR LESS):</u> LOCATED IMMEDIAT IRRUGATION SYSTEMS: REDUCED PRESSURE PRINCIPLE BACKFF ASSEMBLY A.S.S.E. 1013. LOCATED IMMEDIATELY UPON ENTR <u>TION SYSTEMS:</u> DOUBLE CHECK DETECTOR CHECK ASSEMBLY ASSEMBLY A.S.S.E. 1047 IF SYSTEM CONTAIN VAULT AND A.S.S.E. 1047. LOCATED IMMEDIATELY UPON ENTR <u>TION SYSTEMS</u> : DOUBLE CHECK DETECTOR CHECK ASSEMBLY A.S.S.E. 1047. LOCATED IMMEDIATELY UPON ENTR <u>TION SYSTEMS</u> : DOUBLE CHECK DETECTOR CHECK ASSEMBLY A.S.S.E. 1047 UPON ENTRY OF STRUCTURE. D PPM CHLORINE SOLUTION BEFORE INSTALLATION. AND A.S.S.E. 1047 IF SYSTEM CONTAIN VAULT AND A.S.S.E. 1047 UPON ENTRY OF STRUCTURE. D OPPM CHLORINE SOLUTION BEFORE INSTALLATION. AND SSHALL BE PRESSURE TESTED FOR 2 HOURS AT 200 P ATER. ALLOWABLE LEAKAGE SHALL BE PER TABLE 6A OF A HALL NOT BE ALLOWED. INECTIONS SHALL BE ALLOWED IN THE METER PIT. NTER THAT COMPLIES WITH A.S.S.E. 1013 IS TO BE INSTALLE RINKLER BUT NOT IN METER PIT. ED SHALL BE DOMESTIC, MADE IN THE UNITED STATES OF WARREN COUNTY STANDARD DETAILS	SHALL E SIZE) ITH PSI IE TAPED JCTURE ST BE RE. SEE W-10B. AND AT L WATER RED. IELY UPON FLOW RY OF STRUCTURE. Y A.S.S.E. 1048 OR REDUCED INS ADDITIVES; A.S.S.E. 1048 PREVENTION ASSEMBLY SI, AWWA ED STANDARD NUMBER		 MUST NOTIFY WARR ADVANCE OF ANY S NOTIFICATION AND/ IF DETERMINED NEC EXPOSE EXISTING M BE MADE WITHIN TH COUNTY PERSONNEL INSTALL PROPER TA AND VALVE SHALL I MINUTES. THE PIPE PERSONNEL. IF THE TAPPING SLE BURIED VALVE MUS' FIELD CUT EXISTING COUPLED VALVE MUS' FIELD CUT EXISTING GET DIRT IN EXISTIN GET DIRT IN EXISTIN INSTALLED. INSTALL TEE AND V NECESSARY. PROP MAIN IS THEN TO B CONSTRUCTION OF F CONNECTION TO TEE ENTIRE LINE IS TO I STANDARDS. ENTIRE LINE IS TO I STANDARDS. ENTIRE LENGTH OF PRIOR TO INSTALLA' DISINFECTION. DOSA PIPE MATERIAL. NEW MAIN IS TO BE TAPPING SLEEVES/S (MUELLER H615). 	DR CONNECTION TO EXISTING A EN COUNTY WATER DEPARTMENT THREE (3) DA SHUT DOWN. WARREN COUNTY WILL ISSUE THE O'R BOIL ADVISORY TO AFFECTED CUSTOMERS SESSARY BY WARREN COUNTY. AIN AT PROPOSED CONNECTION POINT. NO WE IREE (3) FEET OF A BELL OR PIPE CONNECTION . TO OPERATE CLOSING OF APPROPRIATE VALV . PPING SLEEVE AND TAPPING VALVE. THE TAP BE TESTED AT 200 PSI FOR A PERIOD OF AT SLUG MUST BE REMOVED AND INSPECTED BY EEVE AND VALVE WILL BE UNDER FUTURE PAVE T BE LEFT OPEN AND A NEW VALVE SET OUT MAIN AS NECESSARY TO ACCOMMODATE TEE I EACH END OF TEE. CARE IS TO BE TAKEN S G MAIN. I AND DISINFECT PIPE AND APPURTENANCES TO ALVES – DRESSER COUPLINGS CAN BE USED I OSED MAIN VALVE IS TO BE CAPPED AND SHU E RETURNED TO SERVICE BY COUNTY PERSONN PROPOSED MAIN IS TO BE COMPLETED WITHIN A E AND VALVES INSTALLED ABOVE. BE PRESSURE TESTED AND DISINFECTED TO CO PIPE IS TO BE THOROUGHLY CLEANED AND DIS G SHALL BE PER MANUFACTURER'S SPECIFICA COULD SERVICE BY COUNTY PERSONNEL. SADDLES TO BE THOROUGHLY CLEANED AND DIS IGN. PERMATEX CHLORINE TABLETS TO BE USED IGN. PERMATEX CHLORINE TABLETS TO DE USE G SHALL BE PER MANUFACTURER'S SPECIFICA WARREN COUNTY STANDARD DETA DEPARTMENT OF WATER & SEWE	YS IN SHUT DOWN PER OHIO EP T TAP SHALL ES TO ISOLA PING SLEEVE LEAST 5 COUNTY EMENT, THE OF PAVEMENT AND CLOSE SO AS NOT 1 O BE F T OFF. EXISTING A JOINT OF UNTY SINFECTED SED FOR TIONS BASED CTILE IRON IITTED ON C-	A REQUIREMENTS L TE LINE TO BE TAPPED. T. TO NG O ON -900. STANDARD NUMBER
SEWER SEWER V ED) BY EITHER A MAN HT OF NECESSAR EXISTING ADJUS BARREL SECTION TIGHT SEAL AT GS(S) AT THE PC IITATING ANY COL EMAIN IN PLACE I D, AND APPROVE I ONLY BE REMOV ONTRACTOR. THE TRENCH SAFETY I SPONSIBILITY TO G OF FORCE MAIN TONAL DRILLING NCREMENTS, PVC SMALLER IN DIAM DUCTILE IRON W M TO AWWA COO DR 14.	NHOLE ADJUSTING Y ADJUSTMENT STMENT RING ONLY. EXTRA ALL NEW JOINTS. DINT(S) OF NSTRUCTION. THE JNTIL THE NEW MAINS D FOR USE BY VED IN THE PRESENCE E CONTRACTOR REQUIREMENTS INSPECT EACH IS WITH APPROVAL SHOULD BE PIPE SHALL BE METER. FORCE MAINS OTH AN INTERIOR	MARCH, 2018 SEWER PIPE FLEXIBLE AND SECTION PIPE REQUIREMENT FOLLOWING T 1. RUBBER S A) KOR INC. B) LOCH INTE C) OR E 2. RUBBER (A) PRES COR B) DUR C) OR E RESILIENT COI MANHOLE SEC MECHANICAL ANY CONNECT	DEPARTMENT OF WATER & SEWER PIPE CONNECTIONS INTO MANHOLES TO MANHOLE CONNECTIONS ON ALL SANITARY D WATERTIGHT. SEWER PIPE SHALL BE SEALED C OPENINGS WITH A RESILIENT CONNECTOR MEN S OF ASTM C923. THE CONNECTION MAY BE YPES: SLEEVE WITH STAINLESS STEEL BANDING -N-SEAL AS MANUFACTURED BY POLLUTION OF K JOINT FLEXIBLE MANHOLE SLEEVE AS MANUF RSPACE CORPORATION EQUAL GASKET COMPRESSION SS WEDGE II AS MANUFACTURED BY PRESS-SI PORATION A-SEAL MANUFACTURED BY DURA TECH, INC.	WG-1B SEWERS SHALL BE D IN THE MANHOLE ETING THE ANY OF THE CONTROL SYSTEMS, FACTURED BY EAL GASKET HE WALL OF THE E INSTALLED BY L PER ASTM C923. IE BY CORING THE IN THE BARREL		MARCH, 2018 1. THE CONTRACTOR CONNECTION TO MECHANICAL PLU FLUSHED, CLEAN THE MECHANICAL PLU FLUSHED, CLEAN THE MECHANICAL COUNTY SEWER 2. ALL NEW MANHOU SHALL BE DRAW MANHOLE SHALL 3. ALL SANITARY SI PRESSURE TEST 1.0 PSI LOSS. 4. ALL NON-TRUSS COMPLETED (30 MANDREL WILL B VERTICAL RING E THIS DEFLECTION OR AVERAGE INS 5. AT THE TIME THI TELEVISED WITH VIDEO MUST INCL MANHOLE, FLOW SUSPECT PROBLE CONTRACTOR. TH BE RE-CLEANED, PRIOR TO THE R DURING THIS TEL REPAIRED TO TH 7. THE DEVELOPER	DEPARTMENT OF WATER & SEWE SEWER TESTING R MUST INSTALL MECHANICAL PLUG(THE EXISTING SEWER PRIOR TO INIT JG(S) SHALL REMAIN IN PLACE UNTI ED, TESTED, TELEVISED, AND APPRO _ PLUG(S) CAN ONLY BE REMOVED I INSPECTOR. LES SHALL BE VACUUM TESTED. A N ON THE MANHOLE. FOR A 4' MAI HOLD 9" OF MERCURY FOR AT LEA EWER MAINS MUST BE AIR TESTED. OF 5.0 PSI FOR A FIVE (5) MINUTE PIPE SHALL BE TESTED FOR DEFLE DAY MINIMUM REQUIRED). A DEFLE E REQUIRED. NO MECHANICAL PULL SEFLECTION GREATER THAN FIVE PEF IS DEFINED AS A FIVE PERCENT RE	S) AT THE IATING AN L THE NEW VED FOR N THE PR VACUUM NHOLE LES ST 1 MINU THE STAP PERIOD W CTION AFT CTION TES ING DEVIC RCENT (5% EDUCTION SEWER ML DED TO W SPANS FF ATERALS S MUST B ADE AND R AFTER III WER PIPE NITARY EI OSTS ASS	E POINT(S) OF Y CONSTRUCTION. THE W MAINS HAVE BEEN USE BY WARREN COU RESENCE OF A WARREN OF 10" OF MERCURY SS THAN 20' DEEP, JTE. NDARD TEST IS AN AIF WITH A MAXIMUM OF TER BACKFILLING IS ST WITH A NINE POINT SS THALL BE USED. A DILL NOT BE ALLOW IN THE VERTICAL BAS JST BE CLEANED AND ARREN COUNTY. THE ROM MANHOLE TO AND CALL OUT ANY IE IDENTIFIED BY THE THE SEWER MUST THE NSTALLATION AND/OR EFICIENCY IS IDENTIFIE MUST BE TESTED AND NGINEER. OCIATED WITH THE
	standard number	APPROVED/REVISED MARCH, 2008	WARREN COUNTY STANDARD DETAILS DEPARTMENT OF WATER & SEWER	standard number	AF	PPROVED/REVISED MARCH, 2018	WARREN COUNTY STANDARD DE DEPARTMENT OF WATER & SE		standard numbe

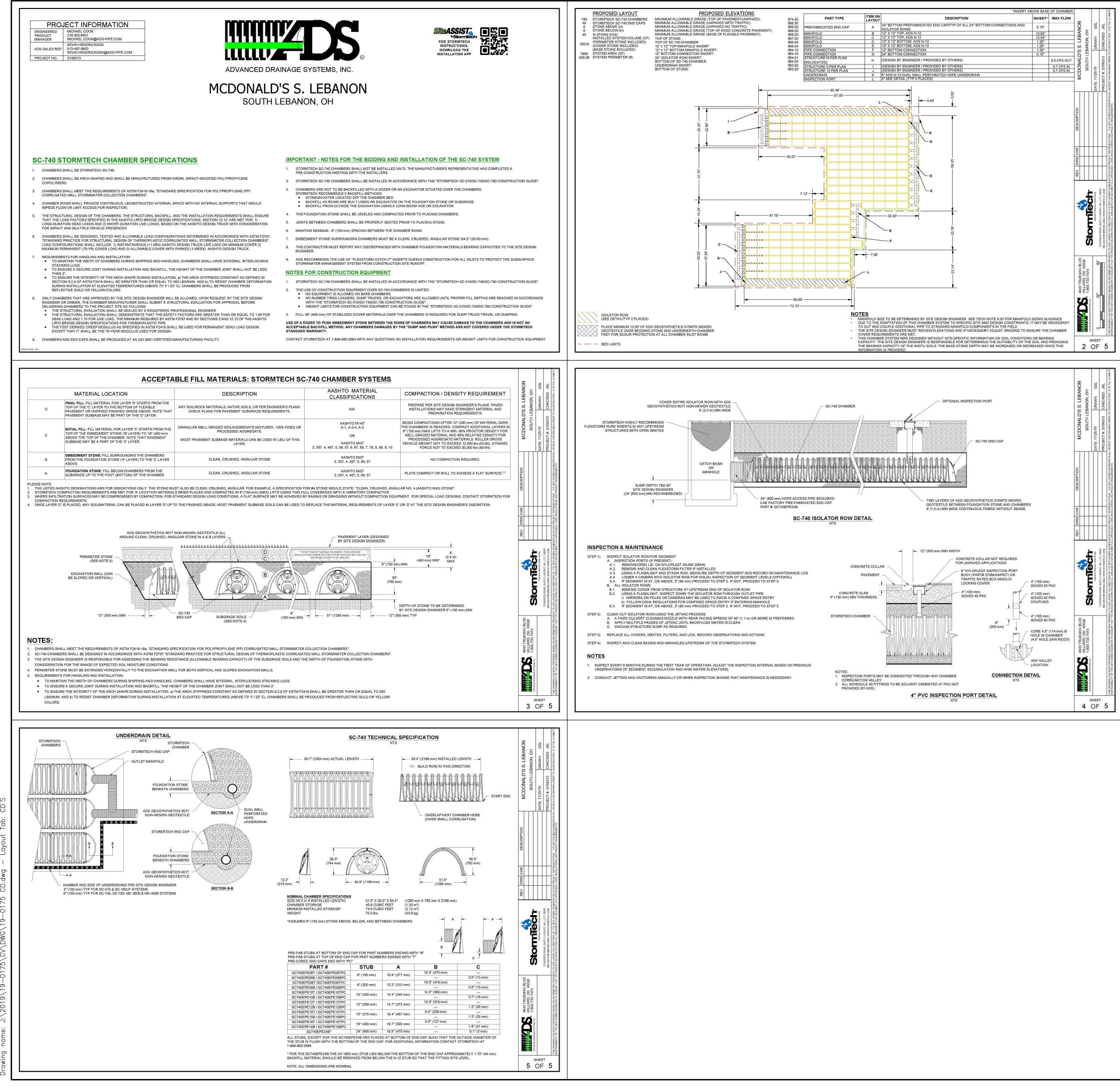
<u>Gate Valves</u> -	mounted, t epoxy coa	esilient Seated with cas langed connections, no ting, 400 PSI hydrostat Seal 250 by US Pipe or	onrising stem, fusion ic rated. Valve shall		
Flanged Couplin		, , , , , , , , , , , , , , , , , , ,			
Adaptors -	Flanged a	daptor connections for I valves shall be Dress			
<u>Vault Door</u> -	open arm 300 PSF.	double leaf aluminum d locks. Green space are Traffic areas shall be A)-4AL or JD-4AL H20 b	ASHTO H-20. Doors		
<u>Strainer</u> -	Strainers of non-corros perforatior Model ML-	" or smaller must be B or equal. Screens must ive 316 stainless steel is. Strainers 8" or large MS Plate Strainers or e made of non-corrosive	be made of wtih 3/16" or 1/4" r must be Badger equal. Screens		
Sump Pump -	single pha Sump pun	le pump with automations, discharge 25 - 30 g poperation and mainted ity of the owner.	pm at 10 ft TDH.		
<u>Piping</u> -	with flange threaded s	B" and larger shall be C ad fittings. Piping small teel. Domestic and sp pper through the vault.	er than 3" shall be rinkler lines shall be		
Backflow Preventer -	Reduced F	E 1048 Double Check Pressure Principle Dete SSE 1047 to be installe			
			d Pressure Principle stalled immediately upor	1	
	Backflow F	DN: ASSE 1013 Reduc Prevention Assembly in ructure and before any	stalled immediately upor	1	
		tion and maintenance on is the responsibility of			

DETAILED PROCEDURES FOR SANITARY SEWER

- PROCEDURE FOR MAKING SEWER LATERAL CONNECTIONS TO EXISTING SEWER:
 A. IF ABS COMPOSITE EXCAVATE TO POINT OF LATERAL ON MAIN; CLEAN EXISTING PIPE; ALIGN SADDLE TO PROPER POSITION AND MARK AREA TO BE CUT; CUT HOLE IN PIPE AS REQUIRED MAKING SURE THE CUT OUT DOESN'T ENTER THE MAIN; ATTACH AND SEAL SADDLE WITH STAINLESS STEEL STRAPS AND MASTIC SEALER BETWEEN SADDLE AND PIPE. INSERTA TEES ARE NOT PERMITTED.
- B. IF CLAY OR CONCRETE EXCAVATE TO POINT OF LATERAL ON MAIN; PLUG OUTLET PIPE AT UPSTREAM MANHOLE – PUMP TO DOWNSTREAM MANHOLE IF NECESSARY; REMOVE CLOSEST LENGTH OF PIPE AND REPLACE WITH TEE LATERAL SECTION OF PIPE OR CORE EXISTING PIPE IN PLACE.
- 2. PROCEDURE FOR MAKING SEWER EXTENSIONS FROM EXISTING MANHOLES: CONSTRUCT LINE TO WITHIN ONE JOINT OF EXISTING MANHOLE; AFTER LINE PASSES LEAKAGE TEST AND WARREN COUNTY SANITARY ENGINEER GIVES GO AHEAD – CONNECTION IS TO BE MADE; PLUG OUTLET PIPE AT UPSTREAM MANHOLE – PUMP TO DOWNSTREAM MANHOLE IF NECESSARY; A HOLE IS CUT AT THE PROPOSED INLET POINT AND THE LAST JOINT IS LAID; EXISTING BENCH AND CHANNEL OF MANHOLE IS REBUILT AND SHAPED AS REQUIRED; NEW CONNECTION IS TO BE SEALED AS REQUIRED.
- 3. PROCEDURE FOR MAKING NEW MANHOLES ON EXISTING SEWER MAINS: EXCAVATE AND EXPOSE EXISTING SEWER AT POINT OF NEW MANHOLE; BUILD MANHOLE OVER EXISTING LINE WHILE NOT DISTURBING EXISTING LINE; BUILD NEW LINE(S) FROM NEW MANHOLE; AFTER NEW LINE(S) PASS(ES) LEAKAGE TEST AND WARREN COUNTY SANITARY ENGINEER GIVES GO AHEAD – PLUG OUTLET PIPE AT EXISTING UPSTREAM MANHOLE (PUMP TO EXISTING DOWNSTREAM MANHOLE IF NECESSARY); BREAKOUT TOP OF EXISTING SEWER AS REQUIRED AND FORM A BENCH AND CHANNEL AS REQUIRED.
- 4. STORM WATER AND EXTRANEOUS FLOWS ARE PROHIBITED FROM ENTERING THE EXISTING SYSTEM DURING CONSTRUCTION. NO OPEN CUT TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT. STORM DRAINS, DIVERSION DITCHES, PUMPS ETC., SHALL BE USED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE SYSTEM AT ALL TIMES.
- 5. ALL SANITARY SEWER PIPE MUST BE BEDDED WITH NUMBER 57 STONE EXTENDING FROM A POINT NOT LESS THAN 6" BELOW THE BOTTOM OF THE PIPE TO THE SPRINGLINE OF THE PIPE. BACKFILL WITH NUMBER 9 GRITS FROM THE SPRINGLINE TO A POINT NOT LESS THAN 12" ABOVE THE CROWN OF THE PIPE. BEDDING SHALL PROVIDE A UNIFORM SUPPORT ALONG THE ENTIRE PIPE BARREL, WITHOUT LOAD CONCENTRATION AT JOINT COLLARS OR BELLS. BEDDING DISTURBED BY PIPE MOVEMENT OR BY REMOVAL OF SHORING OR MOVEMENT OF THE TRENCH SHIELD OR BOX SHALL BE RECONSOLIDATED PRIOR TO BACKFILL. BEDDING TO BE COMPACTED TO 95% PROCTOR.

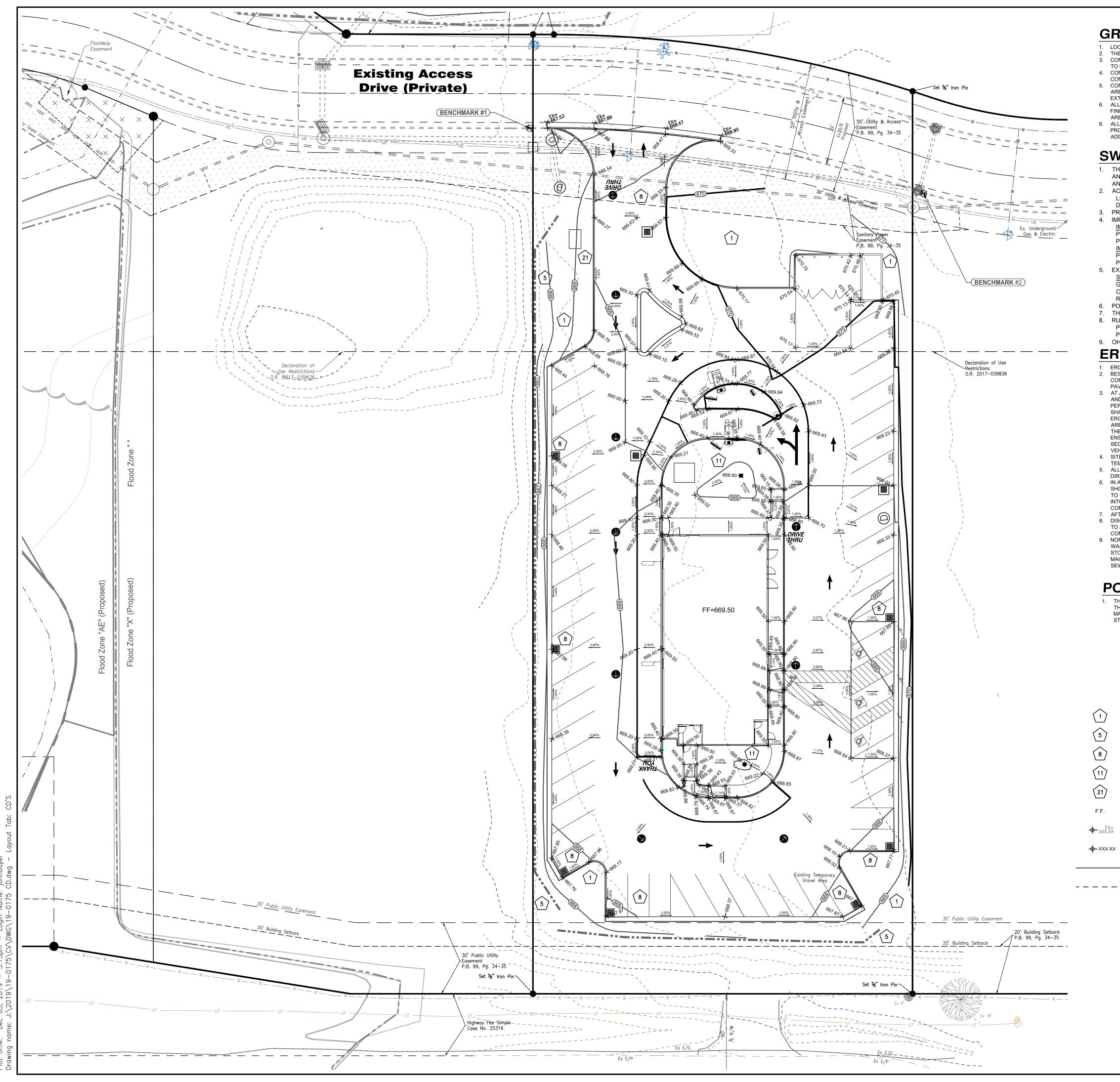


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L/C# 34-2068				
THESE PLANS ARE THE PROPERTY OF MODIAL DISCORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	PROPOSED McDONALD'S RESTAURANT AT: RIVERS CROSSING WEST VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OH			
JOB NO. 19-0)175			
DATE: 12/5/1				
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BECKEL COM Www.bayerbecker.com 6900 Tylersville Road, Suite A Mason, OH 45040 - 513.336.6600						
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DATE: 12/5/19 SCALE: 1"= NTS UTILITY DETAILS						



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CATION OF EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO BEGINNING WORK.		
THE GRADING PLAN IS TO BE USED FOR GRADING PURPOSES ONLY. CONTRACTOR SHALL OBTAIN A COPY OF THE COMPLETE GEOTECHNICAL REPORT AND ALL ADDENDUMS PRIOR TO BIDDING THE PROJECT.		
CONTRACTORS SHALL SET UP AN ONSITE PRE-CONSTRUCTION MEETING WITH THE OWNER, EARTHWORK CONTRACTOR, AND SITE CIVIL ENGINEER PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL EARTHWORK QUANTITIES PRIOR TO AWARD OF CONTRACT. PAY QUANTITIES		
ARE FINAL EXCEPT FOR DOCUMENTED UNDERCUT APPROVED BY DEVELOPER PRIOR TO COMPLETION OF THE EXTRA WORK. UPON REQUEST, CONTRACTORS MAY HAVE ACCESS TO THE SITE TO FIELD CHECK TOPOGRAPHY. ALL PROPOSED CONTOURS & SPOT ELEVATIONS ARE INTENDED TO BE FINAL GRADES AND REFLECT PAVEMENT.	NOL	
FINISH FLOOR OR TOP SOIL PLACEMENT UNLESS OTHERWISE SPECIFIED. ALL SPOT ELEVATIONS IN PAVEMENT AREAS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL EARTHWORK AND CONSTRUCTION ACTIVITY SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE	DESCRIPTION	
PROJECT GEOTECHNICAL ENGINEER AS DESCRIBED IN THE GEOTECHNICAL EXPLORATION REPORT AND ALL ADDENDUMS.	DES	
WPPP NOTES		
THE CONSTRUCTION ACTIVITY WILL CONSIST OF DEMOLITION OF EXISTING BUILDING, CURB, WALK AND PAVEMENT; MASS EARTHWORK; UTILITY INSTALLATION; CURB AND PAVEMENT CONSTRUCTION;		
AND THE PROPOSED BUILDING CONSTRUCTION. ACREAGE: LOT 1.57 ACRES		
DISTURBED AREA 1.17 ACRES PRIOR LAND USE: McDONALD'S RESTAURANT	TE	
IMPERVIOUS CALCULATIONS: IMPERVIOUS AREA PRE-DEVELOPED 0.11 ACRES	DA	
POST-DEVELOPED 0.98 ACRES IMPERVIOUS PERCENTAGE	REV	
POST-DEVELOPED 62.4 % EXISTING SOIL DATA:		
SYMBOL GnSOIL NAME GENESEE LOAMHSG BOcAOCKLEY SILT LOAM, SOUTHERN OHIO TILL PLAIN, 0 TO 2 PERCENT SLOPESB		
Rn ROSS LOAM, 0 TO 2 PERCENT SLOPES, OCCASIONALLY FLOODED B POSSIBLE PREVIOUS CONTAMINATIONS: FERTILIZER AND CHEMICALS TO CONTROL WEEDS. THE DEVELOPMENT DRAINS TOWARD STORM SEWER ALONG NILLES ROAD.		
RUNOFF COEFFICIENT: PRE-CONSTRUCTION 0.45		
ROSION CONTROL NOTES EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION.		
BEST MANAGEMENT PRACTICES (BMPs) SHOWN ON PLANS SHALL BE REVISED OR IMPLEMENTED AS REQUIRED. CONTRACTOR SHALL MONITOR CONSTRUCTION BMPs AND PROVIDE ADDITIONAL BMPs AS REQUIRED TO PREVENT SEDIMENT RUNOFF FROM CONSTRUCTION SITE ONTO PAVEMENT AND NON-WORK AREAS.		
AT A MINIMUM, ALL EROSION AND SEDIMENT CONTROLS ON THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD. QUALIFIED INSPECTION PERSONNEL (THOSE WITH KNOWLEDGE AND EXPERIENCE IN THE INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS)		
SHALL CONDUCT THESE INSPECTIONS TO ENSURE THAT THE CONTROL PRACTICES ARE FUNCTIONAL AND TO EVALUATE WHETHER THE EROSION CONTROL IS ADEQUATE AND PROPERLY IMPLEMENTED OR WHETHER ADDITIONAL CONTROL MEASURES ARE REQUIRED. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR		
THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS. LOCATIONS WHERE		com Suite A .336.6600
/EHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE VEHICLE TRACKING. SITE STABILIZATION SHALL BEGIN WITHIN 7 DAYS ON AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED FOR 14 DAYS.		scker. Soad, - 513
ALL MUD OR DEBRIS TRACKED ON EXISTING STREETS AND PARKING LOT PAVEMENT SHALL BE CLEANED AT THE END OF EACH DAY OR AS DIRECTED BY THE OWNER. PERIODIC STREET SWEEPING MAY BE REQUIRED. N ADDITION TO ANY TEMPORARY EROSION, MUD, AND DEBRIS CONTROL DETAILS AND NOTES SHOWN ON THE PLANS, THE CONTRACTOR	Ø	vw.bayerbe Tylersville F OH 45040
SHOULD PLACE TEMPORARY OR PERMANENT SEEDING, MULCHING AND/OR MULCH NETTING OR ANY OTHER GENERALLY ACCEPTED METHODS TO PREVENT EROSION, MUD, AND DEBRIS FROM BEING DEPOSITED ON OTHER PROPERTY, ON NEWLY CONSTRUCTED OR EXISTING ROADS, OR NTO EXISTING SEWERS OR NEW SEWERS WITHIN THE DEVELOPMENT. THE CONTRACTOR SHOULD CONTINUALLY MONITOR THE	لم ا	2 -
CONSTRUCTION PROGRESS AND MAKE ANY NECESSARY TEMPORARY ADJUSTMENTS TO MAINTAIN THIS CONTROL. AFTER THE VEGETATION HAS BECOME WELL ESTABLISHED, TEMPORARY EROSION AND SEDIMENT CONTROLS CAN BE REMOVED. DISCHARGE FROM DEWATERING OF FLOODED FOOTER OR FOUNDATION AND UTILITY TRENCHES CONTAINING SEDIMENT MUST BE DIRECTED		6900 Mason,
TO A SEDIMENT CONTROL PRACTICE PRIOR TO DISCHARGE FROM THE SITE. A DE-WATERING PLAN SHALL BE DEVELOPED PRIOR TO THE COMMENCEMENT OF ANY PUMPING ACTIVITIES. NON-SEDIMENT POLLUTANT SOURCES, WHICH MAY BE PRESENT ON A CONSTRUCTION SITE, INCLUDE PAVING OPERATIONS, CONCRETE		
WASHOUT, STRUCTURE PAINTING, STRUCTURE CLEANING, DEMOLITION DEBRIS DISPOSAL, DRILLING AND BLASTING OPERATIONS, MATERIAL STORAGE, SLAG, SOLID WASTE, HAZARDOUS WASTE, CONTAMINATED SOILS, SANITARY AND SEPTIC WASTES, VEHICLE FUELING AND MAINTENANCE ACTIVITIES, AND LANDSCAPING OPERATIONS. NON-SEDIMENT POLLUTANT SOURCES SHALL NOT BE DISCHARGED TO STORM		
SEWERS OR NATURAL STREAM/DRAINAGE WAYS. SEE PLAN FOR CONCRETE WASHOUT LOCATION.	L/C# 34-2068	
OST CONSTRUCTION WATER QUALITY NOTES		
THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE PERMANENT WATER QUALITY SYSTEM ON THE SITE PER THE APPROVAL AND WILL COMPLETE ANY NECESSARY REPAIRS AND/OR PREVENTIVE MAINTENANCE PROCEDURES IN A TIMELY MANNER TO ENSURE PROPER FUNCTIONING OF THE SYSTEM AS A		Т
STORM WATER MANAGEMENT DEVICE.		, OH
		L V
		AT: COUNT
		<u>`</u> >
LEGEND		RESTAURANT
SEEDING & MULCHING		AUR VAF
SILT FENCE OR MULCH BERM		
DANDY BAG (OR APPROVED EQUAL)		
INLET PROTECTION	Корект Ноит тн	D', EB
CONSTRUCTION ENTRANCE		NAL N E H Li
FINISHED FLOOR ELEVATION	A CONTRACTIONS ARE THE PROPERTY OF MEDINAL DISPALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	SED McDONAL CROSSING WI OF SOUTH LE
EXISTING SPOT GRADE		
× PROPOSED TOP OF PAVEMENT		ROPOSED IVERS CRC ILLAGE OF
PROPOSED CONTOURS		ROPOS IVERS (ILLAGE
EXISTING CONTOURS	, Line (Line (Lin	PRO RIVE
		$\sigma \propto >$
	JOB NO. 19-0'	175
Know what's below.	DATE: 12/5/19	
Call before you dig.	SCALE: 1"=20'	
Basis of Bearing: State Plane NAD83 (2011)	GRADIN	GPIAN
0 20 30 ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.		
SCALE: 1" = 20'	SHEET	: C5.0

PERMANENT SEEDING (1)

Permanent seeding includes the seedbed preparation, seeding, and the establishment of perennial vegetation
used to permanently stabilize soil, prevent sediment pollution, reduce runoff by promoting infiltration, and provide
storm water quality benefits offered by dense vegetation.
CONDITIONS WHERE PRACTICE APPLIES

- Permanent seeding should be applied to:
 - Areas or portions of construction-sites which can be brought to final grade. Applications of permanent seeding should not be delayed while construction on limited portions of the site being completed
- Areas on that will be regraded, but will be dormant for a year or more.
- PLANNING CONSIDERATIONS

Healthy dense turf will have a dramatic long lasting effect on stormwater quality as well as promoting infiltration and reducing the amount of runoff. To establish quality vegetation, careful preparation of the seedbed, soil, even subsoil is highly encouraged.

- <u>Soil Compaction</u>--Stormwater quality and the amount of runoff both vary significantly with soil compaction. Non-compacted soils improve stormwater by promoting: dense vegetation.
- high infiltration & lower runoff rates. pollutant filtration, deposition & absorption, and beneficial biologic activity in the soil.
- Construction activity can cause highly compacted soils but also offers the opportunity to improve soil condition. The best time for improving soil condition is during the establishment of permanent vegetation. It is highly recommended that subsoilers, plows or others implements be specified as part of final seedbed preparation. Use discretion in slip-prone areas.
- Minimum Soil Conditions--Vegetation cannot be expected to stabilize soil that is unstable due to its texture, structure, water movement or excessively steep slope. The following minimum soil conditions are needed for the establishment and maintenance of a long-lived vegetation cover. If these conditions cannot be met,
- see the Standards and Specifications for Resoiling. Soils must include enough fine-grained material to hold at least a moderate amount of available moisture. The soil must be free from material that is toxic or otherwise harmful to plant growth

Permanent Seeding				
Seeding Rate			Notes:	
Seed Mix Ib./ac. Ib./1,000 ft. ²		2	Notes.	
General Use				
20-40 10-20 10-20	1/2-1 1/4-1/2 1/4-1/2			
40	1			
40	1			
Steep Banks	or Cut Slopes	\$		
40	1			
10 20	1/4 1/2		Do not seed later than August	
20 20	1/2 1/2		Do not seed later than August	
Road Ditches and Swales				
40	1			
90 5	2 1/4			
L	awns			
60 60	1 1/2 1 1/2			
60 60	1 1/2 1 1/2		For shaded areas	
	Seedin Ib./ac. Gene 20-40 10-20 40 40 40 20 20 20 20 20 20 20 20 20 20 20 20 20 20 20 20 20 20 20 Cond Ditc 40 90 5 L 60 60 60	Seeding Rate Ib./ac. Ib./1,000 ft. General Use $20-40$ $1/2-1$ $1/4-1/2$ $10-20$ $1/4-1/2$ $1/4-1/2$ 40 1 $1/4-1/2$ 40 1 $1/4-1/2$ 40 1 $1/4$ 40 1 $1/2$ Steep Banks or Cut Slopes 40 1 10 $1/4$ 20 $1/2$ 20 $1/2$ 20 $1/2$ 20 $1/2$ 60 1 90 2 5 2 Lawns 60 1 60 1 60 1 $1/2$ $1/2$	Seeding Rate Ib./ac. Ib./1,000 ft. 2 General Use 20-40 1/2-1 1/2-1 1/2-1 1/2-1 1/2-1 1/2-1 1/2-1 1/2-1 40 1 40 1/2 Road Ditcbes and Swales 40 1 90 2 1/4 90 2 1/4 60 1 1/2 Class 40 1 1/2 20 1/2 2 Class 40 1 1 2 1/2 Class 2 1/2 1 2 1/2 <th colspa="</td"></th>	

ertilization and Mowi	-		lb./1,000	Time	Mowing
Mixture	Formula	lb./ac.	sq. ft.	Time	wowing
Creeping Red Fescue Ryegrass Kentucky Bluegrass	10-10-10	500	12		Not closer than 3"
Tall Fescue	10-10-10	500	12	Fall, yearly or as needed	Not closer than 4"
Dwarf Fescue	10-10-10	500	12		Not closer than 2"
Crown Vetch Fescue	0-20-20	400	10	Spring, yearly following establishment	Do not mow
Flat Pea Fescue	0-20-20	400	10	and every 4-7 yrs. thereafter	Do not mow

Note: Following soil test recommendations is preferred to fertilizer rates shown above.

	SITE	PREPARATION
	1.	A subsoiler, plow or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture. Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.
	2.	The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.
	3.	Resoil shall be applied where needed to establish vegetation.
	SEE	DBED PREPARATION
、	1.	LimeAgricultural group limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 lb./1,000 sq. ft. or 2 tons/ac.
	2.	<u>Fertilizer</u> Fertilizer shall be applied as recommended by a soil test. In lieu of a soil test, fertilizer shall be applied at a rate of 12 lb./1,000 sq. ft. or 500 lb./ac. of 10-10-10- or 12-12-12 analysis.
) ,	3.	The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 in. On sloping land the soil shall be worked on the contour.
,	SEE	DING DATES AND SOIL CONDITIONS
		Seeding should be done March 1 to May 31 or August 1 to September 30. These seeding dates are ideal but, with the use of additional mulch and irrigation, seedings may be made any time throughout the growing season. Tillage/seedbed preparation should be done when the soil is dry enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.
	MUL	CHING
	1.	Mulch material shall be applied immediately after seeding. Seedings made during optimum seeding dates and with favorable soil conditions and on very flat areas may not need mulch to achieve adequate stabilization. Dormant seeding shall be mulched.
	2.	Materials
	*	StrawIf straw is used it shall be unrotted small-grain straw applied at the rate of 2 tons/ac. or 90 lb./1,000 sq. (two to three bales). The mulch shall be spread uniformly by hand or mechanically so the soil surface is covere. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 sq. ft. sections and spread two 45-lb. bales of straw in each section.
-	*	HydroseedersIf wood cellulose fiber is used, it shall be used at 2,000 lb./ac. or 46 lb./1,000 sq. ft.
	*	OtherOther acceptable mulches include mulch mattings applied according to manufacturer's recommendation or wood chips applied at 6 tons/ac.
	3.	Straw Mulch Anchoring Methods
, ,		Straw mulch shall be anchored immediately to minimize loss by wind or water.
	*	MechanicalA disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into

the soil. Straw mechanically anchored shall not be finely chopped by, generally, be left longer than 6 in.

PERMANENT SEEDING { 1 }

MAINTENANCE

- Permanent seeding shall not be considered established for at least 1 full yr. from the time of planting. Seeded areas shall be inspected for failure and vegetation conditions, it may be necessary to irrigate, fertilize, overseed, or reestablish plantings in order to provider permanent vegetation for adequate erosion control.
- 2. Maintenance fertilization rates shall be established by soil test recommendations or by using the rates shown in the following table.
- DORMANT SEEDINGS
- 1. Seeding shall not be planted from October 1 through November 20. During this period the seeds are likely to germinate but probably will not be able to survive the winter.
- 2. The following methods may be used for "Dormant Seeding":
- * From October 1 through November 20, prepare the seedbed, add the required amounts of lime and fertilizer then mulch and anchor. After November 20 and before March 15, broadcast the selected seed mixture. Increase the seeding rates by 50% for this type of seeding.
- * From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilize, apply the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding
- Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.
- * Where feasible, except when a cultipacker type seeder is used, the seedbed should be firmed following seeding operations with a cultipacker, roller, or light drag. On sloping land, seeding operations should be on the contour where feasible
- Mulch Nettings--Nettings shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of
- concentrated runoff and on critical slopes. Asphalt Emulsion--Asphalt shall be applied as recommended by the manufacturer or at the rate of 160 gal./ac
- Synthetic Binders--Synthetic binders such as Acrylic DLR (Agri-Tac), DAC-70. Petroset, Terra Tack or equal may be used at rates recommended by the manufacture
- * Wood Cellulose Fiber--Wood cellulose fiber binder shall be applied at a net dry weight of 750 lb./ac. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal. of wood cellulose fiber.
- IRRIGATION
- 1. Permanent seeding shall include irrigation to establish vegetation during dry or hot weather or on adverse site conditions as needed for adequate moisture for seed permination and plant growth
- 2. Excessive irrigation rates shall be avoided and irrigation monitored to prevent erosion and damage from runoff.

Temporary seeding provides erosion control on areas in between construction operations. Grasses which are quick growing are seeded and usually mulched to provide prompt, temporary soil stabilization. It effectively minimizes the area of a construction-site prone to erosion and should be used everywhere the sequence of construction operations allows vegetation to be established.

CONDITIONS WHERE PRACTICE APPLIES

Temporary seeding should be applied on exposed soil where additional work (grading,etc.) is not scheduled for more than 21 days. Permanent seeding should be applied if the areas will be idle for more than a year.

PLANNING CONSIDERATIONS

This practice has the potential to drastically reduce the amount of sediment eroded from a construction-site. Control efficiencies greater than 90% will be achieved with proper applications of temporary seeding. Because practices used to trap sediment are usually much less effective, temporary seeding is to be used even on areas where runoff is treated by sediment trapping practices. Because temporary seeding is highly effective and practical on construction-sites, its liberal use is highly recommended

Seeding Dates	Species	Lb./1,000 ft. ²	Per Acre	
March 1 to August 15	Oats	3	4 bushel	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
	Perennial Ryegrass	1	40 lb.	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
August 16 to November 1	Rye	3	2 bushel	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
	Wheat	3	2 bushel	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
	Perennial Ryegrass	1	40 lb.	
	Tall Fescue	1	40 lb.	
	Annual Ryegrass	1	40 lb.	
November 1 to Spring Seeding	Use mulch only, sodding practices or dormant seeding.			

Note: Other approved seed species may be substituted.

- Structural erosion- and sediment-control practices such as diversions and sediment traps shall be installed and stabilized with temporary seeding prior to grading the rest of the construction-site.
- Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 21 days or more. These idle areas should be seeded as soon as possible after grading or shall be seeded within 7 days. Several applications of temporary seeing are necessary on typical construction projects.
- The seedbed should be pulverized and loose to ensure the success of establishing vegetation However, temporary seeding shall not be postponed if ideal seedbed preparation is not possible
- Soil Amendments--Applications of temporary vegetation shall establish adequate stands of vegetation which may require the use of soil amendments. Soil tests should be taken on the site to predict the need for lime and fertilizer.
- Seeding Method--Seed shall be applied uniformly with a cyclone seeder, drill cultipacker seeder, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without interruption.

MULCHING TEMPORARY SEEDING

Applications of temporary seeding shall include mulch which shall be applied during or immediately after seeding. Seedings made during optimum seeding dates and with favorable soil conditions and on very flat areas may not need mulch to achieve adequate stabilization. 2. Materials

- * Straw--If straw is used, it shall be unrotted small-grain straw applied at the rate of 2 tons/ac. or 90 lb./1,000 sq. ft. (two to three bales). The mulch shall be spread uniformly by hand or mechanically so the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000-sq.-ft. sections and spread two 45-lb. bales of straw in each section
- *Hydroseeders--If wood cellulose fiber is used, it shall be used at 2,000 lb/ac. or 46 lb./1.000 sa. ft.
- * Other--Other acceptance mulches include mulch mattings applied according to manufacturer's recommendations or wood chips applied at 6 tons/ac
- 3. Straw mulch shall be anchored immediately to minimize loss by wind or water. Anchoring Methods:
 - *Mechanical--A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 in.
 - *Mulch Nettings--Nettings shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentration runoff and on critical slopes.
 - * Asphalt Emulsion--Asphalt shall be applied as recommended by the manufacturer or at the rate of 160 gal./ac.
 - * Synthetic Binders--Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petroset, Terra Tack or equal may be used at rates recommended by the manufacturer
 - * Wood-Cellulose Fiber--Wood-cellulose fiber binder shall be applied at a net dry weight of 750 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal.

INSTALLATION

(5) SILT FENCE

2. INSTALL ON DOWNSLOPE SIDE(S) OF SITE WITH ENDS EXTENDED UP SIDESLOPES A SHORT DISTANCE.

- 3. PLACE PARALLEL TO THE CONTOUR OF THE LAND AND AT THE FLATTEST AREA AVAILABLE TO ALLOW
- WATER TO POND BEHIND FENCE.
- 4. STAKE TO BE A MINIMUM OF 32 INCHES LONG

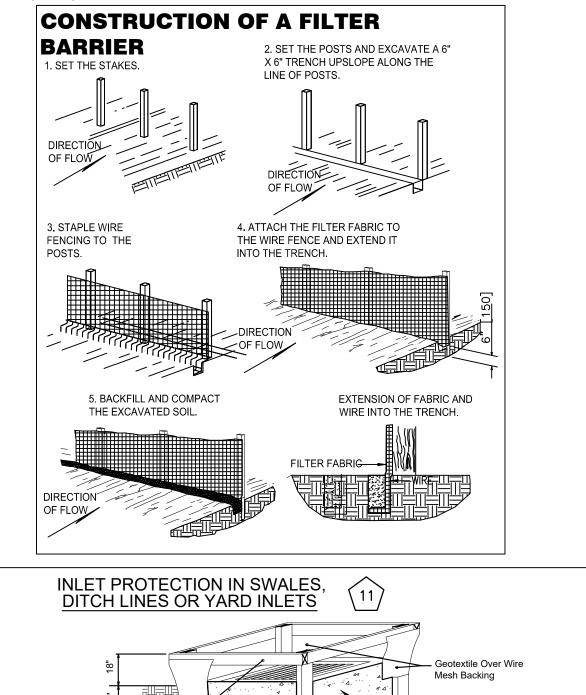
1. PUT UP BEFORE ANY OTHER WORK IS DONE.

- 5. MINIMUM HEIGHT SILT FENCE 16 INCHES ABOVE ORIGINAL GROUND SURFACE
- 6. LEAVE NO GAPS BETWEEN SECTIONS OF SILT FENCE INSPECT AND REPAIR ONCE A WEEK AND AFTER EVERY 1/2 INCH RAIN. REMOVE SEDIMENT IF DEPOSITS REACH HALF THE FENCE HEIGHT.
- 7. MAXIMUM DISTANCE FROM TOE OF THE SLOPE, LEAVING AT LEAST 5' DISTANCE.
- 8. STAKE ON DOWNHILL SIDE OF GEOTEXTILE WITH 8" OF CLOTH CLOTH BELOW THE GROUND SURFACE; EXCESS MATERIAL TO LAY ON THE BOTTOM OF 6" TRENCH
- 9. ODOT TYPE "C" GEOTEXTILE FABRIC OR EQUAL
- 10. MAINTAIN UNTIL A LAWN IS ESTABLISHED.

MATERIALS: FILTER FABRIC SHALL MEET THE REQUIREMENTS OF CMS 712.09, TYPE C. SUPPORT STAKES SHALL BE A MINIMUM OF 1.5"X1.5" [38X38], NOMINAL, AND SHALL BE HARDWOOD OF SOUND QUALITY. THE STAKES SHALL BE DRIVEN A MINIMUM OF 6" [150] BELOW THE BOTTOM OF THE FILTER FABRIC. THE MAXIMUM SPACING BETWEEN SUPPORT STAKES SHALL BE 10' [3 M].

CONSTRUCTION: THE BOTTOM OF THE FABRIC SHALL BE BURIED 6" [150] BELOW THE GROUND. THE ENDS OF ADJACENT SECTIONS OF FENCE SHALL BE OVERLAPPED WITH THE END STAKE OF EACH SECTION WRAPPED TOGETHER PRIOR TO INSTALLATION. THE GROUND ELEVATION OF THE FENCE SHALL BE HELD CONSTANT EXCEPT THAT THE END ELEVATIONS SHALL BE RAISED UPSLOPE TO PREVENT FLOW AROUND THE END OF THE FENCE. MAINTENANCE: THE FILTER FABRIC FENCE SHALL BE MAINTAINED TO BE FUNCTIONAL. THIS SHALL INCLUDE REMOVAL OF TRAPPED SEDIMENT AND REQUIRED CLEANING, REPAIR, AND REPLACEMENT OF THE FILTER FABRIC. THE MAINTENANCE OR REPLACEMENT COST WILL BE PAID FOR BY THE DEPARTMENT UNDER UNIT BID PRICES, AGREED UNIT PRICES, OR CMS 109.04.

PAYMENT: THE COST OF ALL MATERIALS, CONSTRUCTION AND REMOVAL SHALL BE PAID FOR UNDER ITEM 207 -TEMPORARY PERIMETER FILTER FABRIC FENCE OR TEMPORARY DITCH CHECK FILTER FABRIC FENCE, LINEAR FOOT [METER].



- Inlet protection shall be constructed either before upslope land disturbance begins or before the storm drain becomes
- operationa
- The earth around the inlet shall be excavated completely to the depth at least 18in.
- The wooden frame shall be constructed of 2-by-4-in, construction grade lumber. The 2-by-4-in, posts shall be driven 1 ft, into the ground at four corners of the inlet and the top portion of 2-by-4-in. frame assembled using the overlap joint shown. The top of the frame shall be at least 6 in. below adjacent roads if ponded water would pose a safety hazard to traffic.

ompact Backfil

- Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely to the frame.
- Geotextile shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 in, below the inlet notch elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- Backfill shall be placed around the inlet in compacted 6-in. layers until the earth is even with notch elevation on ends and top elevation on sides
- A compacted earth dike or a check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression and if runoff bypassing the inlet will not flow to a setting pond. The top of earth dikes shall be at least 6 in. higher than the top

Erosion Prevention and Sediment Control Site Ir

Introduction: By using some simple Best Management Practices (BMP' contractors can do their share to protect water resources from the harmful e

The topography of the site and the extent of the construction activities will de these practices are applicable to any given site, but the BMP's listed here are construction sites. For details on the installation and maintenance of these the approved plans and or the Rainwater and Land Development, Ohio's Water Management, Land Development and Urban Stream Protection (OD

Temporary Stabilization is the most effective BMP. All disturbed areas dormant for 14 days or more must be stabilized within 7 days of the date the inactive. The goal of temporary stabilization is to provide cover quickly. Area stream must be stabilized within 2 days of reaching final grade. This is account with fast-growing grasses, then covering with straw mulch. See the Rainwar Development Manual for seasonally adjusted seeding specifications. To min temporary stabilization, leave natural cover in place for as long as possible areas worked within the next 14 days.

Construction Entrances are installed to minimize off-site tracking of se stone access drive underlain with woven geotextile shall be installed at ever vehicles enter or exit the site. Every individual lot should also have its own construction on the lot begins. Maintenance is performed by top dressing with sweeping.

Sediment Basins/Traps are the sediment control of choice for areas, w design capacity of silt fence (see page 119 of the Rainwater manual) or to o flows or runoff. There are two types: sediment basins and sediment traps. where the contributing drainage area is 10 acres or less. The outlet is an ea with a simple stone spillway underlain with woven geotextile. A sediment bas drainage areas larger than 10 acres. The outlet is an engineered riser pipe. storm water management pond, such as a retention or detention basin, car as a sediment basin during construction. All sediment ponds, regardless of trap or a basin, or whether they will become a permanent storm water pond, minimum storage of 67 cubic yards per acre of total contributing drainage an must be installed prior to mass clearing and grading. Maintenance must be basin loses 40% of capacity, and 30% for storm water basins retrofitted as

Silt Fence or Mulch Berms are typically used at the perimeter of a distu only for small drainage areas on relatively flat slopes or around small soil st suitable where runoff is concentrated in a ditch, pipes or though streams. F areas where flow is concentrated, collect runoff in diversion berms or channel through a sediment pond prior to discharging it from the site. Combination b silt fence supported by welded wire fencing, mulch berms supported by rock fence embedded within rock check dams may be effective within small chan sediment controls, silt fence or mulch berms must be capable of ponding ru can settle out of suspension. These must be installed within 7 days of first g controls. Whenever practical they should be installed before clearing or grub controls.

Inlet Protection must be installed on all yard drains and curb drains wh not drain to a sediment trap or basin. Even if there is a sediment trap or bas still recommended, as it will reduce the amount of sediment entering the bas overall sediment removal efficiency. Best used on roads with little or no traffi properly, inlet protection will cause water to pond. If used on curb inlets, stre temporarily during heavy storms, (overflow should be built-in.) Check with the jurisdiction over the roads before installing. They may prefer an alternate BN taken when placing inlet protection so that the runoff is not diverted to public where it could cause a hazard.

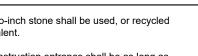
Permanent Stabilization must occur on areas at final grade within 7 day grade. This is usually accomplished by using seed and mulch, but special r sometimes required. This is particularly true in drainage ditches or on steep measures include the addition of topsoil, erosion control matting, rock ripra See the Rainwater and Land Development Manual for seasonally adjusted specifications. At all times of the year, the area should be temporarily stabil permanent seeding can be applied.

Inspections shall be performed at least once a week and within 24 hours after a storm event greater than 1/2 inch of rainfall within a 24-hour duration using the enclosed Inspection Form. Inspections can be tracked using the enclosed Inspection Log. These shall be maintained throughout the development process and kept on file for three years per OEPA requirements. Erosion prevention and sediment control (EP&SC) measures shall be observed to ensure correct operation. Discharge locations shall be inspected to determine effectiveness of EP&SC measures in preventing significant impacts to the receiving waters. Where practices require repair or maintenance, it must be accomplished within three days of the inspection or as soon as site conditions allow. Repairs to sediment ponds shall be completed within 10 days or as soon as site conditions allow. Most of these BMP's are easy to implement with a little bit of planning and go a long way toward keeping your site clean and organized if they are properly installed and maintained. Please be sure to inform all parties on site how these BMPs affect their operations on the site, particularly those that will be working near a stream.

of the frameDANDY BAGS DETAIL	8	
DANDY BAG®	DANDY BAG® SPECIFICATIONS NOTE: THE DANDY BAG® WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS: HI-FLOW DANDY BAG® (SAFETY ORANGE) Mechanical Properties Test Method Units MARV Grab Tensile Strength ASTM D 4632 % Question astim D 4632 % Puncture Strength ASTM D 4632 % Mark (bs) 1.62 (365) X 0.89 (200) Grab Tensile Elongation ASTM D 4632 % Puncture Strength ASTM D 4632 % Mark (bs) 0.51 (115) X 0.33 (75) 0 More Strength ASTM D 4533 kN (bs) 0.51 (115) X 0.33 (75) UV Resistence ASTM D 4355 % 900 UV Resistence ASTM D 44391 1/min/m² (gal/min/ft²) 5907 (145) 2.1 *Note: All Dandy Bags® can be ordered with our optional oil absorbent pillows	 Stone SizeTwo-inch stone shall be used, or recycled concrete equivalent. LengthThe construction entrance shall be as long as required to stabilize high traffic areas but not less than 50 ft. (except on single residence lot where a 30-ft. minimum length applies). ThicknessThe stone layer shall be at least 6 in. thick. WidthThe entrance shall be at least 10 ft. wide, but not less than the full width at points where ingress or egress occurs. BeddingA geotextile shall be placed over the entire area prior to placing stone. It shall have a Grab Tensile Streng of at least 200 lb. and a Mullen Burst Strength of at least 190 lb. CulvertA pipe or culvert shall be constructed under the entrance if needed to prevent surface water flowing across the entrance from being directed out onto paved surfaces Water BarA water bar shall be constructed as part of the surface in the surf
DETAIL OF INLET SEDIMENT CONTROL DEVICE PROJECT: DR. BY: CITY/STATE: DATE: DR. NO:	Detail Provided By: Site Supply Inc. 33 Glendale-Milford Road Loveland, OH 45140 Phone: (513) 248-1498 Fax: (513) 248-1498 Fax: (513) 248-4584 cbrowning@sitefabric.com http://www.sitefabric.com	 construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces. 8. MaintenanceTop dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surfaces where runoff is not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by scraping or sweeping. 9. Construction entrances shall not be relied upon to remove mud fro vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.

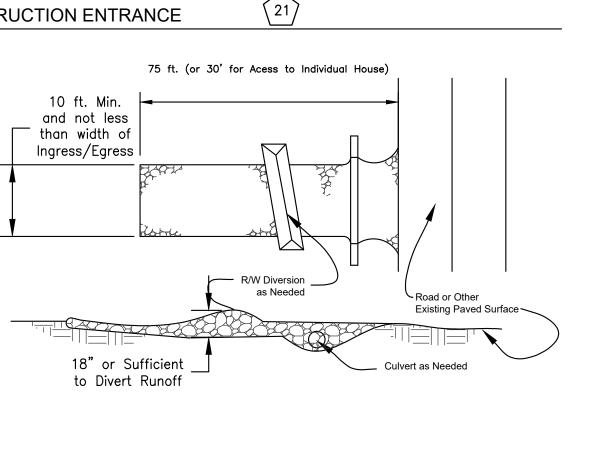
nspection Form	Eros	ion Preven	tion and Sediment Control Site Inspection Form	ΒΥ			
IP's) developers and I effects of sediment. I determine which of are applicable to most e BMP's, please refer to		al: t of rainfall since	pector: Date: last inspection:inches				
s Standards for Storm ODNR, 1996). As that will lie the area becomes	ls the e (Check	for mud in stone	es: correctly according to the approved plan? YES NO N/A es/street, runoff diverted from street, etc)	DESCRIPTION			
reas within 50 feet of a complished by seeding water and Land minimize your costs of e by only disturbing	DES(
sediments. A rough very point where n drive once with stone and/or street	Are all YES N accum	IO N/A (Check ⁺ ulated, broken st	ns: Berm (SF/MB) installed correctly according to the approved plan? for fabric trenched in, follow contour, turned upslope at ends, silt akes, tight fabric, installed in all areas where sediment could leave the site)	DATE			
which exceed the o control concentrated a. A trap is appropriate earthen embankment basin is appropriate for	Are all Check	for runoff pondin	installed correctly according to the approved plan? YES NO N/A g, in good shape, silt accumulated, etc)	REV			
be. Often a permanent can be retrofitted to act of whether they are a nd, must provide a area. Sediment ponds	on: that will lie dormant for 14 days or more stabilized with seed/straw or sides, etc) YES NO N/A						
be performed once the sediment basins.		areas stabilized	still in good condition and not eroding? YES NO N/A				
sturbed area. They are storage piles; not For large drainage	Have a	reas that achieve	ed final grade within the last 7 days been stabilized? YES NO N/A				
nnels and pass it barriers constructed of ock check dams, or silt annels. As with all runoff so that sediment t grubbing the area it rubbing the area it	Stream Are the (Check	Crossing: Stream Crossin for stabilized ed	gs installed correctly according to the approved plan? YES NO N/A ges, runoff diverted from stream, mud over stones, end of useful life, etc)		er	Suite A 336.6600	
when these inlets do basin, inlet protection is basin and increase the affic. If working treets will flood the authority that has BMP. Care should be blic roads or other areas		f you answered above, ar	ntion and Sediment Control Site Inspection Form "no" to any of the above questions, note any corrective action needed nd note on the Inspection Log when the action was completed. Inspection Log			6900 Tylersville Road, Mason, OH 45040 - 513.	
days of reaching final measures are ep slopes. These	act	ual precipitation,	ected before and after storm events with 0.5 inches or greater predicted or and documented on the Construction Site Inspection Form. Incidents of e reported to the Engineer. A log of all inspections, as shown below, shall be kept current.				
ap or retaining walls. d seeding bilized until a	Date:	Inspector:	Actions Performed/Date:	L/C#	34-2068		
ours after a storm							ОH

CONSTRUCTION ENTRANCE



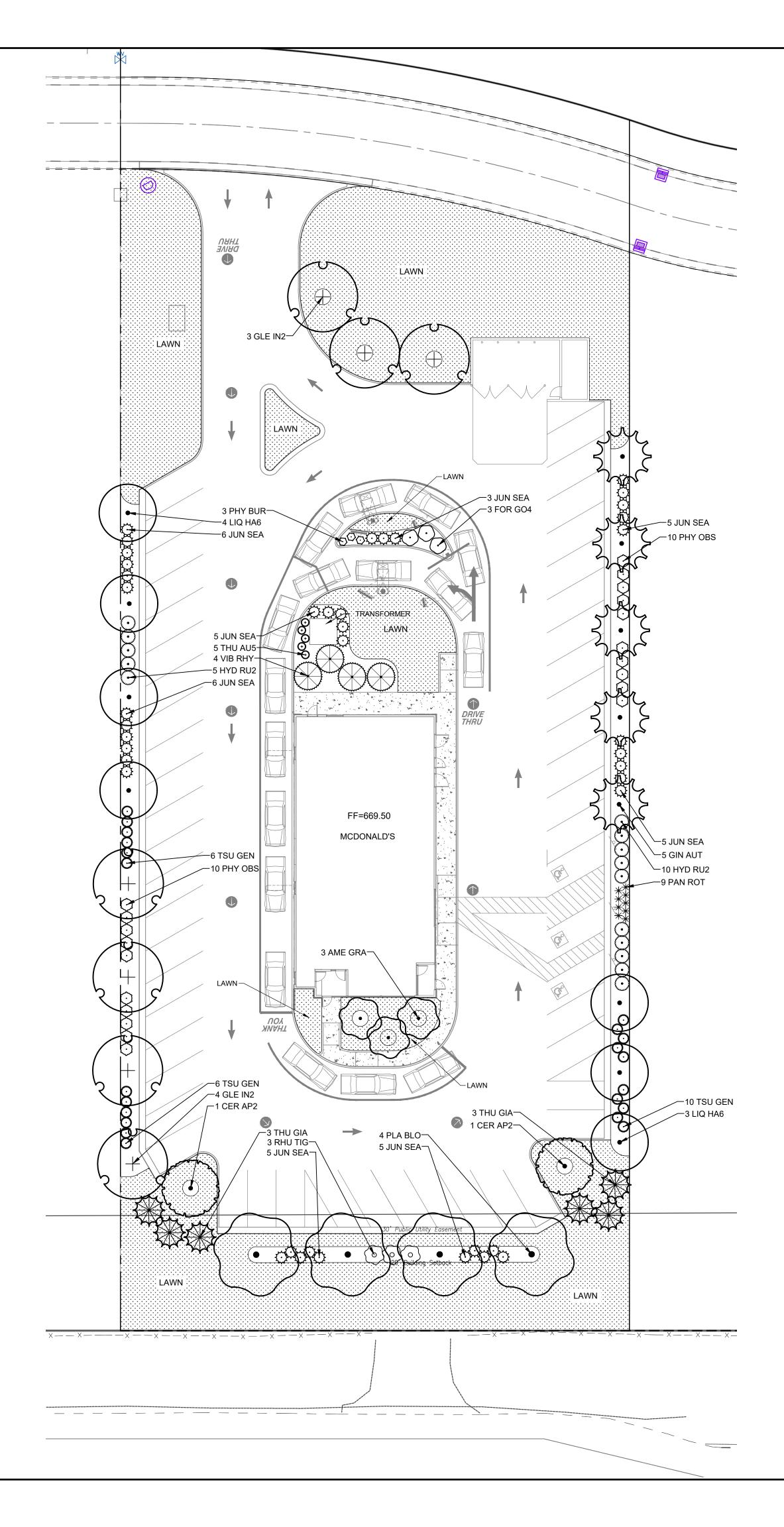
or culvert shall be constructed under the led to prevent surface water flowing across m being directed out onto paved surfaces. ater bar shall be constructed as part of the rance if needed to prevent surface runoff length of the construction entrance and

trances shall not be relied upon to remove and prevent off-site tracking. Vehicles eave the construction-site shall be restricted



L/C# 34-2068				
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MEDIONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	PROPOSED McDONALD'S RESTAURANT AT: RIVERS CROSSING WEST VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OH			
JOB NO. 19-0175				
DATE: 12/5/19)			
SCALE: 1"=20'				
EROSION DETAILS				

SHEET: C5.1



ZONING CALCULATIONS

REQUIRED PARKING LOT SCREENING (SECTION 15.17.5) ALL PARKING LOTS WITH FIVE (5) OR MORE PARKING SPACES, INCLUDING VEHICULAR SALES LOTS,

- THAT FACE ANY PROPERTY IN ANY ZONE OR ANY PUBLIC OR PRIVATE STREET RIGHT-OF-WAY OR ACCESS ROAD OR SERVICE ROAD SHALL PROVIDE A LANDSCAPE SCREEN AS FOLLOWS:
 - 1. THE BUFFER WIDTH SHALL BE A MINIMUM OF 10' WIDE
 - 2. A 30" HIGH CONTINUOUS SCREEN CONSISTING OF AN EARTH MOUND, PLANTING, HEDGE OR DECORATIVE WALL OR ANY COMBINATION THEREOF, SHALL BE PROVIDED. 3. ONE DECIDUOUS TREE SHALL BE REQUIRED FOR EVERY 30 LF OF THE REQUIRED
 - BUFFER ZONE 4. THE PLANNING COMMISSION MAY MODIFY OR WAIVE THE PARKING LOT PERIMETER LANDSCAPING REQUIREMENTS IF THE PROVIDED BUFFER STRIP LANDSCAPING ADJACENT TO RIGHTS-OF-WAY AND BETWEEN LAND USES ADEQUATELY SCREENS THE PARKING LOT FROM VIEW FROM ADJACENT PROPERTIES AND ROADS

SOUTH BUFFER 109.5 LF / 30 = 4 DECIDUOUS TREES

EAST BUFFER

232.62 LF / 30 = 8 DECIDUOUS TREES

WEST BUFFER 216.5 LF / 30 = 8 DECIDUOUS TREES

ON-SITE LANDSCAPING (SECTION 15.17.9)

FOR EVERY NEW NON-RESIDENTIAL DEVELOPMENT, THERE SHALL BE INTERIOR LANDSCAPING AREAS EXCLUSIVE OF ANY OTHER REQUIRED LANDSCAPING CONSISTING OF AT LEAST 5% OF THE TOTAL LOT AREA. THIS LANDSCAPED AREA SHOULD BE GROUPED NEAR BUILDING ENTRANCES, ALONG BUILDING FOUNDATIONS, ALONG PEDESTRIAN WALKWAYS, AND ALONG SERVICE AREAS. ALL INTERIOR LANDSCAPING SHALL CONFORM TO THE FOLLOWING:

- 1. ONE DECIDUOUS TREE OR ORNAMENTAL TREE OR EVERGREEN TREE SHALL BE
- PROVIDED FOR EVERY 400 SF OF REQUIRED INTERIOR LANDSCAPING AREA 2. ONE SHRUB SHALL BE PROVIDED FOR EVERY 250 SF OF REQUIRED LANDSCAPING
- AREA 3. THE INTERIOR LANDSCAPING AREA SHALL CONTAIN GRASS, GROUND COVER, 4" DEEP SHREDDED BARK MULCH, AND SHALL BE CURVED OR EDGED AS NECESSARY

TOTAL LOT AREA = 63,515 SF

63,515 SF / 5% = 3,175.75 SF OF REQUIRED LANDSCAPING AREA

3,175.75 / 400 SF = 8 REQUIRED TREES 3,175.75 / 250 SF = 13 REQUIRED SHRUBS

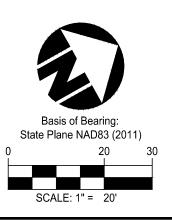
INTERIOR PARKING LOT LANDSCAPING (SECTION 15.17.10) WITHIN EVERY PARKING AREA CONTAINING AT LEAST 5 PARKING SPACES, AT LEAST 5% OF THE TOTAL PARKING LOT AREA SHALL BE LANDSCAPED, IN ADDITION TO ANY OTHER LANDSCAPING REQUIREMENTS. THIS LANDSCAPING SHALL MEET THE FOLLOWING STANDARDS:

- 1. ONE DECIDUOUS TREE SHALL BE PLANTED FOR EVERY 300 SF OF REQUIRED INTERIOR PARKING LOT LANDSCAPING AREA
- 2. LANDSCAPING SHALL BE DISPERSED THROUGHOUT THE PARKING LOT IN ORDER TO BREAK UP LARGE EXPANSES OF PAVEMENT AND HELP DIRECT SMOOTH TRAFFIC FLOW WITHIN THE LIGHT. A MINIMUM OF 1 TREE SHALL BE PLANTED AND INCLUDED IN EACH LANDSCAPING ISLAND OR REQUIRED LANDSCAPING AREA PURSUANT TO THE CALCULATIONS OF THIS SECTION.
- 3. LANDSCAPING SHALL BE INSTALLED SUCH THAT WHEN MATURE, IT DOES NOT OBSCURE TRAFFIC SIGNS OR LIGHT, OBSTRUCT ACCESS TO FIRE HYDRANTS NOR INTERFERE WITH ADEQUATE MOTORIST SIGHT DISTANCE.
- 4. ALL LANDSCAPE ISLANDS SHALL BE CURBED. DIMENSIONS OF ISLANDS SHALL BE SHOWN ON THE SITE PLAN. MINIMUM ISLAND WIDTH SHALL BE 10'; MINIMUM RADII SHALL BE 10' AT ENDS FACING MAIN AISLES AND A MINIMUM 1' FOR RADII NOT ADJACENT TO MAIN CIRCULATION AISLES. THE LENGTH OF THE ISLANDS SHALL BE 2' SHORTER THAN ADJACENT PARKING SPACE TO IMPROVE MANEUVERING

VUA = 31,618 SF 31,618 SF / 5% = 1,580.9 SF OF REQUIRED LANDSCAPING AREA

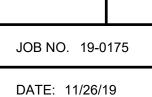
1,580.9 / 300 SF = 6 REQUIRED TREES

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME		MIN. SIZE
GIN AUT	5	Ginkgo biloba `Autumn Gold` TM	ld` TM Maidenhair Tree B		2.0" Cal
GLE IN2	7	Gleditsia triacanthos inermis `Sunburst` Sunburst Common Honeylocust		B&B	2.0" Cal
_IQ HA6	7	Liquidambar styraciflua `Happdell` Happidaze Sweet Gum		B&B	2.0" Cal
PLA BLO	4	Platanus x acerifolia `Bloodgood`	London Plane Tree	B & B	2.0" Cal
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
THU GIA	6	Thuja plicata `Green Giant`	Western Red Cedar	B&B	6` Ht.
	-		1		1
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE B&B	MIN. SIZE
AME GRA	3	Amelanchier x grandiflora `Autumn Brilliance`	r x grandiflora `Autumn Brilliance` Autumn Brilliance Serviceberry Tree Form		2.0" Cal
CER AP2	2	Cercis canadensis `Appalachian Red`	Appalachian Red Eastern Redbud	B & B	2.0" Cal
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
FOR GO4	3	Forsythia x `Gold Tides`	Golden Tide Forsythia	3 gal	15" Ht.
HYD RU2	15	Hydrangea quercifolia `Ruby Slippers`	Ruby Slippers Hydrangea	5 gal	24" Ht.
PHY BUR	3	Physocarpus opulifolius `Burgundy Candy`	Burgundy Candy Ninebark	3 gal	15" Ht.
PHY OBS	20	Physocarpus opulifolius `Obsidian`	Obsidian` Obsidian Ninebark		24" Ht.
RHU TIG	3	Rhus typhina `Tiger Eyes`	Tiger Eyes Sumac	B & B	36" Ht.
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
JUN SEA	40	Juniperus chinensis `Sea Green`	Sea Green Juniper	B&B	30" Ht.
THU AU5	5	Thuja occidentalis `Aurea`	Golden Globe Arborvitae	B&B	18" Ht.
TSU GEN	22	Tsuga canadensis `Gentsh White`	Gentsh White Hemlock	B&B	18" Ht.
VIB RHY	4	Viburnum x rhytidophylloides `Alleghany`	Alleghany Viburnum	B & B	36" Ht.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT









SCALE: 1"=2	0'

PLANTING PLAN

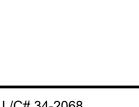
SHEET: L1.0

CAUTION!!!

ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.







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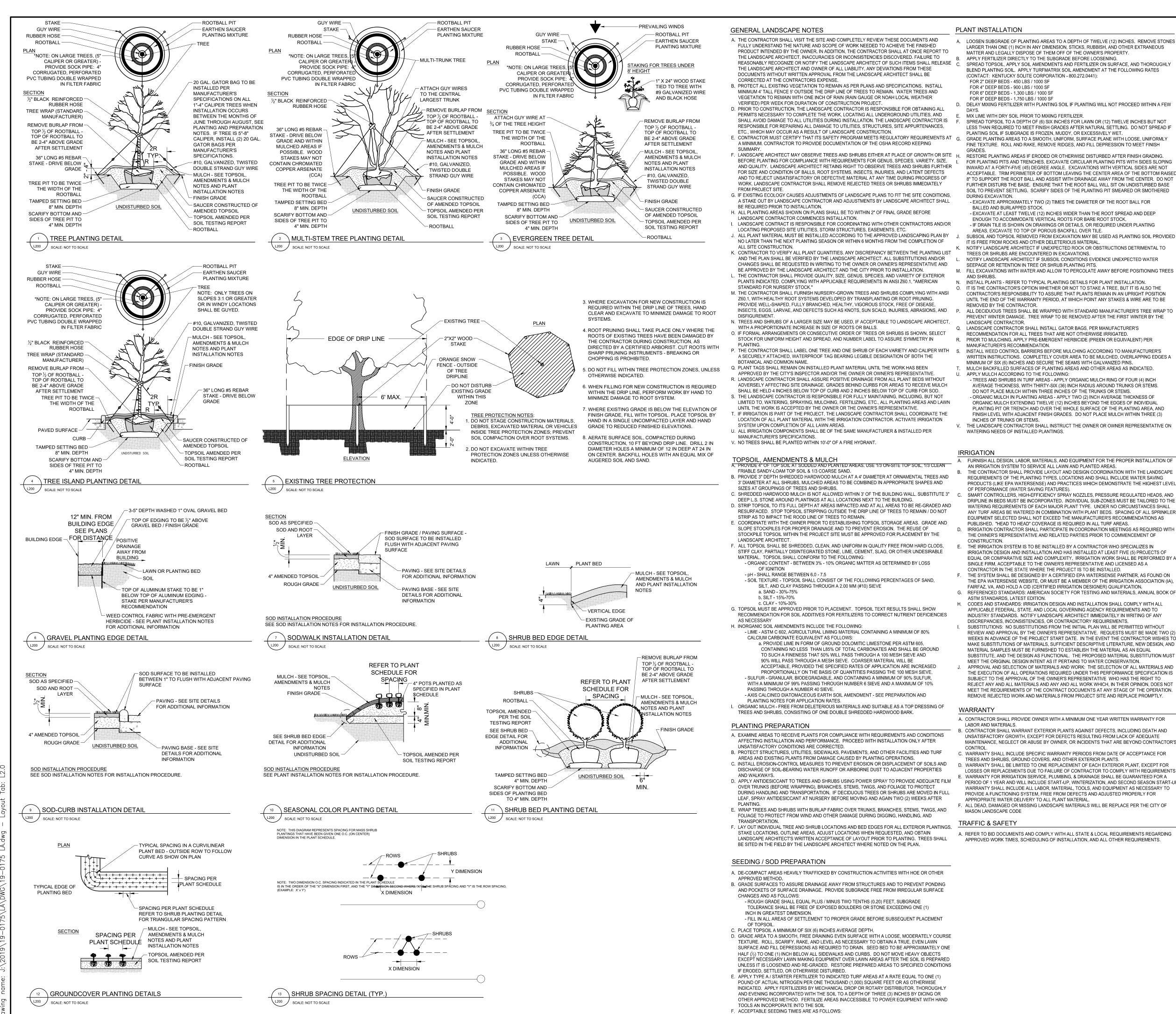
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- SPRING SEED PLANTING APRIL 1 TO JUNE 1 FALL SEED PLANTING - AUGUST 15 TO OCTOBER

LOOSEN SUBGRADE OF PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES. REMOVE STONES

SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE, AND THOROUGHLY BI FND PI ANTING SOIL. APPLY TURFMATRIX SOIL AMENDMENT AT THE FOLLOWING RATES

DELAY MIXING FERTILIZER WITH PLANTING SOIL IF PLANTING WILL NOT PROCEED WITHIN A FEW

SPREAD TOPSOIL TO A DEPTH OF (6) SIX INCHES FOR LAWN OR (12) TWELVE INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLING. DO NOT SPREAD IF GRADE PLANTING AREAS TO A SMOOTH, UNIFORM, SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSION TO MEET FINISH

RESTORE PLANTING AREAS IF FRODED OR OTHERWISE DISTURBED AFTER FINISH GRADING. FOR PLANTING PITS AND TRENCHES. EXCAVATE CIRCULAR PLANTING PITS WITH SIDES SLOPING INWARD AT A FORTY-FIVE (45) DEGREE ANGLE. EXCAVATIONS WITH VERTICAL SIDES ARE NOT ACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING THE CENTER AREA OF THE BOTTOM RAISED 8" TO SUPPORT THE ROOT BALL AND ASSIST WITH DRAINAGE AWAY FROM THE CENTER. DO NOT FURTHER DISTURB THE BASE. ENSURE THAT THE ROOT BALL WILL SIT ON UNDISTURBED BASE

- EXCAVATE APPROXIMATELY TWO (2) TIMES THE DIAMETER OF THE ROOT BALL FOR - EXCAVATE AT LEAST TWELVE (12) INCHES WIDER THAN THE ROOT SPREAD AND DEEP

ENOUGH TO ACCOMMODATE VERTICAL ROOTS FOR BARE ROOT STOCK. - IF DRAIN TILE IS SHOWN ON DRAWINGS OR DETAILS. OR REQUIRED UNDER PLANTING SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATION MAY BE USED AS PLANTING SOIL PROVIDED NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER

INSTALL PLANTS - REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION. IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE, BUT IT IS ALSO THE

ALL DECIDUOUS TREES SHALL BE WRAPPED WITH STANDARD MANUFACTURER'S TREE WRAP TO PREVENT WINTER DAMAGE. TREE WRAP TO BE REMOVED AFTER THE FIRST WINTER BY THE

LANDSCAPE CONTRACTOR SHALL INSTALL GATOR BAGS, PER MANUFACTURER'S

INSTALL WEED CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED. OVERLAPPING EDGES A

- TREES AND SHRUBS IN TURF AREAS - APPLY ORGANIC MULCH RING OF FOUR (4) INCH AVFRAGE THICKNESS. WITH THIRTY-SIX (36) INCH RADIUS AROUND TRUNKS OR STEMS. DO NOT PLACE MULCH WITHIN THREE INCHES OF THE TRUNKS OR STEMS. ORGANIC MULCH IN PLANTING AREAS - APPLY TWO (2) INCH AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING TWELVE (12) INCHES BEYOND THE EDGES OF INDIVIDUAL PLANTING PIT OR TRENCH AND OVER THE WHOLE SURFACE OF THE PLANTING AREA, AND

FINISH LEVEL WITH ADJACENT FINISH GRADES. DO NOT PLACE MULCH WITHIN THREE (3) THE LANDSCAPE CONTRACTOR SHALL INSTRUCT THE OWNER OR OWNER REPRESENTATIVE ON

FURNISH ALL DESIGN. LABOR. MATERIALS, AND EQUIPMENT FOR THE PROPER INSTALLATION OF THE CONTRACTOR SHALL PROVIDE LAYOUT AND DESIGN COORDINATION WITH THE LANDSCAPE REQUIREMENTS OF THE PLANTING TYPES, LOCATIONS AND SHALL INCLUDE WATER SAVING PRODUCTS (LIKE EPA WATERSENSE) AND PRACTICES WHICH DEMONSTRATE THE HIGHEST LEVEL

SMART CONTROLLERS, HIGH-EFFICIENCY SPRAY NOZZLES, PRESSURE REGULATED HEADS, AND DRIPLINE IN BEDS MUST BE INCORPORATED. INDIVIDUAL SUB-ZONES MUST BE TAILORED TO THE WATERING REQUIREMENTS OF EACH MAJOR PLANT TYPE. UNDER NO CIRCUMSTANCES SHALL ANY TURF AREAS BE WATERED IN COMBINATION WITH PLANT BEDS. SPACING OF ALL SPRINKLER EQUIPMENT SELECTED SHALL NOT EXCEED THE MANUFACTURER'S RECOMMENDATIONS AS IRRIGATION CONTRACTOR SHALL PARTICIPATE IN COORDINATION MEETINGS AS REQUIRED WITH

THE IRRIGATION SYSTEM IS TO BE INSTALLED BY A CONTRACTOR WHO SPECIALIZES IN IRRIGATION DESIGN AND INSTALLATION AND HAS INSTALLED AT LEAST FIVE (5) PROJECTS OF EQUAL OR COMPARATIVE SIZE AND COMPLEXITY. IRRIGATION WORK SHALL BE PERFORMED BY A INGLE FIRM. ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND LICENSED AS A

THE SYSTEM SHALL BE DESIGNED BY A CERTIFIED EPA WATERSENSE PARTNER, AS FOUND ON THE EPA WATERSENSE WEBSITE, OR MUST BE A MEMBER OF THE IRRIGATION ASSOCIATION (IA), FAIRFAZ, VA, AND HOLD A CID (CERTIFIED IRRIGATION DESIGNER) QUALIFICATION.

APPLICABLE FEDERAL, STATE, AND LOCAL GOVERNING AGENCY REQUIREMENTS AND TO INDUSTRY STANDARDS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING OF ANY SUBSTITUTIONS: NO SUBSTITUTIONS FROM THE INITIAL PLAN WILL BE PERMITTED WITHOUT REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE. REQUESTS MUST BE MADE TWO (2) WEEKS IN ADVANCE OF THE PROJECT START DATE. IN THE EVENT THE CONTRACTOR WISHES TO MAKE SUBSTITUTIONS OF MATERIALS, SUFFICIENT DESCRIPTIVE LITERATURE, NEW DESIGN, AND

SUBSTITUTE, AND THE DESIGN AS FUNCTIONAL. THE PROPOSED MATERIAL SUBSTITUTION MUST SODDING MEET THE ORIGINAL DESIGN INTENT AS IT PERTAINS TO WATER CONSERVATION APPROVAL AND SELECTION OF MATERIALS AND WORK: THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL OPERATIONS REQUIRED UNDER THIS PERFORMANCE SPECIFICATION IS $B_{\rm c}$ SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE WHO HAS THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK WHICH. IN THEIR OPINION. DOES NOT

REMOVE REJECTED WORK AND MATERIALS FROM PROJECT SITE AND REPLACE PROMPTLY. A. CONTRACTOR SHALL PROVIDE OWNER WITH A MINIMUM ONE YEAR WRITTEN WARRANTY FOR F

UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S C. WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FROM DATE OF ACCEPTANCE FOR

LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS. WARRANTY FOR IRRIGATION SERVICE, PLUMBING, & DRAINAGE SHALL BE GUARANTEED FOR A WARRANTY SHALL INCLUDE ALL LABOR, MATERIAL, TOOLS, AND EQUIPMENT AS NECESSARY TO PROVIDE A FUNCTIONING SYSTEM, FREE FROM DEFECTS AND ADJUSTED PROPERLY FOR

A. REFER TO BID DOCUMENTS AND COMPLY WITH ALL STATE & LOCAL REQUIREMENTS REGARDING

SEED INSTALLATION

LANDSCAPE CONTRACTOR SHALL SEED ALL DISTURBED AREAS. THE FINAL GRADE AND TOPSOIL WITHIN +/- .10 FEET WILL BE IN PLACE FOR SEEDING CONTRACTOR. B. CONTRACTOR SHALL APPLY CELLULOSE FIBER MULCH AT A MINIMUM RATE OF 1500 LBS./ACRE AND FERTILIZERS: BEST 6-20-20 OR BEST 15-15-15 OR APPROVED EQUAL APPLIED AT RATE APPROPRIATE FOR PRODUCT, ORGANIC TACKIFIER SHALL BE APPLIED AT RATE OF 70

LBS /ACRE_HYDROSEED SEED MIX SHALL BE APPLIED AT THE 2 000 LBS /ACRE CONTRACTOR SHALL WATER ALL PLANT AREAS THOROUGHLY TO SATURATE UPPER LAYERS OF SOIL PRIOR TO THE HYDROSEEDING OPERATION. ALLOW THE PLANTING AREA SOIL SURFACE TO DRY OUT FOR ONE DAY ONLY PRIOR TO THE HYDROSEEDING APPLICATION.

D. CONTRACTOR SHALL APPLY THE HYDROSEEDING IN THE FORM OF A SLURRY CONSISTING OF ORGANIC SOIL AMENDMENTS, COMMERCIAL FERTILIZER, AND ANY OTHER CHEMICALS THAT ARE CALLED OUT, WHEN HYDRAULICALLY SPRAYED ONTO THE SOIL, THE MULCH SHALL FORM A BLOTTER-LIKE MATERIAL. SPRAY THE AREA WITH A UNIFORM VISIBLE COAT, USING THE DARK COLOR OF THE CELLULOSE FIBER AS A VISUAL GUIDE. THE SLURRY SHALL BE APPLIED IN A DOWNWARD DRILLING MOTION VIA A FAN STREAM NOZZLE. CONTRACTOR SHALL INSURE THAT ALL OF THE SLURRY COMPONENTS ENTER AND MIX WITH THE SOIL.

IF SLURRY COMPONENTS ARE LEFT FOR MORE THAN TWO HOURS IN THE MACHINE. ADD 50% MORE OF THE ORIGINALLY SPECIFIED SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED WITHIN THE TWO HOURS AFTER MIXING, ADD 75% MORE OF THE ORIGINAL SEED MIX TO ANY SI URRY MIXTURE WHICH HAS NOT BEEN APPLIED FIGHT (8) HOURS AFTER MIXING ALL MIXTURES MORE THAN EIGHT (8) HOURS OLD, SHALL BE DISPOSED, OFFSITE, AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL REMOVE ALL SLURRY SPRAYED ONTO HARDSCAPE AREAS INCLUDING CONCRETE WALKS, FENCES, WALLS, BUILDINGS, ETC. AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL SAVE ALL SEED AND FERTILIZER TAGS AND FIBER MULCH BAGS FOR THE LANDSCAPE ARCHITECT TO VERIFY COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS

NATIVE SEED INSTALLATION NATIVE SEED INSTALLATION METHODS TO VARY ACCORDING TO THE TIME OF YEAR.

D.

- NOVEMBER 1 - FEBRUARY 28. SEED MUST BE PROTECTED FROM DISPLACEMENT DUE TO WATER AND WIND EROSION. PROVIDE APPROPRIATE EROSION CONTROL BLANKETS ON SLOPES STEEPER THAN 5:1, AND WITH BLOWN AND CRIMPED STRAW MULCH AT 1-1/2 TONS PER ACRE ON LESSSER SLOPES. SEED DRILLED INTO EXISTING VEGETATION OR ON FLAT GROUND NOT SUBJECT TO EROSION MAY NEED ONLY MINIMAL EROSION PROTECTION. - MARCH 1 - JUNE 29. SEEDING DURING THIS PERIOD APPROPRIATE BUT GERMINATION OF A PORTION OF THE SEED MAY NOT OCCUR UNTIL THE FOLLOWING SEASON DUE TO A LACK OF COLD STRATIFICATION TO BREAK SEED DORMANCY. BLOWN AND CRIMPED STRAW MULCH IS RECOMMENDED AT 1-1/2 TONS PER ACRE ON BARE SOILS. MULCH MAY NOT BE REQUIRED IF SEED IS DRILLED INTO EXISTING VEGETATION OR FLAT GROUND NOT SUBJECT TO EROSION.

JUNE 30 - SEPTEMBER 15. INSTALLATION OF NATIVE SEED SHOULD BE SUSPENDED UNLESS IRRIGATION CAN BE PROVIDED. ALSO, ANY ANNUAL FORBS PLANTED WITH MIXTURE DURING THIS TIME PERIOD MAY GERMINATE BUT NOT HAVE SUFFICIENT TIME TO FLOWER BEFORE FALL SENESCENCE. SEPTEMBER 15 - OCTOBER 31. SEEDING ON GRADED, BARE SOIL SURFACES MUST BE

PROTECTED WITH APPROPRIATE EROSION CONTROL BLANKETS ON SLOPES STEEPER THAN 3:1 AND WITH BLOWN AND CRIMPED STRAW AT 1-1/2 TONS PER ACRE ON LESSER SLOPES. SEED DRILLED ON FLAT GROUND NOT SUBJECT TO EROSION OR INTO EXISTING VEGETATION MAY NOT REQUIRE EROSION PROTECTION PROVIDE NATIVE SEED MIX FROM SOURCES WITHIN THE SAME EPA LEVEL III ECOREGION AS THE

PROJECT SITE. IF THE DESIRED SPECIES ARE NOT AVAILABLE FROM THE SAME ECOREGION. SEEK MATERIALS FROM AN ADJACENT REGION: PREFERABLY FROM THE WEST OR EAST SEED AMOUNTS SHOULD BE SPECIFIED AS PLS (PURE LIVE SEED). ACTUAL AMOUNTS USED ON THE PROJECT WILL VARY WITH THE ACTUAL PERCENT OF PLS OF THE SEEDLOT. SEED SUPPLIED TO THE SISTE SHOULD BE TAGGED WITH SEED SPECIES, WEIGHTS, DOCUMENTATION OF PLS TESTING AND, IF REQUIRED, ADJUSTMENTS OF THE SEET WEIGHTS TO PROVIDE THE AMOUNT OF PURE LIVE SEED SPECIFIED.

SEED SUBSTITUTIONS SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT WITH INPUT FROM A RESTORATION ECOLOGIST IF NECESSARY. ALL NATIVE SEED MIXES SHOULD BE APPLIED WITH 10 LBS/Ac OF ANNUAL RYE AND 30 LBS/Ac SEED OATS AS A COVER CROP. PERENNIAL RYE OR WHEAT IS NOT TO BE USED AS A COVER CROP.

SEEDED AREAS SHOULD RECEIVE THE EQUIVALENT OF ONE (1) INCH OF WATER PER WEEK IF PLANTED BETWEEN MARCH TO JUNE IN THE MIDWEST, MOST AREAS NORMALLY RECEIVE ADEQUATE RAINFALL DURING THIS PERIOD AND DO NOT REQUIRE IRRIGATION. IRRIGATION IS HIGHLY RECOMMENDED IF SEEDING IS PERFORMED DURING JULY OR AUGUST WHEN TEMPERATURES ARE HOTTER AND RAINS MORE INFREQUENT. ALL IRRIGATION SHOULD BE DONE IN SUCH A MANNER AS TO LIMIT RUNOFF AND NOT DISPLACE SEED OR SOIL

PRE-TOPSOIL HERBICIDE APPLICATION - APPLY A BROAD SPECTRUM HERBICIDE TO THE ENTIRE NATIVE SEEDING AREA AT LEAST THREE (3) DAYS PRIOR TO TOPSOIL PLACEMENT. HERBICIDE AND APPLICATION RATES TO BE APPROVED BY THE LANDSCAPE ARCHITECT. POST-TOPSOIL HERBICIDE APPLICATION - APPLY A BROAD SPECTRUM HERBICIDE TO THE ENTIRE NATIVE SEEDING AREA AT LEAST THREE (3) DAYS PRIOR TO INSTALLATION OF NATIVE SEED.

HERBICIDE AND APPLICATION RATES TO BE APPROVED BY THE LANDSCAPE ARCHITECT. BROADCAST SEEDING IS PREFERRED OVER DRILL SEEDING ON GRADED. BARE SOIL SITES. APPL' THE SEED UNIFORMLY OVER THE SURFACE USING A COMBINATION SEEDER / CULTIPACKER UNIT SUCH AS A BRILLION OR TRUAX TRILLION SEEDER. THE TRILLION SEEDER IS PREFERRED AS IT IS DESIGNED TO HANDLE NATIVE SEEDS. A CONE SEEDER OR OTHER SIMILAR BROADCASTING EQUIPMENT MAY BE USED IF THE SEED MIX DOES NOT CONTAIN FLUFFY SEEDS IN AMOUNTS SUFFICIENT TO PREVENT FREE FLOWING DISTRIBUTION WITHOUT PLUGGING. SEEDING EQUIPMENT SHOULD ENSURE COMPLETE COVERAGE OF THE ENTIRE AREA TO BE SEEDED, AND

SEED MUST BE PLACED NO DEEPER THAN ONE QUARTER ($\frac{1}{4}$) INCHES INTO THE SOIL. NO FERTILIZER OR SOIL CONDITIONERS WILL BE REQUIRED OR ALLOWED BLOWN AND CRIMPED STRAW AT A 1-1/2 TONS PER ACRE SHOULD BE APPLIED OVER THE SEEDED AREA ACCORDING TO SEASONAL CONSIDERATIONS. CONTRACTOR TO PROVIDE CONTINUING MAINTENANCE FOR UP TO THREE (3) YEARS AFTER FINAL ACCEPTANCE FOR NATIVE SEEDING ONGOING MAINTENANCE TO INCLUDE

- REGULAR SITE INSPECTION AND MONITORING A MINIMUM OF THREE (3) TIMES A YEAR DURING THE MAINTENANCE PERIOD. IN ADDITION, FOR THE FIRST YEAR FOLLOWING CONSTRUCTION. EDED AREAS MUST BE INSPECTED AFTER STORM EVENTS THAT EXCEED ONE HALF (ℓ_2) INCH OF RAINFALL AND REPAIRED ACCORDINGLY - MOWING A MINIMUM OF TWO (2) TIMES A YEAR DURING THE FIRST GROWING SEASON AND

ONE (1) TIME THE SECOND SEASON TO KEEP WEED COMPETITION AND FAST GROWING ANNUALS FROM RESEEDING. DEPENDING UPON THE HEIGHT AND GROWTH RATE OF VEGETATION, ADDITIONAL MOWING MY BE REQUIRED. MOWING HEIGHT SHALL BE BETWEEN HEIGHT (8) AND TEN (10) INCHES - SELECTIVE HERBICIDE APPLICATION BY TREATING INFESTATION OF INVASIVE SPECIES WITH

BROADLEAF SPECIFIC HERBICIDE CONTROL IF HAND WEEDING IS IMPRACTICAL. FURNISH AND G. REFERENCED STANDARDS: AMERICAN SOCIETY FOR TESTING AND MATERIALS, ANNUAL BOOK OF INSTALL WEED CHEMICAL CONTROL AS RECOMMENDED BY THE MANUFACTURER. HERBICIDE CONTROLS, INCLUDING RENOVATION BEFORE SEEDING OPERATIONS, SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.

- REPAIR, RE-WORK, OR RESEED RESPECTIVE AREAS THAT HAVE WASHED OUT, ARE ERODED, OR DID NOT CATCH. - SUPPLEMENTAL PLANTING - IN PERIODS OF DROUGHT, APPLY ONE (1) INCH OF WATER UNTIL ALL NATIVE SEEDED AREAS

MEET THE PERFORMANCE STANDARDS - PROVIDE AND MAINTAIN EROSION CONTROL MEASURES TO SLOW WATER, IMPEDE SOIL & SEED LOSS AS REQUIRED BY THE LOCAL JURISDICTION. SEE CIVIL DETAILS.

TURFGRASS SOD SHALL BE OF GOOD QUALITY, FREE OF WEEDS, DISEASE AND INSECTS AND OF GOOD COLOR AND DENSITY INDIVIDUAL PIECES OF TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL

BE 5 PERCENT STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY FROM A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.

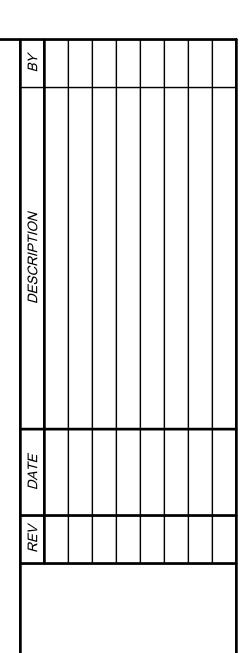
LANDSCAPE CONTRACTOR SHALL SOD ALL SPECIFIED AREAS. THE FINAL GRADE AND TOPSOIL WITHIN +/- .10 FEET WILL BE IN PLACE FOR SOD CONTRACTOR. TILL AREA TO BE SODDED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR ARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING. AFTER ALL GRADING HAS BEEN COMPLETED, THE SOIL SHALL BE IRRIGATED WITHIN 12-24 H

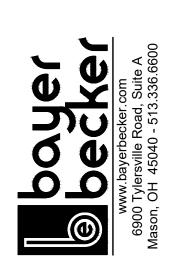
HOURS PRIOR TO LAYING THE TURFGRASS SOD. TURFGRASS SOD SHOULD NOT BE LAID ON SOIL THAT IS DRY AND POWDERY THE FIRST ROW OF TURFGRASS SOD SHALL BE LAID IN A STRAIGHT LINE, WITH SUBSEQUENT R ROWS PLACED PARALLEL TO, AND TIGHTLY AGAINST, EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. CARE SHALL BE EXERCISED TO INSURE THAT THE TURF IS NOT STRETCHED OR OVERLAPPED, AND ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE AIR-DRYING OF THE

PERIOD OF 1 YEAR AND WILL INCLUDE START-UP, WINTERIZATION, AND SECOND SEASON START-UP. H. ON SLOPING ARE WHERE EROSION MAY BE A PROBLEM, TURFGRASS SOD SHALL BE LAID WITH STAGGERED JOINTS AND SECURED BY PEGGING THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING TURFGRASS SOD MMEDIATELY DURING AND AFTER INSTALLATION TO PREVENT DRYING. IT SHALL THEN BE

THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW TURFGRASS SOD PAD AND SOIL IMMEDIATELY BELOW THE TURFGRASS SOD ARE THOROUGHLY WET (USUALLY 1 INCH OF WATER IS NEEDED). THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ADEQUATE WATER AVAILABLE AT THE SITE PRIOR TO AND DURING INSTALLATION OF THE TURFGRASS SOD.

LANDSCAPE CONTRACTOR IS TO SET GRADE TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND TO DETENTION BASINS. UNLESS OTHERWISE SPECIFIED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ACCEPTED SODDED TURFGRASS AREAS UNTIL THE EFFECTIVE DATE FOR TURF MAINTENANCE OPERATIONS BEGINS. THE EFFECTIVE DATE SHALL BE SPECIFIED IN WRITTEN NOTICE FROM THE GENERAL CONTRACTOR.







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