

# PLANNING COMMISSION AGENDA-REVISED



**Planning Commission Meeting  
6:00 PM Thursday, September 10, 2020**

**South Lebanon Municipal Building  
10 N. High Street  
South Lebanon, Ohio 45065**

	Agenda Item
1.	<b>Call to Order</b>
2.	<b>Pledge of Allegiance</b>
3.	<b>Roll Call</b>
4.	<b>Open Forum</b>
5.	<b>Review and Approval of Minutes</b> A. Minutes of June 3, 2020
6.	<b>Public Hearing – None</b>
7.	<b>Old Business</b> A. None
8.	<b>New Business</b> A. Case -20-17P: Application for Site Plan-for Chipotle Restaurant at 674 Corwin Nixon Boulevard
9.	<b>Communications</b>
10.	<b>Adjournment</b>
Members of the public may address the Planning Commission during the Open Forum segment of the agenda and shall be limited to five minutes each. After the speaker concludes remarks, the Planning Commission may comment or ask questions at that time. The Chairperson may at his or her discretion restrict duplicate testimony on a particular subject.	



Village of South Lebanon  
10 N. High St. South Lebanon, Ohio 45065  
Ph:(513)494-2296 Fax:(513)494-1656

[www.southlebanonohio.org](http://www.southlebanonohio.org)

**Planning Commission Meeting  
MEETING MINUTES  
Wednesday, June 3, 2020**

**Members Present:**

Darrick Zucco  
Jim Smith  
Bill Madison

**Members Absent:**

Tom Hunsche

**Staff:**

Jerry Haddix,  
**Administrator**  
Brianna Koutny,  
**Clerk**

1. Call to order at 6:00p.m.
2. Roll Call
3. Pledge of Allegiance
4. Open Forum : None
5. - Review and Approval of Minutes from May 19<sup>th</sup>, 2020. A motion to approve was made by Jim Smith, and seconded by Bill Madison. A vote was taken. All YEAS.
6. Public Hearing : Preliminary Development Plan (PDP) for Redwood USA, LLC, Mason-Morrow-Millgrove Road submitted by Redwood USA, LLC –
  - Jerry Haddix presented an overview of the zoning process as well as an overview of the Project. Mr. Haddix state that this case has two (2) items: 1) They are requesting a rezoning from I-1 (Light Industrial District) to R-3 (Single & Multi-Family Residential District). The Planning Commission is required to make a recommendation to the Village Council on the rezoning. The Planning Commission is required to conduct a public hearing for the preliminary development plan (PDP) and a recommendation to the Village Council. This is part of the old Cincinnati Milacron property. Part of the property has been developed as the Riverside community. This development contains 110 rental units with 3 to 6 units per building. Choice One Engineering, the Village Planning Consultant and the Union Township Fire Department have responded.
  - Kim Lapensee, Village Planning Consultant, presented the staff report for the development. Lapensee states that Redwood USA has submitted a Preliminary PUD Plan for a property that

is located on the south side of Mason Morrow Millgrove Road, South Lebanon, Ohio. She states there is one tract that is 41.031 acres in size. Lapensee explains the PUD proposes 23 new one-story buildings and will contain 110 new dwelling units consisting of 2-bedroom, 2-bath w/ attached garage apartments, that range in sizes from 1,300 sf to 1,500 sf. There are 26.3 acres of open space (64%). She states the overall density of the project is 2.68 units per acre. Lapensee states the parcel number is 12011510131 and is located in the Kings School District. She explains the property fronts on Mason Morrow Millgrove Road and is currently vacant. She explains the parcel is located next to the Turtle Creek to the east, vacant land and sewage treatment plant to the west, mineral extraction & processing to the north and a subdivision to the south. There is an existing access point via Sutton Drive and an additional access proposed along Mason-Morrow-Millgrove Road. Lapensee explains the parcel is currently zoned I-1 Light Industrial District. She states the owner is seeking to rezone the property to R-3 Single and Multiple Family Residential District with a PUD Overlay which allows for the following principal permitted uses: 1) Single-Family Dwellings; 2) Two-Family Dwellings; and 3) Multi-Family Dwellings.

Lapensee explains the existing requirements for R-3 District have a max height – 35'-0"; and the proposed height of buildings in the PUD is 16'-0" tall. She explains that the front yard requirement in an R-3 District is 25'-0"; and the proposal exceeds the front yard setback minimum. She states the side yard requirement is 6'-0" and 10'-0"; and the proposal exceeds the side yard setback minimum. She states the rear yard requirement is 30'-0"; and the proposal exceeds the rear yard setback minimum. She states the minimum lot size for an R-3 District is 2,000 sf per unit; and the proposal exceeds the minimum lot size requirements per unit. She says the frontage requirement is 60'-0"; and the proposal exceeds the minimum frontage requirement – 1,622'-0". She says the minimum living area requirement is 700 sf.; and the proposal exceeds the minimum living area requirement. Sizes range from 1,300 to 1,500. She states that the maximum lot coverage requirement is 40%, and the proposed coverage is 36%. Lapensee explains that all parking lots with five or more parking spaces that face any zone or any public or private street, right-of-way, access road or service road shall provide landscape screen as follows:

- Buffer width shall be a minimum of 10'-0" wide.
- Continuous screen provided 30" high consisting of an earth mound, planting, hedge or decorative wall or any combination thereof.
- One deciduous tree shall be required for every 30 lineal feet of the required buffer zone – Screen areas where parking abuts the property lines.
- The property is adjacent to an industrial zoning and will require a 30'-0" buffer that is 6'-0" tall and 1 tree per 20 lineal feet shall be planted of which 50% must be evergreens to buffer the difference in uses.
- Screening shall be provided along Mason Morrow Millgrove Road a minimum of 40'-0" wide, 6'-0" tall and 1 tree for every 20 lineal feet.

Lapensee states that there is a roughly 700 l.f. to the west and 400 l.f. to the east that requires a screen. 35 trees will be required to the west and 20 trees to the east.

Screening shall be provided along Mason-Morrow-Millgrove Road a minimum of 40' wide, 6' tall and 1 tree for every 20 lineal feet. There is 1,622 l.f. along Mason-Morrow-Millgrove Road-  $1,622/20=82$  trees. 83 trees have been provided.

Two (2) trees are required per dwelling unit. At 110 units, 220 trees would be required for this development.

2 parking spaces are required for each unit (220 required). There are 475 parking spaces shown on the plan – 220 garage parking, 220 driveway parking and 35 guest spaces.

Lapensee discussed the sign requirements per her staff report.

No trash dumpsters shown so she assumed trash removal will be up to the occupant.

No recreational areas shown.

All buildings and uses must meet FEMA & Village's floodplain requirements.

The 2025 Comprehensive Plan recommends that this parcel be used for Office/Business Park, Commercial Center or residential. A downtown connector is recommended along MMM Road to connect the Lebanon Bike trail to downtown South Lebanon.

Greg Thurman from Redwood USA LLC gave a slideshow overview of the project.

Their communities are designed primarily for empty nesters.

They have 98% lease percentage.

Nearest Redwood community is in Lebanon on Franklin Road.

There are 4 parking spaces per unit. Streets within the community would be private. There is no on-street parking permitted.

Thurman states that he feels the buffer on the Turtle Creek side in addition to the required trees is redundant. He is asking for relief from the 700 l.f. buffer. On the west, he proposed to go to the back of Building 2 instead of tearing out existing trees to replant new trees.

Thurman reviewed exterior & interior architecture and features.

Thurman is proposing a gateway community without mounds and barriers. Units along MMM Road would have entrances facing MMM Road for two (2) reasons:

1. They need every bucket of on-site dirt to build up the site;
2. Proposing rear entry units with front porches facing MMM Road.

Thurman requested an exception to the 6' mounding requirement.

Thurman is ok with eliminating secondary entrance but would like to use it as a construction entrance to be abandoned after construction.



In lieu of reducing trees planted on east & west, Thurman would be willing to increase tree density along MMM Road.

Chairman Zucco opened the floor to the public.

Noah Gibbs at 1204 Trovillo Drive expressed concern re: impact to the Kings Local School District. Also, with the older population, will this have an impact of the EMS services. He is against the elimination of the 2<sup>nd</sup> entrance to the development. This will create backups on Sutton Drive. He would be ok with a right-in, right-out entrance.

Chairman Zucco state that the Fire Department had concerns re: the secondary entrance, Choice One Engineering recommended the right in, right out alternative.

Thurman stated that Redwood does a school analysis for their properties. They range from 5 children per 100 units to 15 children per 100 units. Their communities are not designed for families. He is fine with the right in, right out entrance.

Chairman Zucco asked if there has been any feedback from Kings Schools. Haddix said no and that they were not required to be notified.

Kaitlyn Miller, 4542 Kelly Court, asked if a stop light can be put at MMM Road and Sutton Drive due to the number of kids turning left to go to school. She asked if there are any additional safety measures because it is a rental community. She also asked if the detention pond would be treated for mosquitoes.

Thurman said that the ponds are aerated & treated regularly. In response to emergency runs, they have communities that have not had any EMS runs in a year. He reiterated the safety of their communities.

Chairman Zucco asked if there has been any feedback on a traffic light. Haddix said no.

Don Feathers at 1215 O'Bannon Creek is one of the owners of the property. He gave a history of their ownership of the property. The ownership chose Redwood USA LLC for the lower part of the property due to its compatibility with the surrounding development.

Chairman Zucco mentioned 2 emails submitted re: the development:

1. Evan Dempster, 4597 Kelly Ct., opposed the development based on the effect it would have on property values & added traffic; and
2. Aaron Hancart, 986 Brant Place, opposed the development due to road & infrastructure not meant to handle increased capacity.

Chairman Zucco asks for a motion to close the public hearing. A motion to close was made by Jim Smith and seconded by Darrick Zucco. A vote was taken, all YEAS.

7. New Business :

- a) Case 20-13P: Review of rezoning of Mason-Morrow-Millgrove Road property from I-1 (Light Industrial District) to R-3 PUD (Single & Multi-Family Residential District) submitted by Redwood USA LLC – A motion to approve was made by Bill Madison and seconded by Jim Smith. A vote was taken, all YEAS.
- b) Case 20-14P: Review of Preliminary Development Plan (PDP) for Redwood USA LLC, Mason-Morrow-Millgrove Road submitted by Redwood USA LLC – Administrator, Jerry Haddix recommends approval with the following conditions: 1) proposed secondary entrance on Mason-Morrow-Millgrove Road to be a right-in & right-out only entrance and a temporary construction entrance; 2) all streets within the development will be privately maintained; 3) meet FEMA and Village Floodplain Requirements.

A discussion took place re: the required mounding along Mason-Morrow-Millgrove Road. After the discussion, the final condition proposed to be 100 trees on the frontage of Mason-Morrow-Millgrove Road

Chairman Zucco asks for a motion to approve the Redwood USA LLC preliminary development plan with the following conditions: 1) right-in & right-out only for secondary entrance; 2) privately maintained streets; 3) meet FEMA & Village floodplain requirements; buffering 100 evergreen trees along Mason-Morrow-Millgrove Road without additional mounding. A motion to approve was made by Bill Madison and seconded by Darrick Zucco. A vote was taken, all YEAS.

8. Communications: None

- 9. Adjournment: A motion to adjourn was made by Bill Madison and seconded by Jim Smith. A vote was taken, all YEAS.

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Darrick Zucco – Chairman

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Brianna Koutny - Clerk

## **VILLAGE OF SOUTH LEBANON MEMORANDUM**

**TO:** Planning Commission  
**FROM:** Jerry Haddix, Village Administrator  
**RE:** Case 20-17P, Site Plan Review for Chipotle  
**DATE:** September 8, 2020

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On the agenda for the September 10<sup>th</sup> meeting is an application for approval of the site plan, landscape design and signage for the Chipotle restaurant to be located at 674 Corwin Nixon Boulevard on 0.7877 acres on Lot 26 of the Rivers Crossing I-D Subdivision (the “Project”) submitted by Blaze Properties Rivers Crossing, LLC (the “Applicant”) on behalf of Chipotle.

### **Background**

The Project that is the subject of the application is located on 0.7877 acres along the east side of State Route 48. The property is owned by Rivers Crossing Power LLC. The present zoning classification is B-2 General Business District. The proposed Project consists of a 2,325 s.f. restaurant with a pick-up with access provided by a private access easement from Corwin Nixon Boulevard.

The site plan has been distributed to various agencies and, to date, we have received comments from Kim Lapensee, our Planning Consultant, and the Choice One Engineering. The Union Township Fire Dept. has not submitted comments on the site plan yet.

### **Zoning Code Analysis**

Upon review of the plans, it has been determined that the drawings generally satisfy the Zoning Regulations and Design Guidelines and Standards with the exceptions listed in the attached letter and accompanying site plan approval checklist.

### **Zoning Process**

Pursuant to Article 18 of the Village Zoning Regulations, the development of any new use or construction of any new structures shall require site plan approval prior to construction and/or occupancy. At the first regular meeting at which a site plan proposal is considered, the Commission shall first determine whether to accept the plan for processing. If accepted for processing, the Commission shall review the site plan in relation to applicable standards and regulations, and in relation to the intent and purpose of the Village Zoning Regulations and Design Guidelines and Standards. The Commission shall consider the comments and recommendations from the Village Administrator, the Village Engineer, public safety officials and other reviewing agencies.

If the Commission determines that revisions are necessary to bring the site plan into compliance with applicable standards and regulations, the applicant shall be given the opportunity to submit a revised

site plan. The Commission shall review the revised site plan and application materials within 30 days after the Village received a complete revised site plan application.

The Commission shall make a determination on a site plan based on the requirements and standards in the Zoning Regulations and Design Guidelines and Standards. The Commission is authorized to grant approval, grant approval subject to conditions, or reject a site plan. If the Commission chooses to grant approval subject to conditions, the Commission may waive its right to review the revised plan, and instead authorize the Zoning Administrator, or his designee, to review and recommend approval of the resubmitted plans if all required conditions have been addressed.

If construction is not started within 18 months of final approval of the site plan, the site plan approval becomes null and void and a new application for site plan review shall be required.

### **Recommendation**

Staff recommends that the Planning Commission grant its approval of the site plan, landscape plan and signage for Chipotle with the following conditions:

Prior to issuance of a zoning permit, the applicant must resubmit the site plan and provide the following information to the Zoning Administrator:

1. Addressing the comments of the Village Engineer, Planning Consultant and Union Township Fire Department to the satisfaction of the Village Administrator;

### **Attachments**

Planning Commission Application

Site Plan and Landscape Plan

Plan Review – Kim Lapensee

Choice One Engineering Review Letter


## VILLAGE OF SOUTH LEBANON PLANNING COMMISSION APPLICATION

### 1. Application Type: (check the appropriate box) (all plans must be folded when submitted)

<input type="checkbox"/> Draft Plan-Discussion Only	<input type="checkbox"/> Preliminary PUD
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Final PUD
<input checked="" type="checkbox"/> Landscape Plan	<input type="checkbox"/> Rezoning
<input checked="" type="checkbox"/> Construction Drawings. (Please complete Fee Schedule form on Page 2)	<input type="checkbox"/> Lot Split
<input type="checkbox"/> Preliminary Plat (Please complete Fee Schedule form on Page 2)	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Final Plat or Replat	<input type="checkbox"/> Special Meeting
<input type="checkbox"/> Right-of-Way Dedication Plat	<input type="checkbox"/> Other:

(See Page 3 for complete Fee Schedule and Submittal Requirement Information)

### 2. Development Information:

<b>Development/Business Name:</b> Chipotle Mexican Grill			
<b>Type of Business/Project Description:</b> Quick Casual Restaurant with Pick up window.			
<b>Location:</b> 674 Corwin Nixon Blvd.		<b>Size of Building:</b> 2325 sf	
<b>Current Zoning:</b> B-2		<b>Rezone to:</b> N/A	
<b>Total Acreage:</b> 0.7877 acres		<b>Acres to be Rezoned:</b> N/A	
<b>Number of Employees:</b>		<b>Number of Fleet Vehicles:</b> N/A	
<b>Current Owner of the Property</b>		<b>Project Contact (Architect, Engineer, Planner)</b>	
Name: Rivers Crossing Power, LLC		Name: Evans Engineering	
Address:		Address: 4240 Airport Rd. Suite 211	
City:	State:	Zip:	
City: Cincinnati	State: OH	Zip: 45226	
Telephone:	Fax:	Telephone: 513-321-2168	Fax: N/A
<b>Applicant(s):</b> Blaze Properties Rivers Crossing, LLC			
<b>Address:</b> P.O. Box 43370			
City:	State:	Zip:	
City: Cincinnati	State: Ohio	Zip: 45243	
Telephone: 513-505-9786	Fax:		
<b>Please Print Applicant's Name Here:</b> Ben Hall			
<b>* Applicant's Signature:</b> 			
<small>* Applicant is responsible for payment of all fees (See Fee Schedule and Footnotes on Pages 3 and 4 respectively.)</small>			

### TO BE COMPLETED BY THE VILLAGE OF SOUTH LEBANON

<b>Application Number:</b> _____	<b>Date of Planning Commission Meeting:</b> _____
<b>Fee Paid:</b> _____	<b>Drawn:</b> _____
<b>Check #:</b> _____	<b>Date:</b> _____
<b>Initial:</b> _____	
<b>Legal Notices Advertised:</b> _____	<b>Mailed to Surrounding Property Owners:</b> _____

### 3. Rezoning and Preliminary PUD Plan Requests

**Surrounding Property Owners:** Please list the names and addresses of all **Owners of Real Property** within 300 feet of any part of the property as such names and addresses appear on the most recent tax duplicate on 2 sets of mailing labels. (See submittal requirements on page 3). N/A

### 4. Signatures Required

*By signing this application, I attest under penalty of law that all the information given above is correct to the best of my knowledge.*

Please **Print** Applicant's Name: Ben Hall

Applicant's Signature:  Date: 8/22/20

Property Owner's Signature: Michelle Kiernan Date: 8/24/20

### 5. Fee Determination for Construction Drawings and Preliminary Plat Submittals

Please create a detailed breakdown of the estimated infrastructure breakdown cost for the project and attach it to this application. For Construction Drawings complete Item 1 and for Preliminary Plats complete Item 2.

Total Infrastructure Cost \$ 152,465 (A)

#### 1 – Construction Drawing Fee Breakdown

1.25% of Total Infrastructure Cost\* (Line A x 0.0125) \$ 1,905.81 (B)

1.50% of Total Infrastructure Cost\*\* (Line A x 0.015) + \$ 2,286.98 (C)

Application Fee + \$ 150.00 (D)

**Total Construction Drawing Fee (Line B + C + D)** \$ 4,192.79 (E)

#### 2 – Preliminary Plat Fee Breakdown:

0.25% of Total Infrastructure Cost\* (Line A x 0.0025) \$ N/A (F)

Application Fee + \$ 150.00 (G)

**Total Preliminary Plat Fee (Line F + G)** \$ \_\_\_\_\_ (H)

**Total Paid with Application/Submittals (Line E+H)** \$ 4,192.79

\* Due upon submittal

\*\* Due prior to construction



## 6. Fee Schedule and Submittal Requirements

Article/Ord. Reference	Item	Fees <sup>(3)(4)</sup>	Submittal Requirements
Article 20	Preliminary Plats	\$150 + 0.25% of estimated infrastructure construction costs <sup>(1)</sup>	12 Copies <sup>(5)</sup> + 1 Copy (Ledger Paper)
Article 14	Final PUDs		
Article 20	Construction Drawings	\$150 + 2.75% of estimated infrastructure construction costs <sup>(1)</sup> (Include estimate with application) (1.25% due at time of submittal and 1.5% due before construction begins) <sup>(2)</sup>	4 Copies <sup>(5)</sup> 2 Drainage Calculations 2 Detailed Spreadsheet of the Estimated Infrastructure Costs
Article 20	Final / Dedication Plats	\$350	10 Copies <sup>(5)</sup> + 1 Copy (Ledger Paper)
Article 20	Lot Split / Minor Subdivision / Replats	\$75 per lot	3 Survey Plats <sup>(5)</sup> & Legal Descriptions 1 New Deed + 1 Original Deed
Article 18	Site Plans	\$400 + \$5 per unit Multi-family \$400 + \$20 per acre Commercial/ Office/Industrial/Institutional	12 Copies <sup>(5)</sup> + 1 Copy (Ledger Paper)
Article 17	Landscape Plans	\$150 + \$10 per acre	12 Copies <sup>(5)</sup> + 1 Copy (Ledger Paper)
Article 7	Zoning District Map Change Zoning Text Change	\$400 + \$10 per acre	20 Copies <sup>(5)</sup> + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 2 Sets of Mailing Labels
Article 5	Variances / Appeals	\$400	8 Copies + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 1 Set of Mailing Labels
Article 14	Preliminary PUD Plans	\$2,500 + \$20 per acre	12 Copies <sup>(5)</sup> + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 2 Sets of Mailing Labels
Article 14	Final PUD Plans	Site Plan Review Fees Apply	Site Plan Review Submittal Requirements Apply
Article 6	Conditional Use / Similar Use	\$250 + applicable site plan fee	15 Copies + 1 Copy Ledger Paper <sup>(5)</sup>
Article 3	Zoning Permit	\$250 + \$0.03 per square foot of building area (Village water tap and inspection fee required if utilizing Village Water [proof of payment of County tap fee if utilizing County Water]; Village sewer tap and inspection fee also required)	5 Copies
Article 3	Temporary Use Permit	\$50	5 Copies
Article 3	Certificate of Occupancy	\$50	3 Copies
Ord. No: 2008-14; Permit App.	Flood Hazard Area Development Permit	\$50	3 Copies of Permit Application w/ applicable submittal requirements (stated on Page 2 of 2 of Permit Application + Engineering "No Rise" Certification (if applicable))
	Special Meeting	\$500 + Application Fee, if any <sup>(6)</sup>	Depends Upon Type of Application or Meeting Requested

#### FOOTNOTES TO FEE SCHEDULE

- (1) Infrastructure construction costs include all infrastructure costs associated with a development including, but not limited to, drainage facilities, sanitary sewers, waterlines, grading, excavation, and street improvements.
- (2) Any inspection conducted outside the normal eight-hour workday of Monday through Friday, excluding holidays, 8:00 a.m. until 4:30 p.m., shall be charged at one and a half (1.5) times the standard rate. The Village reserves the right to charge fees in addition to the fees specified in the table above if, due to the applicant's responsibility, excessive review and/or field inspections are necessary, and as determined by the Village Engineer. Such fees for review and field inspection by Village staff shall be charged at the standard rate of forty dollars (\$40) per hour, plus a three-fourths (.75) hour charge for travel time. Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. Performance and maintenance bonds will not be released until payment of all fees is received.
- (3) Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. The applicant shall pay the difference when consultant fees charged to the Village are in excess of the established Fee Schedule base amounts. Final approvals will be held until all fees charged by consultants are paid-in-full by the applicant.
- (4) The fee for review of a revised application shall be sixty (60) percent of the fee specified for the initial or first review of such application.
- (5) All plans must be folded to fit a legal sized file folder with the title showing in the lower right-hand corner.
- (6) Special meetings that require one or more of the Village's consultants to attend shall require payment of the special meeting fee before the meeting is scheduled. Examples of special meetings include staff meetings and non-scheduled Planning Commission meetings requested by an applicant and/or developer.

1. Complete applications submitted by the deadlines posted above will be processed and placed on the next regularly scheduled Planning Commission meeting.
2. Incomplete applications or applications that do not comply with the minimum Village Zoning Ordinance and/or Subdivision Regulations or applications that are not submitted by the above posted deadlines will not be placed on the next regularly scheduled Planning Commission meeting agenda.
3. The applicant will be notified if his or her application is not accepted for processing. The Village Administrator and/or Zoning Administrator will discuss the reasons why the application was not accepted and the necessary steps required to meet the next meeting deadline.
4. Applicants may request a special Planning Commission meeting. Requests should be made with the Village Administrator at least two weeks in advance of the requested special meeting date. The meeting will be set if approved by the Planning Commission chairperson and if a quorum can be present. A \$500 fee plus applicable application fee must be paid in advance of the meeting (See Fee Schedule and Footnotes to Fee Schedule).
5. Meeting dates are subject to change due to unforeseen scheduling conflicts and holidays. Applicants should call the Village to check meeting dates in advance of the application deadlines.



GENERAL NOTES

1. REFER TO EXTERIOR ELEVATIONS THIS SHEET FOR EXTERIOR SIGNAGE LOCATIONS, SIZES & DESCRIPTIONS.
2. EXTERIOR SIGNAGE PROVIDED BY TSV AND INSTALLED BY TSV. GC TO MAKE FINAL CONNECTION.
3. METAL CANOPY AVAILABLE FROM AMERICAN PRODUCTS, INC. (API), PHONE: (813) 925-0144, E-MAIL: BIDS@AMERICANPROD.COM

Consultant:

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PO BOX 182566  
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INTERNET: WWW.CHIPOTLE.COM

STORE NO.: 3878  
SOUTH LEBANON #2  
STATE ROUTE 48  
SOUTH LEBANON OHIO 45065

Issue Record:  
07/17/20 ANCHOR TENANT REVIEW

Revisions:

Drawn: BP  
Checked: AA

Project No.  
CMG948

Contents:

EXTERIOR ELEVATIONS

A301

CUSTOM BACKLIT B-3  
SIGN COORDINATE  
BLOCKING FOR SIGN  
W/ SIGN VENDOR

NOTE: SIGNAGE IS SHOWN  
ONLY FOR PLACEMENT AND  
SCALE. ALL SIGNAGE FOR  
REVIEW UNDER SEPARATE  
PERMIT, NOT PART OF THIS  
PERMIT SET.

PREFINISHED METAL  
CANOPY TO COLOR  
MATCH STOREFRONT

PREFINISHED BRAKE  
METAL TO COLOR  
MATCH STOREFRONT

FINISHED FLOOR  
100' - 0"

EXT ELEV - EAST  
1/4" = 1'-0"

1  
A401

BRAKE METAL SEAM  
LOCATION, TYP.

2  
A401

3  
A401

EIFS CONTROL  
JOINT, TYP.

4  
A401

PREFINISHED METAL COPING  
TO MATCH ADJACENT EIFS

EIFS SYSTEM, COLOR  
MATCH TO PPG 'FOG'

EIFS SYSTEM, COLOR  
MATCH TO PPG  
'KNIGHTS ARMOR'

CONCRETE CURB, REFER TO  
STRUCTURAL DRAWINGS

CHARCOAL ALUMINUM  
STOREFRONT SYSTEM, TYP.

PREFINISHED "RUSTIC  
TEXTURE" ARCH-FAB  
METAL PANELS

PREFINISHED CHARCOAL  
BRAKE METAL

PREFINISHED METAL  
COPING, TO COLOR  
MATCH METAL PANELS

T.O. TOWER PARAPET  
120' - 8"

PREFINISHED METAL  
COPING TO MATCH  
ADJACENT EIFS

EIFS SYSTEM, COLOR  
MATCH TO PPG 'FOG'

BRAKE METAL SEAM  
LOCATION, TYP.

METAL PANELS  
BEYOND

CHARCOAL ALUMINUM  
STOREFRONT SYSTEM, TYP.

FINISHED FLOOR  
100' - 0"

EXT ELEV - SOUTH  
1/4" = 1'-0"

2  
A402

EIFS CONTROL  
JOINT

1  
A402

CUSTOM BACKLIT B-3  
SIGN COORDINATE  
BLOCKING FOR SIGN  
W/ SIGN VENDOR

NOTE: SIGNAGE IS SHOWN  
ONLY FOR PLACEMENT AND  
SCALE. ALL SIGNAGE FOR  
REVIEW UNDER SEPARATE  
PERMIT, NOT PART OF THIS  
PERMIT SET.

PREFINISHED METAL CANOPY  
TO COLOR MATCH STOREFRONT

6" VINYL ADDRESS LETTERS,  
LOCATION AND COLOR TO BE  
SPECIFIED BY THE FIRE MARSHAL

PREFINISHED BRAKE  
METAL FINISH TO  
MATCH STOREFRONT

CHARCOAL ALUMINUM  
STOREFRONT ENTRY DOORS,  
WOOD HANDLES BY TENANT  
MILLWORK SUPPLIER

PREFINISHED METAL  
COPING TO MATCH  
ADJACENT EIFS

EIFS SYSTEM, COLOR  
MATCH TO PPG 'FOG'

FROSTED GLAZING

EIFS SYSTEM, COLOR  
MATCH TO PPG  
'KNIGHTS ARMOR'

HOLLOW METAL SERVICE  
DOOR FRAME WITH TRANSOM.  
PAINT DOOR AND DOOR  
FRAME 'KNIGHT'S ARMOR'

EXT ELEV - NORTH  
1/4" = 1'-0"

1  
A402

4  
A405

2  
A402

PREFINISHED METAL COPING  
TO MATCH ADJACENT EIFS

EXTERIOR ROOF  
LADDER WITH LOCKING  
GATE PAINTED  
'KNIGHTS ARMOR'

SECURITY CAMERA,  
SEE A201

PAINT ANY ALLOWABLE  
UTILITY BOXES AND LINES  
'KNIGHT'S ARMOR' TO  
MATCH EIFS

FINISHED FLOOR  
100' - 0"

REMOTE CO2 FILLER, MOUNT  
BETWEEN 36" AND 48" ABOVE  
GRADE VERIFY LOCATION  
WITH CHIPOTLE CM

DOOR BELL

PREFINISHED METAL  
COPING TO MATCH  
ADJACENT EIFS

EIFS SYSTEM, COLOR  
MATCH TO PPG 'FOG'

EIFS SYSTEM, COLOR  
MATCH TO PPG  
'KNIGHTS ARMOR'

OVERFLOW WITH COVER,  
TYP. OF (2), REFER TO  
PLUMBING DRAWINGS

CONCRETE CURB, REFER TO  
STRUCTURAL DRAWINGS

EXT ELEV - WEST  
1/4" = 1'-0"

4  
A401

EIFS CONTROL  
JOINT

3  
A401

2  
A401

CHARCOAL ALUMINUM  
STOREFRONT SYSTEM

PREFINISHED  
METAL COPING TO  
COLOR MATCH  
METAL PANELS

PREFINISHED  
"RUSTIC TEXTURE"  
ARCH-FAB METAL  
PANELS

1  
A401

3  
A405

PREFINISHED METAL CANOPY TO COLOR  
MATCH STOREFRONT, TYP. OF TWO (2),  
FIELD VERIFY DIMENSIONS WITH  
INSTALLED STEEL DIMENSIONS

T.O. TOWER PARAPET  
120' - 8"

SECURITY  
CAMERA, SEE A201

BRAKE METAL SEAM  
LOCATION, TYP.

PREFINISHED BRAKE  
METAL FINISH TO  
MATCH STOREFRONT

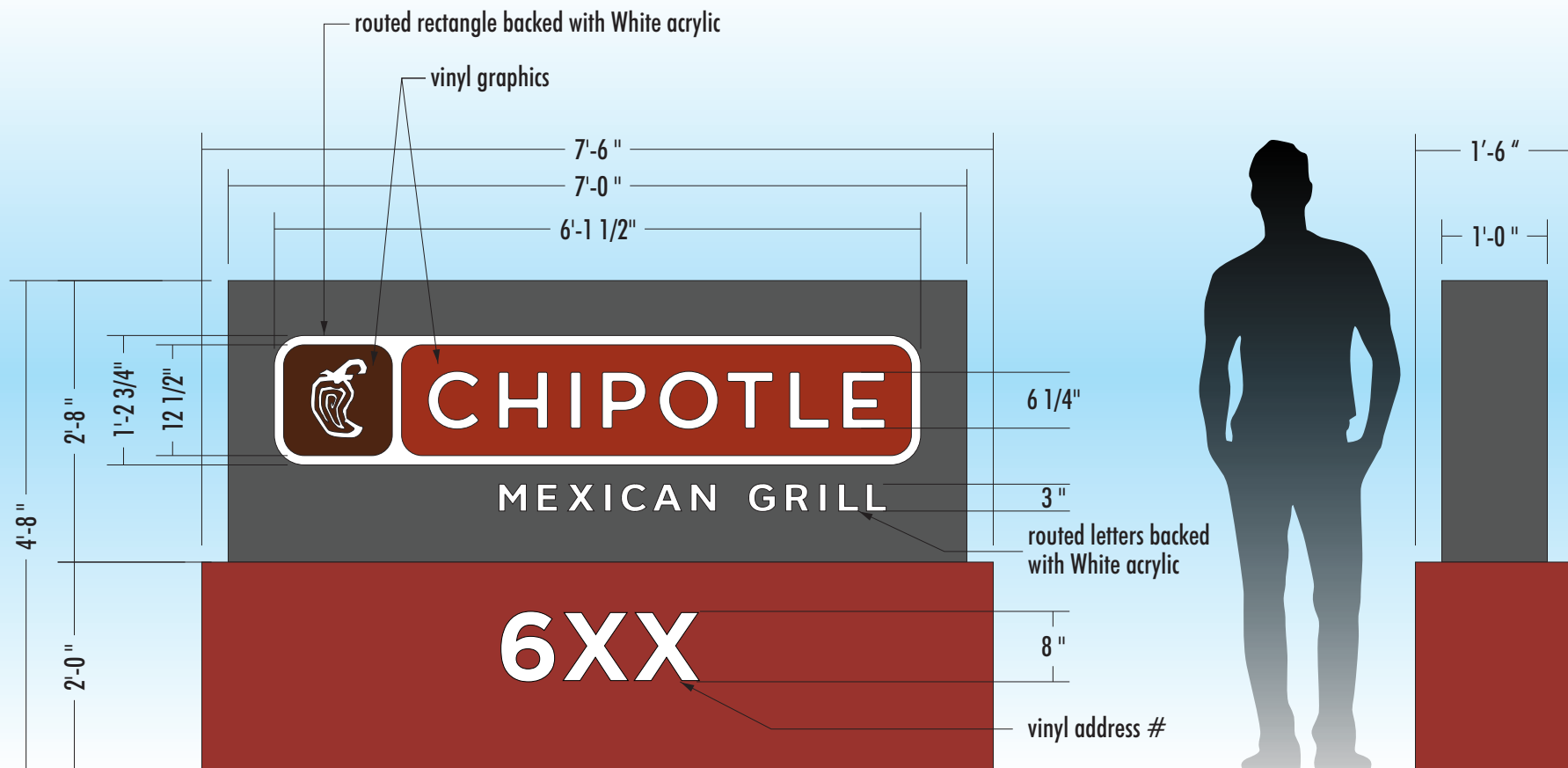
PREFINISHED CHARCOAL  
ALUMINUM STOREFRONT SYSTEM

FINISHED FLOOR  
100' - 0"

DARK BRONZE ALUMINUM PASS-  
THRU WINDOW WITH INTEGRATED  
INTERIOR AIR CURTAIN, REFER TO  
ELECTRICAL DRAWINGS

EIFS SYSTEM BEHIND TUBES, COLOR  
MATCH TO PPG 'AUTUMN RIDGE'

PREFINISHED ALUMINUM  
TUBES, TO COLOR MATCH  
STOREFRONT



Internally LED illuminated double sided aluminum sign cabinet with routed faces backed with White acrylic decorated with translucent vinyl and pole cover with vinyl address number.

PMS 4625 C
  PMS 484 C
  White
  SW 7600 Bolero
  SW 7674 Peppercorn

SALESMAN INITIAL

Client Chipotle

Location South Lebanon, Ohio

Client Approval \_\_\_\_\_

Saved as "Chipotle\_South Lebanon OH Monument Sign"

### Concept Drawing

Total Area	Design No.
67.33 s.f.	1
Circuits	Date
1	7/21/20
Voltage	Drawn by
120v	BKF
Scale	Salesman
5/8"=1'	Larry



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6XX



### Night illumination

Internally LED illuminated double sided aluminum sign cabinet with routed faces backed with White acrylic decorated with translucent vinyl and pole cover with vinyl address number.

PMS 4625 C
  PMS 484 C
  White
  SW 7600 Bolero
  SW 7674 Peppercorn

SALESMAN INITIAL
Client <b>Chipotle</b>
Location <b>South Lebanon, Ohio</b>
Client Approval

Saved as "Chipotle\_South Lebanon OH Monument Sign

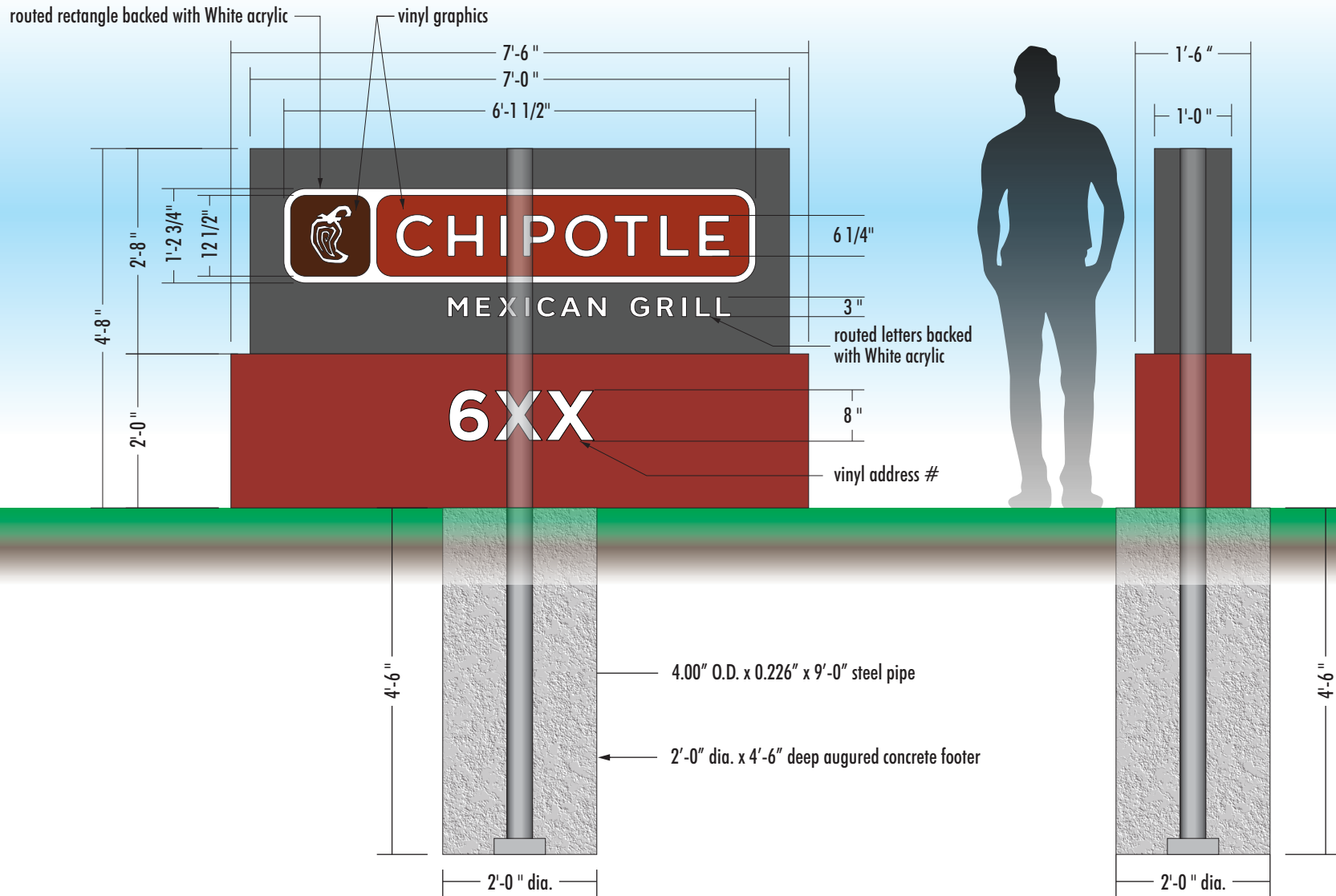
### Concept Drawing

Total Area <b>67.33 s.f.</b>	Design No. <b>1</b>
Circuits <b>1</b>	Date <b>7/21/20</b>
Voltage <b>120v</b>	Drawn by <b>BKF</b>
Scale <b>5/8"=1'</b>	Salesman <b>Larry</b>



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Internally LED illuminated double sided aluminum sign cabinet with routed faces backed with White acrylic decorated with translucent vinyl and pole cover with vinyl address number.

PMS 4625 C
  PMS 484 C
  White
  SW 7600 Bolero
  SW 7674 Peppercorn

SALESMAN INITIAL  
 Client Chipotle  
 Location South Lebanon, Ohio  
 Client Approval \_\_\_\_\_  
 Saved as "Chipotle\_South Lebanon OH Monument Sign

Concept Drawing	
Total Area 67.33 s.f.	Design No. 1
Circuits 1	Date 7/21/20
Voltage 120v	Drawn by BKF
Scale 1/2"=1'	Salesman Larry

UL LISTED  
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THE KESSLER DESIGN GROUP  
 5804 Poe Avenue  
 DAYTON, OHIO 45414  
 937-898-0633



GENERAL NOTES:

THE OHIO DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND MATERIAL SPECIFICATIONS", CURRENT EDITION, AND THE CURRENT "RULES AND REGULATIONS" OF VILLAGE OF SOUTH LEBANON SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN, UNLESS OTHERWISE NOTED.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PER LOCAL, STATE, AND FEDERAL REQUIREMENTS.

WHERE PLANS REFER TO CONTRACTOR, IT MAY MEAN SUBCONTRACTOR AT THE GENERAL CONTRACTOR'S DISCRETION.

ALL WORK IN THE ST RT 48, RIGHT OF WAY, INCLUDING UTILITY CUTS/TAPS WILL NEED A PERMIT FROM ODOT; TO PRIVATE DR. FROM SOUTH LEBANON.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR(S) TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS WORK.

ITEM 201: CLEARING AND GRUBBING: THIS WORK CONSISTS OF CLEARING, GRUBBING, SCALPING, REMOVING TREES AND STUMPS, AND REMOVING ALL VEGETATION AND CONSTRUCTION DEBRIS FROM THE LIMITS SHOWN ON THE PLANS, EXCEPT SUCH OBJECTS THAT ARE TO REMAIN OR ARE TO BE REMOVED ACCORDING TO OTHER ITEMS OF WORK.

USE REMOVED OR EXCAVATED MATERIALS IN THE WORK WHEN THE MATERIAL CONFORMS TO THE SPECIFICATIONS; IF NOT THEN RECYCLE, OR DISPOSE OF THE MATERIAL ACCORDING TO 105.16 AND 105.17.

REMOVE OR SAVE ALL TREES, SHRUBS, AND PLANTS AS DESIGNATED ON THE PLANS. PRESERVE ALL VEGETATION AND OBJECTS NOT DESIGNATED FOR REMOVAL. PAINT CUT OR SCARRED SURFACES OF TREES OR SHRUBS SELECTED FOR RETENTION ACCORDING TO 686.04. IN ORDER TO RETARD AND PREVENT THE SPREAD OF THE EMERALD ASH BORER, LIMIT THE MOVEMENT OF REGULATED ARTICLES ACCORDING TO OHIO ADMINISTRATIVE CODE 901:5-56. OBSERVE REQUIREMENTS FOR HANDLING AND TRANSPORTING OF REGULATED ARTICLES IN QUARANTINED AREAS AS DEFINED BY THE OHIO DEPARTMENT OF AGRICULTURE ([HTTP://WWW.AGRI.OHIO.GOV/EAB/](http://www.agri.ohio.gov/EAB/)).

ALL EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH THE SWPPP PLAN AND LOCAL AND OHIO EPA REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND REPORTING AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION (NPDES) PERMIT. CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE OWNER AND KEEP COPY ON FILE.

THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED THROUGH INFORMATION PROVIDED BY THE VARIOUS UTILITY OWNERS AND BY FIELD SURVEY, BUT ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE THE ACTUAL FIELD LOCATIONS AND ALL EXISTING UTILITIES IMPACTING HIS WORK. THE CONTRACTOR IS DIRECTED TO CONTACT THE OHIO UTILITY PROTECTION, INC. AT 1 (800) 362-2764 AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.

THE LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF OPERATIONS OF THE CONTRACTOR, NOR FOR SAFETY ON THE JOB SITE OR THE CONTRACTOR'S FAILURE TO COMPLETE THE WORK AS SPECIFIED ON THIS PLAN.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SURVEYING AND CONSTRUCTION STAKING REQUIRED FOR SITEWORK IN THIS PACKAGE AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRICT ALL CONSTRUCTION ACTIVITIES TO THE PROJECT SITE AND EXISTING RIGHTS-OF-WAY, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

ACCESS TO ADJOINING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.

ANY STORM PIPES DAMAGED DURING CONSTRUCTION SHALL EITHER BE RESTORED TO ITS ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION AS DIRECTED OR APPROVED BY THE OWNER.

ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS.

ALL MANHOLES, FIRE HYDRANTS AND VALVE BOXES SHALL BE ADJUSTED TO FINAL GRADE AT THE CONTRACTOR'S EXPENSE.

GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCHED IN AREAS OF EXISTING PAVEMENT. FILL IN PROPOSED PAVEMENT OR BUILDING PAD AREAS SHALL BE COMPACTED TO THE PROJECT'S GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND FIELD PERSONELL APPROVAL.

STORM SEWERS AND STRUCTURES:

ALL PROPOSED STORM SEWERS AND STRUCTURES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER. SUPPLY PIPE OF THE REQUIRED SIZE OR ONE SIZE LARGER. PROPOSED STORM SEWERS "PR, STM" SHALL BE PVC-SDR 35/ HIGH DENSITY POLYETHYLENE (HDPE), PER ODOT 707.33/ OR REINFORCED CONCRETE PIPE, PER ODOT ITEM 706.02, CLASS IV. ALL STORM SHALL BE INSTALLED PER ODOT ITEM 611.10, TYPE 'A' (CULVERTS) AND TYPE B (STORM/SANITARY UNDER PAVEMENT).

611.06 BEDDING. TYPE 1 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 6 INCHES (150 MM) BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. COMPACT THE BEDDING ACCORDING TO 611.06.

USE TYPE 1 BEDDING FOR 706.05, OR 706.051 AND 706.052 ON SLAB BOTTOMS, OR CORRUGATED INVERT PLATES.

TYPE 2 BEDDING CONSISTS OF STRUCTURAL BACKFILL EXTENDING AT LEAST 3 INCHES (75 MM) FOR ALL 706 RIGID PIPE CONDUITS AND 6 INCHES (150 MM) FOR ALL OTHER CONDUITS BELOW THE BOTTOM OF THE CONDUIT FOR THE FULL WIDTH OF THE TRENCH. EXTEND THE BEDDING UP AROUND THE PIPE FOR A DEPTH OF NOT LESS THAN 30 PERCENT OF THE RISE OF THE CONDUIT. SHAPE THE BEDDING TO FIT THE CONDUIT WITH RECESSES SHAPED TO RECEIVE THE BELL OF BELL-AND-SPOOT PIPE. LEAVE THE BEDDING BELOW THE MIDDLE ONE-THIRD OF THE PIPE SPAN UNCOMPACTED. COMPACT THE REMAINING BEDDING ACCORDING TO 611.06.

USE TYPE 2 BEDDING FOR TYPES A, B, C, AND D CONDUITS EXCEPT FOR LONG SPAN STRUCTURES AND FOR CONDUITS THAT REQUIRE TYPE 3 BEDDING.

COMPACTED FILLS SHALL BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO TRENCHING FOR PLACEMENT OF SEWER. ALL FILLS SHALL BE INSPECTED AND APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER, OR PER GOVERNING AGENCIES APPROVAL.

CATCH BASINS AND/OR MANHOLES OVER 4 FEET SHALL BE FURNISHED WITH STEPS, MEETING ODOT ITEM 706.13, 711.13, 711.30, OR 711.31.

CATCH BASINS LOCATED IN PAVEMENT AREAS SHALL HAVE FINGER DRAINS. (SEE DETAIL SHEET). DISTANCES LISTED ON THE PLANS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

EXCAVATION/FILL:

SITE BUILDING PAD EXCAVATION AND EMBANKMENT SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION AND APPROVAL



DEPARTMENT/ UTILITY TABLE:

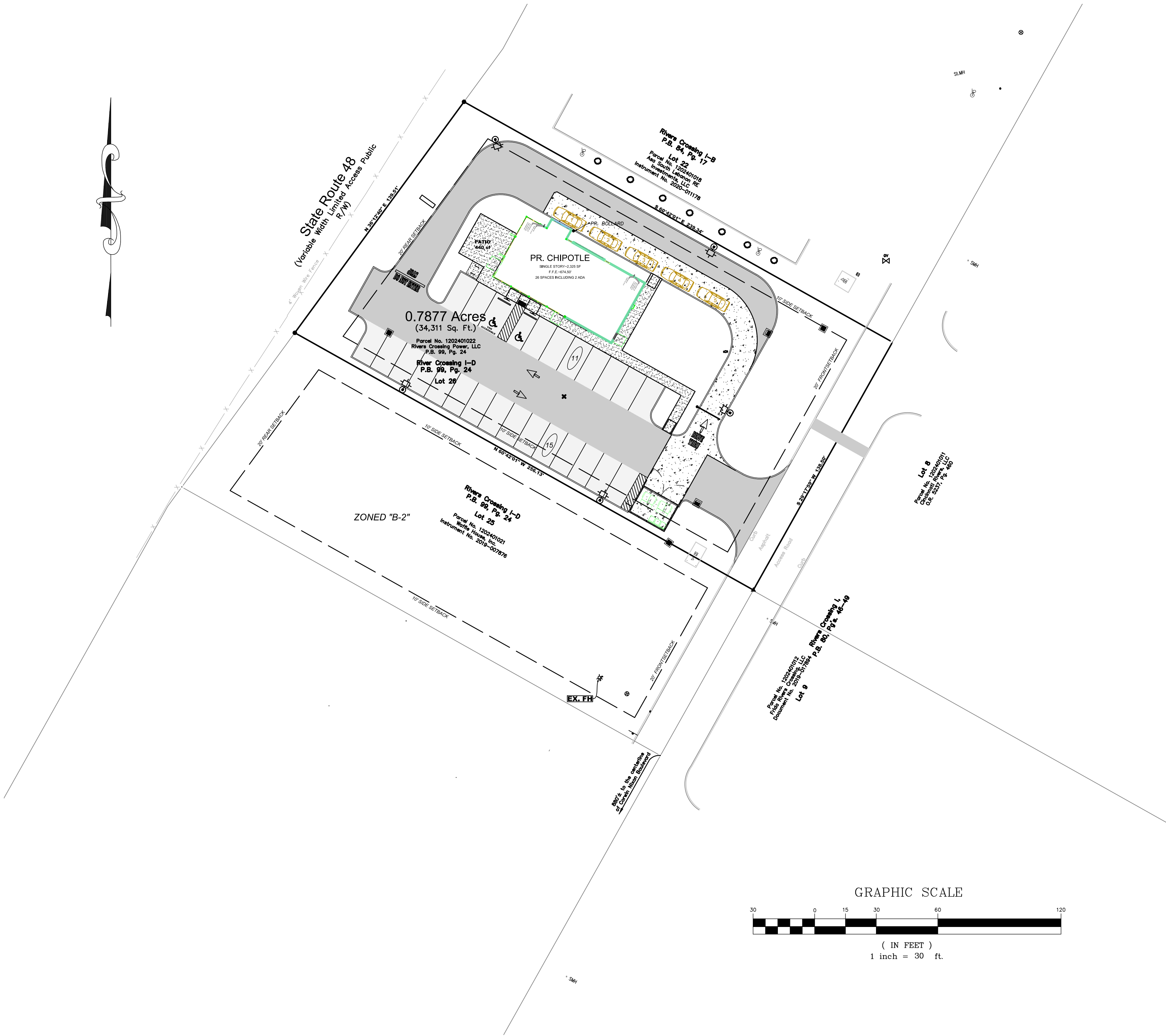
DUKE ENERGY-ELEC  
HEATHER LEET  
TEL: 513-287-4659

DUKE ENERGY-GAS  
CAMILLE WALLER  
TEL: 513-287-4629

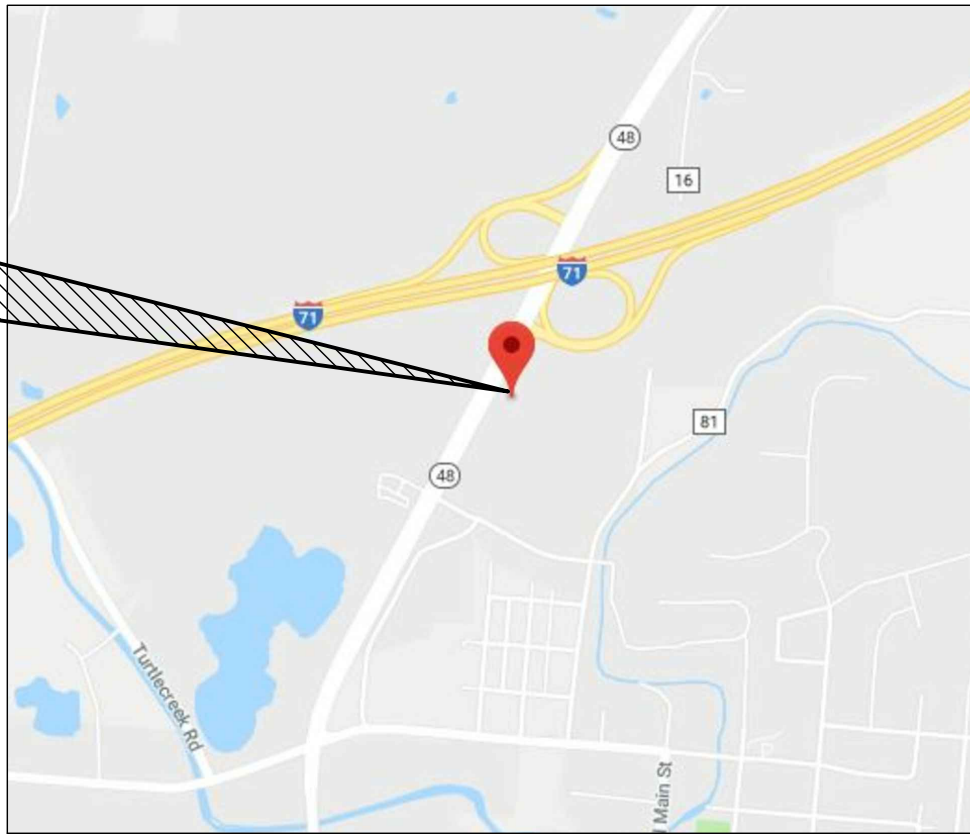
PLANS FOR THE CONSTRUCTION OF A NEW RESTAURANT KNOWN AS:

# CHIPOTLE - SOUTH LEBANON

674 CORWIN NIXON BLVD., WARREN COUNTY, OHIO  
AUGUST, 2020



PROPOSED SITE



LOCATION MAP

OWNER:

BLAZE PROPERTIES RIVERS CROSSING, LLC  
P.O. BOX 43370  
CINCINNATI, OH 45243

CIVIL ENGINEERING:

EVANS ENGINEERING  
4240 AIRPORT RD., SUITE 211  
CINCINNATI, OHIO 45226  
(513)-321-2168  
JONATHAN R. EVANS, P.E.

SURVEYING:

BERDING SURVEYING  
741 MAIN STREET  
MILFORD, OHIO 45150  
GERRY BERDING  
513-831-5505  
BERDING@BERDINGSURVEYING.COM

INDEX:

- C-1 TITLE SHEET & GENERAL NOTES
- C-1.1 SITE CONSTRUCTION DETAILS
- C-2 EXISTING CONDITIONS & DEMO PLAN
- C-3 SITE DIMENSION PLAN
- C-3.1 UTILITY SERVICE PLAN
- C-4 GRADING PLAN
- C-5 STORMWATER POLLUTION PREVENTION PLAN (SWPPP), NOTES
- L-1 LANDSCAPE PLAN

STANDARD DRAWINGS:

THE FOLLOWING ODOT AND LOCAL STANDARD DRAWINGS SHALL BE CONSIDERED A PART OF THIS PLAN:

- CB 1.1 (1-15-2016) CATCH BASINS NOs 2-2A & B
- CB 1.2 (1-15-2016) CATCH BASINS NOs 2-3 & 2-4
- CB 2.2 (1-15-2016) CATCH BASIN NO. 3A
- GR-1.1 (7-20-12) GUARDRAIL DETAILS
- GR-2.1 (7-20-12) GUARDRAIL, TYPE 5 & 5A
- MH 1.2 (1-15-2016) MANHOLE NO. 3
- BP-7.1 (7-18-2014) NEW CURB RAMPS WITH TRUNCATED DOMES
- DM-1.4 (4-21-2006) CONDUIT INSTALLATION

CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

- CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
- GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
- DEMOLITION OF EXISTING FEATURES. (DEMOLITION UNDER SEP. PERMIT)
- INSTALL STORMWATER MANAGEMENT SYSTEMS.
- TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS		
NO.	BY	DESCRIPTION
DATE		

EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



CHIPOTLE - SOUTH LEBANON  
TITLE SHEET & GENERAL  
NOTES

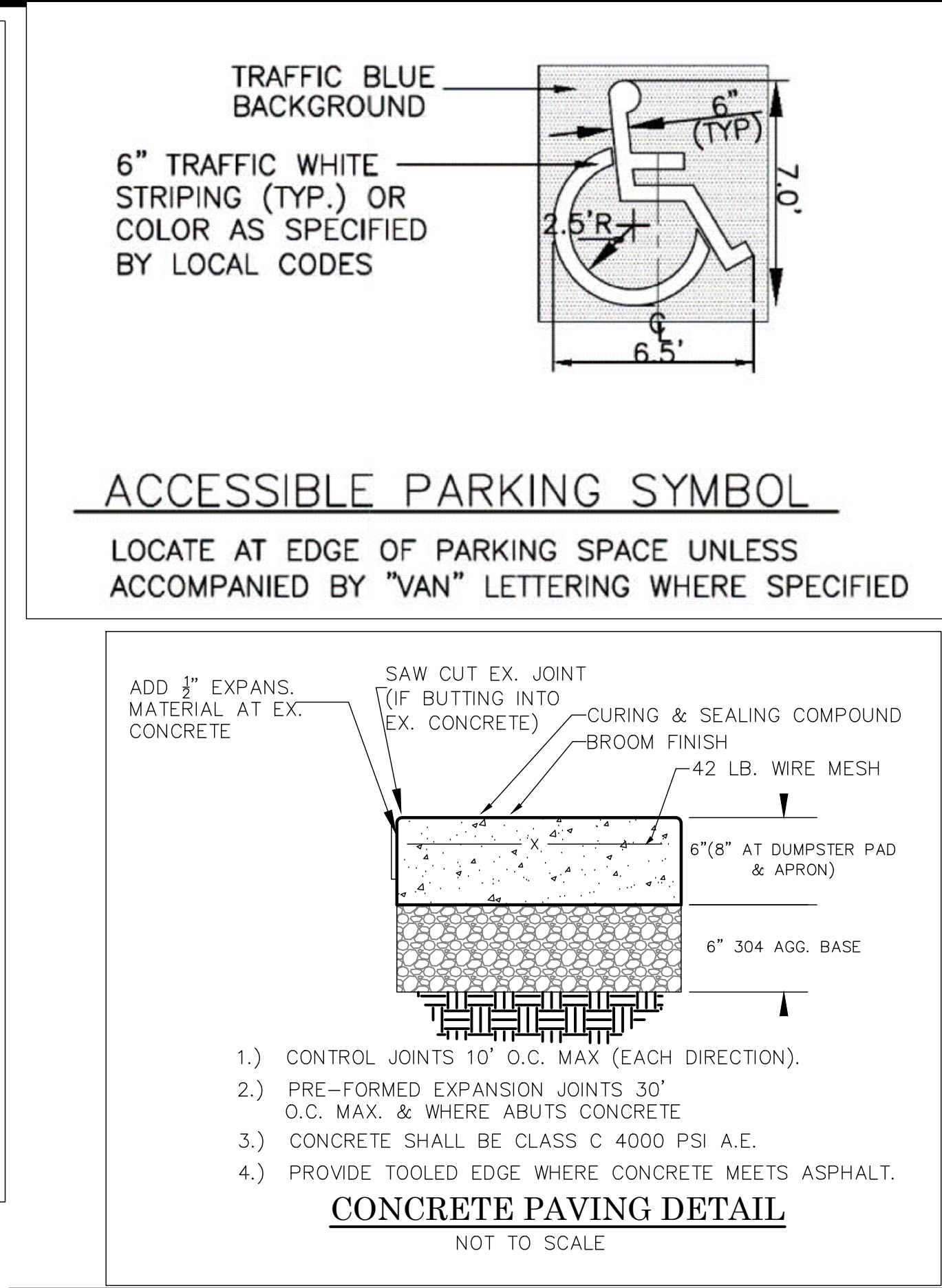
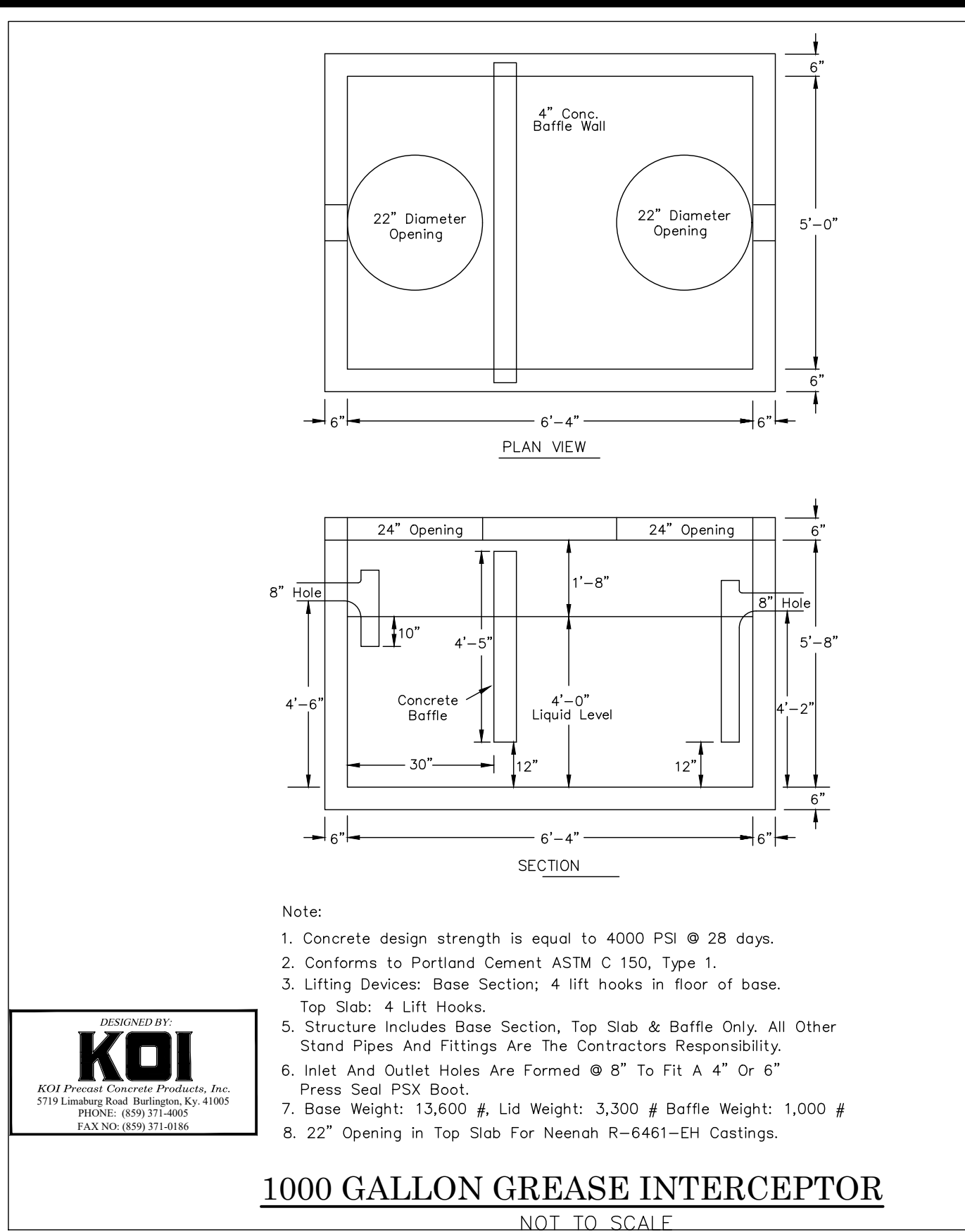
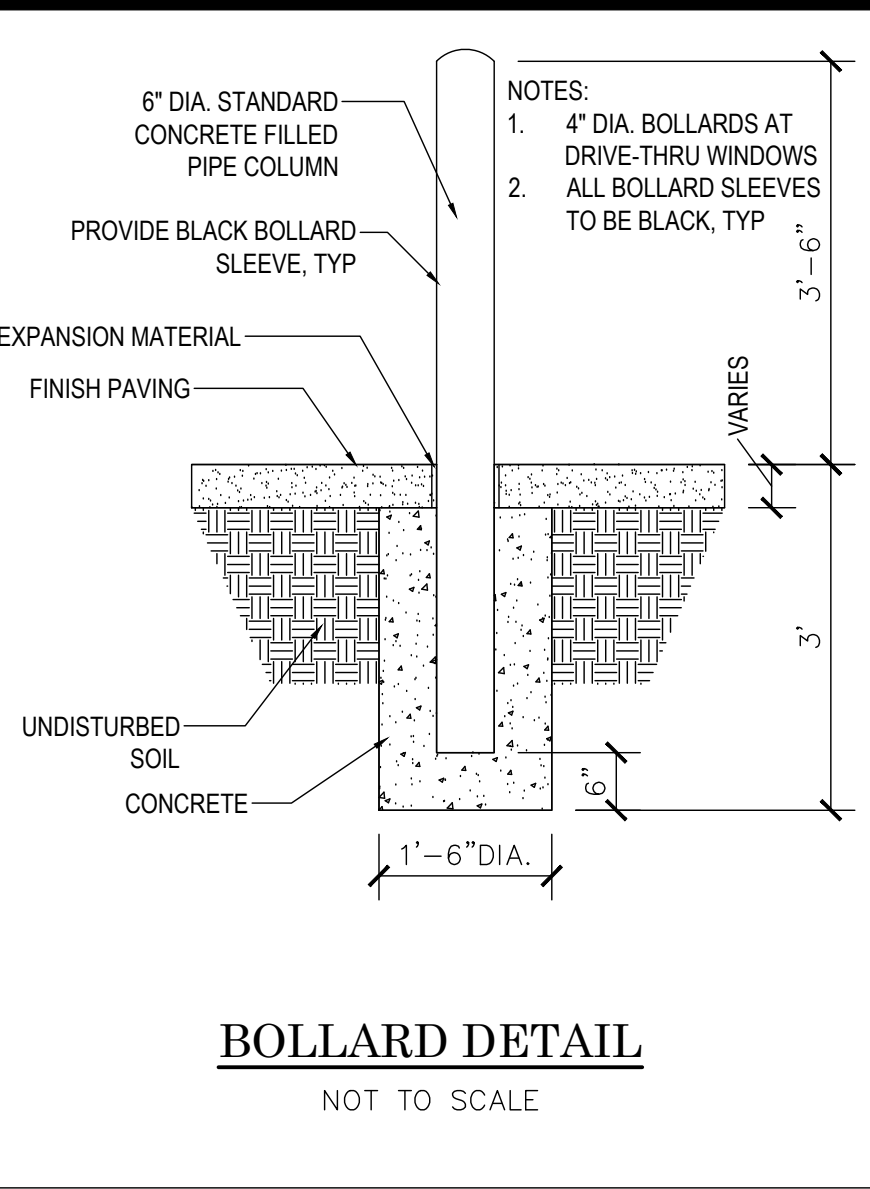
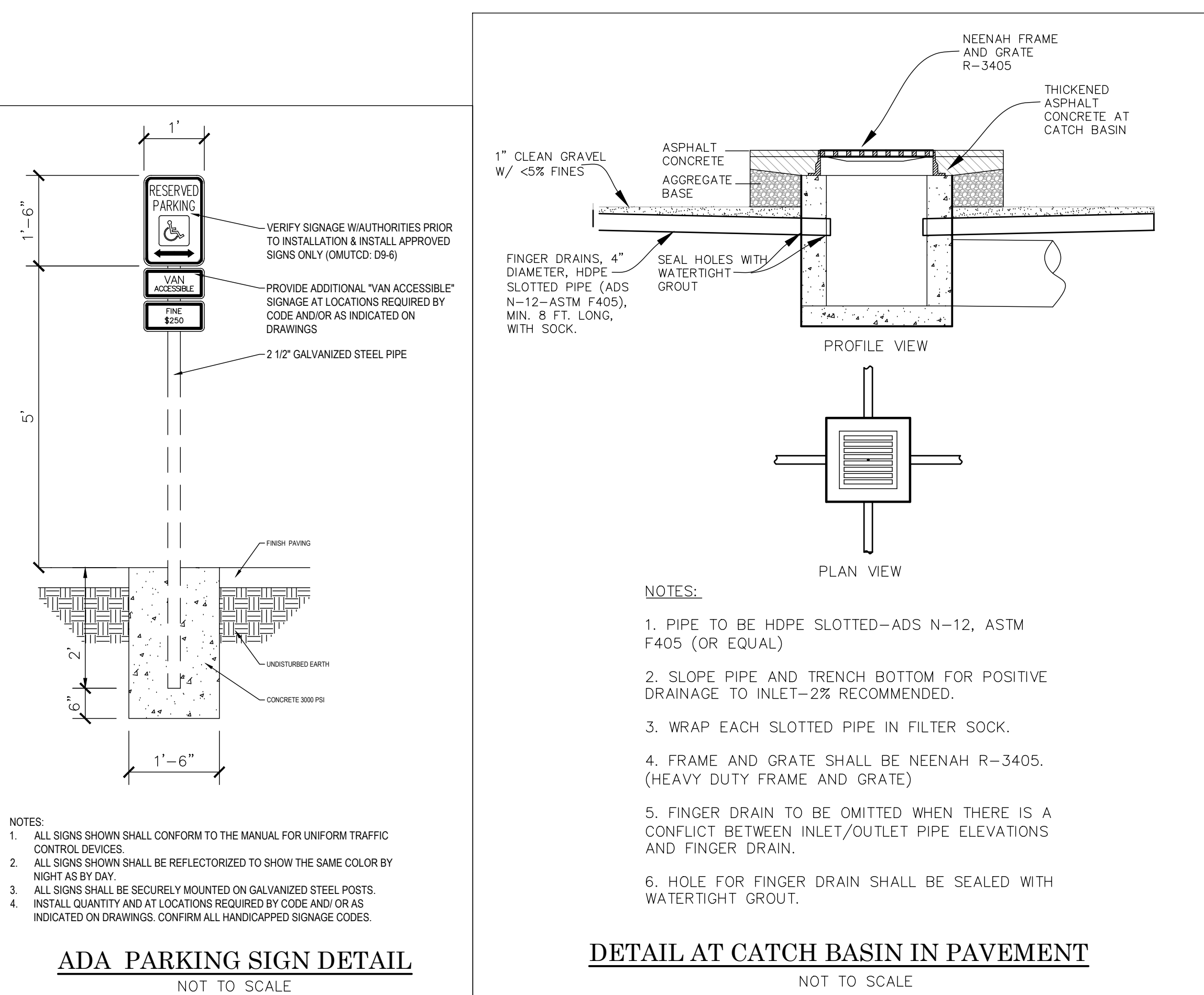
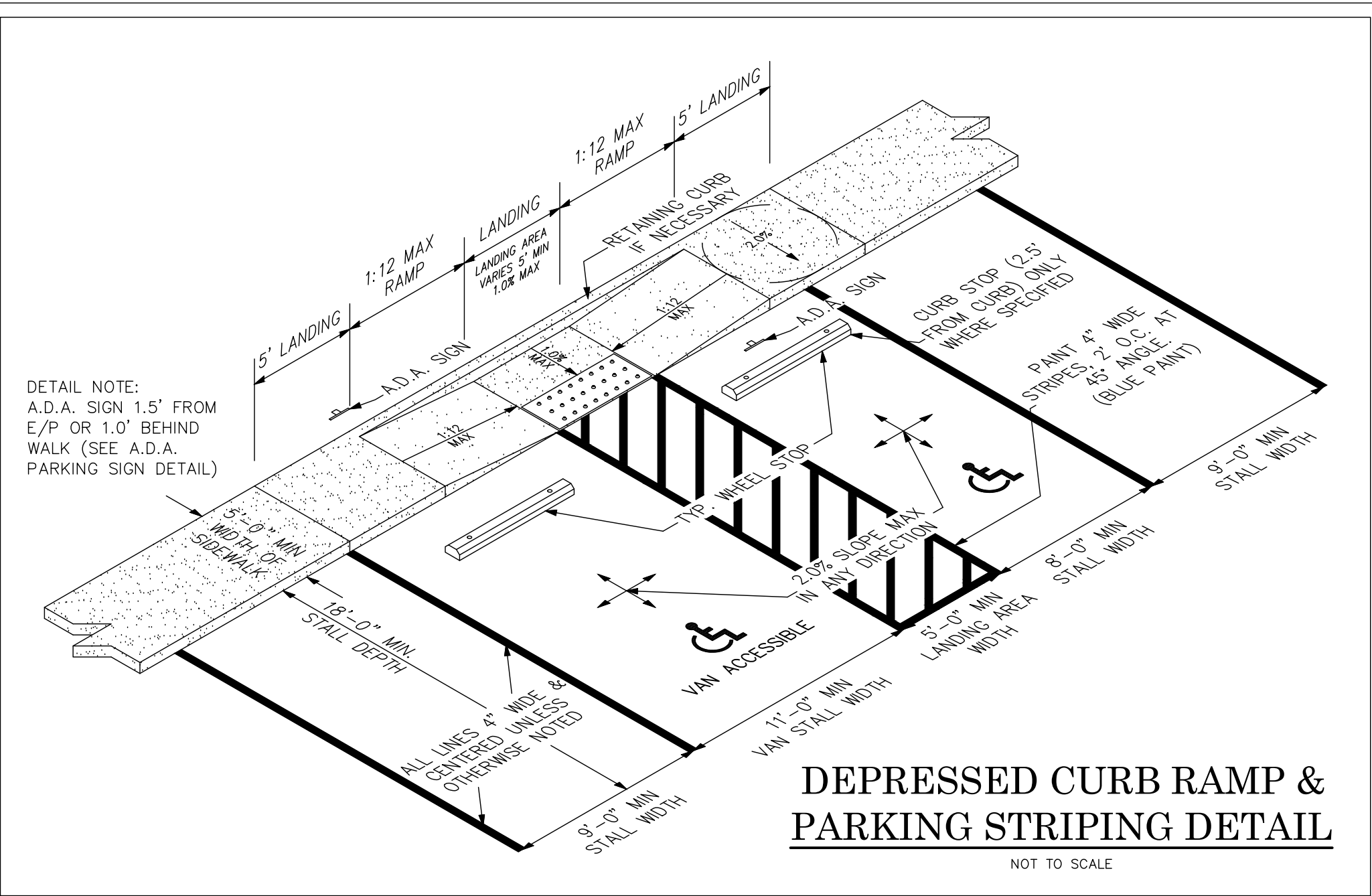
674 CORWIN NIXON BLVD.,  
VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=30'	N/A
JOB NO.	20-155	
DATE	Aug. 20, 2020	

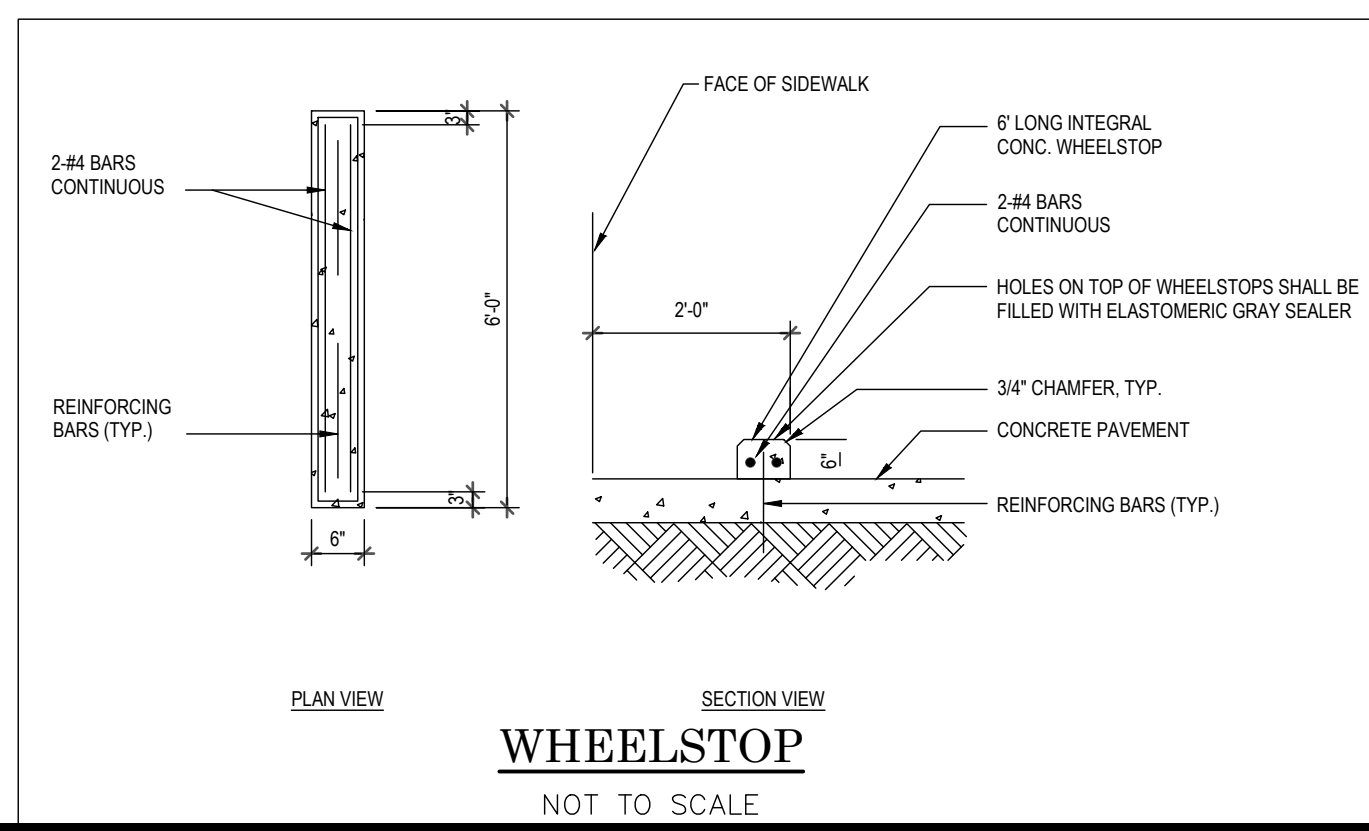
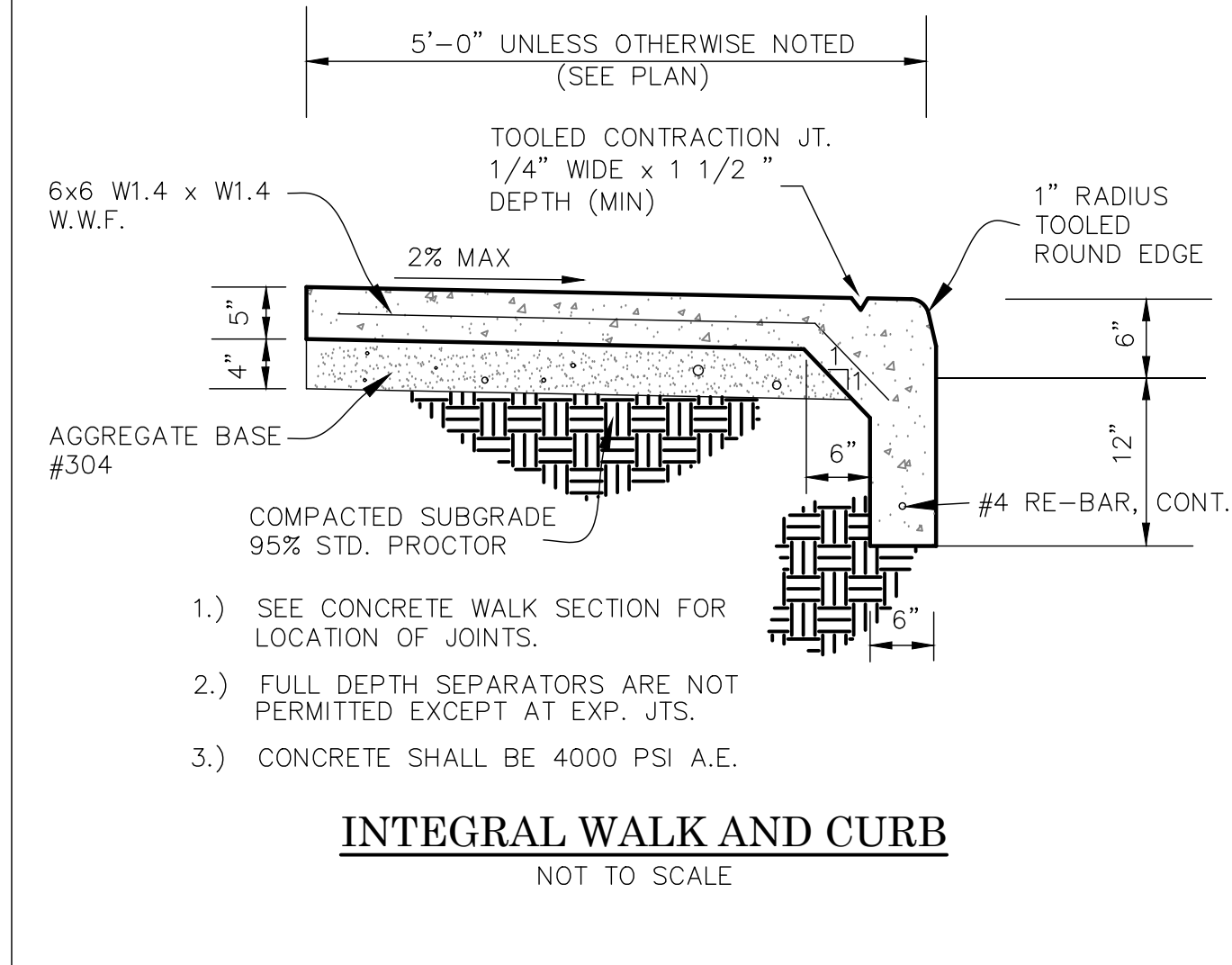
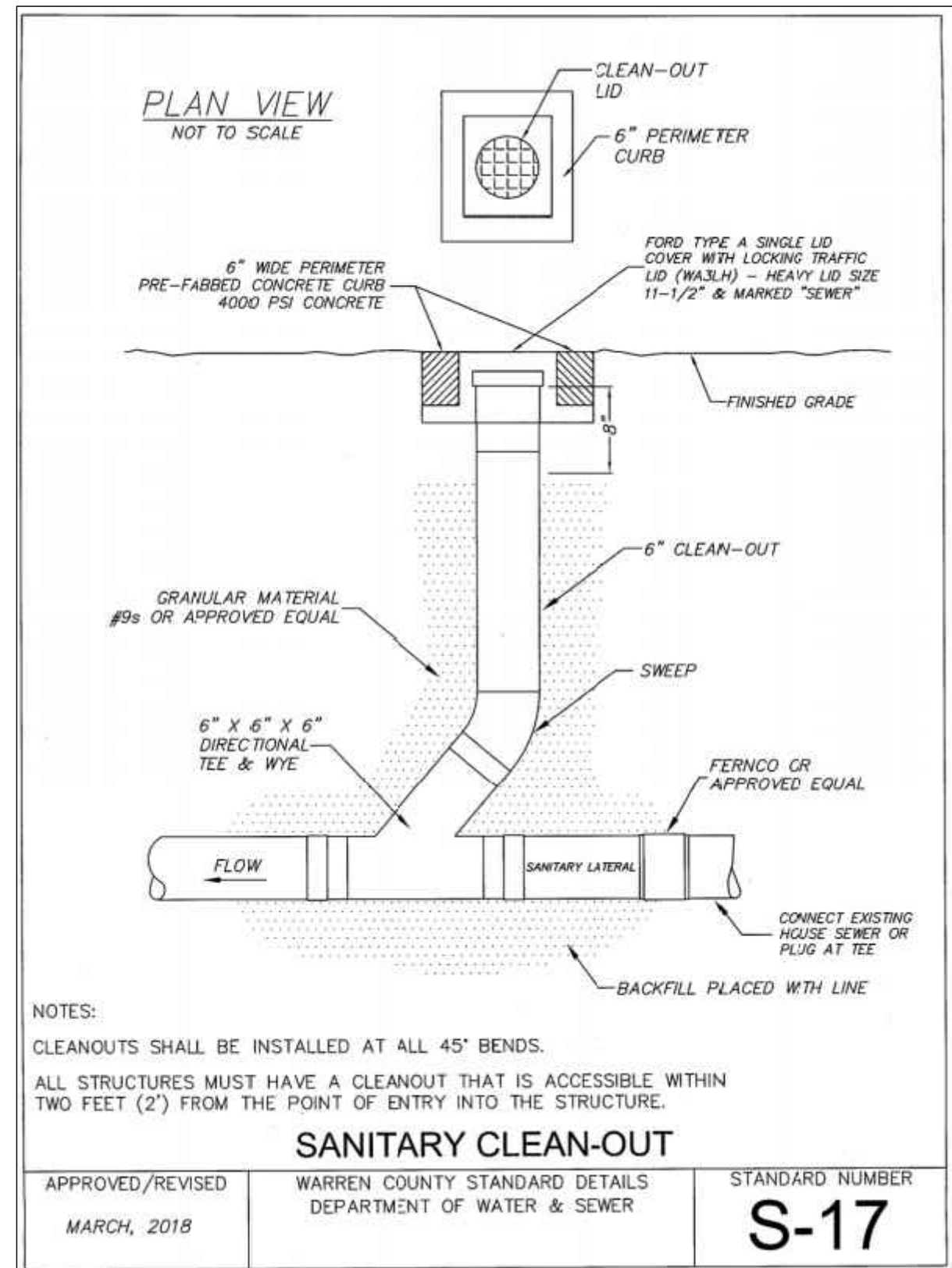
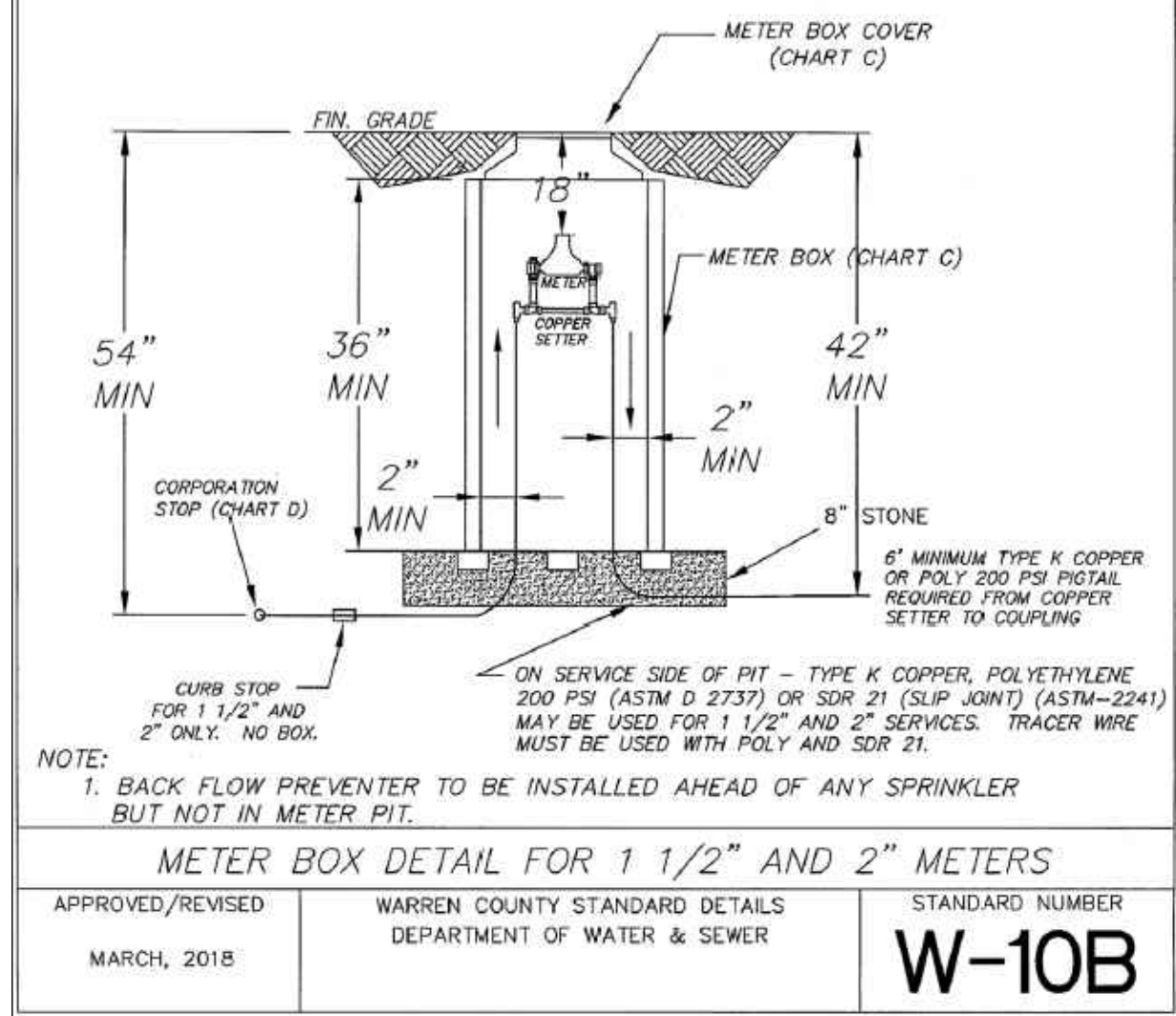
SHEET NO.

C-1

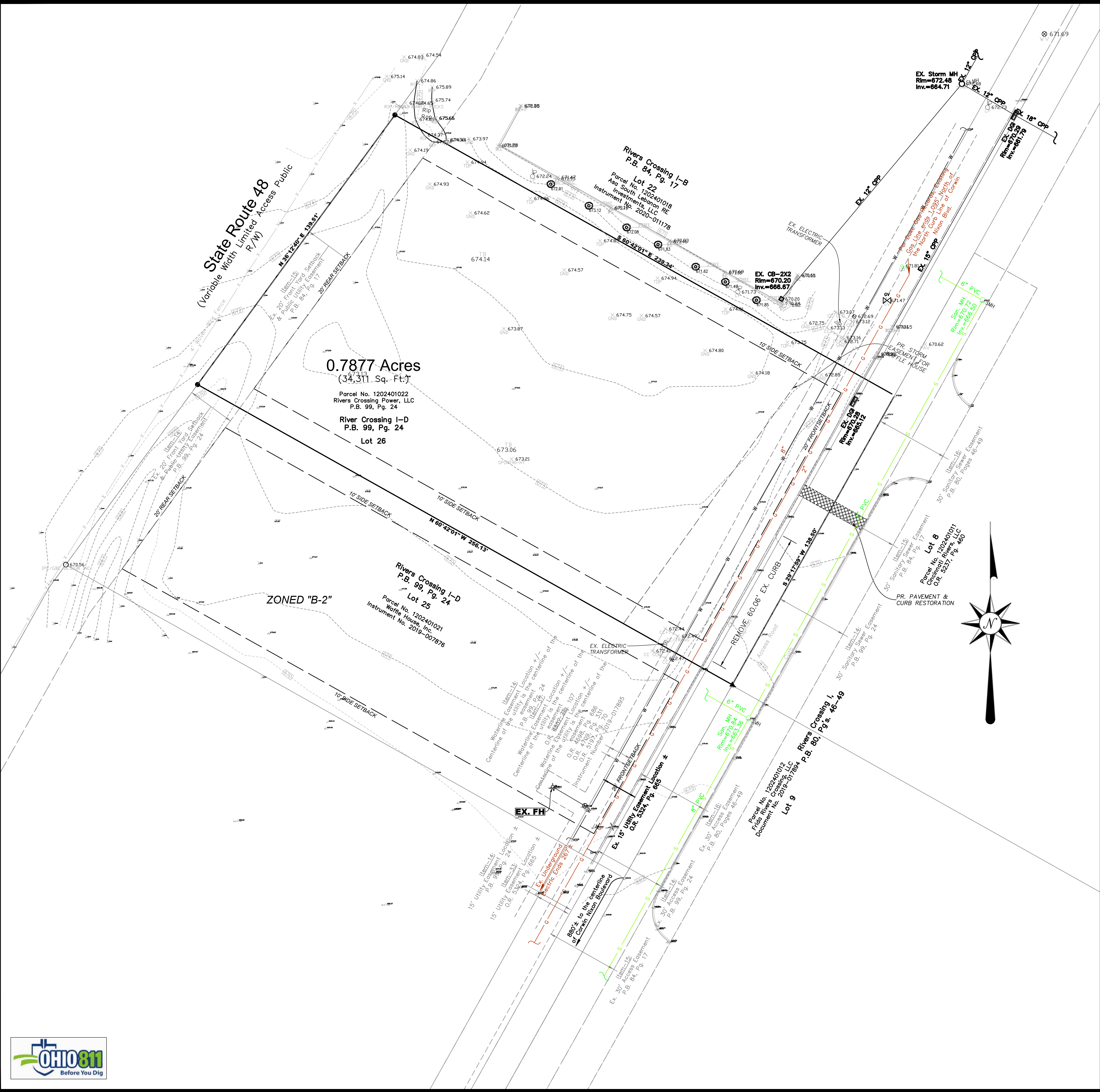




METER SIZE	COPPER SETTER	CURE STOP	CHART C METER PIT & COVER	CHART D CROP STOP	CHART E COUPLINGS
1 1/2"	FORD VBH76-15-44-66 OR EQUAL	FORD B44-666 OR EQUAL	METER PIT 36" x 36" CARSON, STRAIGHT WALL, METER PIT COVER FORD C-3T OR EQUAL	FORD F-1000 FORD FB-1000	FORD C44-66 MUELLER P15403 McDONALD 4758-22
2"	FORD VBH77-158-44-77 OR EQUAL	FORD B44-777 OR EQUAL	METER PIT 36" x 36" CARSON, STRAIGHT WALL, METER PIT COVER FORD C-3T OR EQUAL	FORD F-1000 FORD FB-1000	FORD C44-77 MUELLER P15403 McDONALD 4758-22







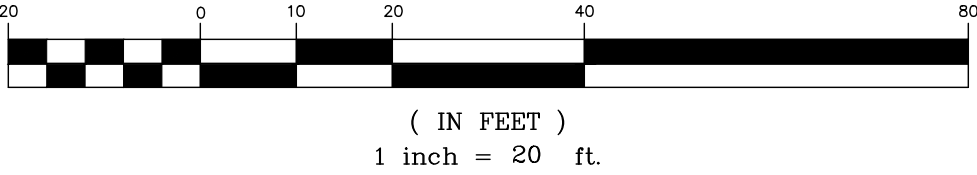
NOTES:

1. CURRENT ZONING FOR THE PROPERTY IS "B-2". ANY SPECIFIC QUESTIONS REGARDING ZONING SHALL BE DIRECTED TO THE VILLAGE OF SOUTH LEBANON ZONING DEPARTMENT.
2. USE WILL BE COMMERCIAL AND IS UNDERSTOOD TO BE COMPATIBLE WITH CURRENT ZONING.
3. PER FLOOD INSURANCE RATE MAP NUMBER 39165C0138E EFFECTIVE DEC 17, 2010, THE SUBJECT PROPERTY IS LOCATED IN ZONE "X". ZONE "X" IS AN AREA OF MINIMAL FLOOD HAZARD APPROXIMATELY 80 FEET ABOVE THE NEAREST FLOOD PLANE.
4. ALL DEMOLITION SHALL BE PERFORMED BY A LICENSED CONTRACTOR AND BE PERFORMED PER LOCAL REQUIREMENTS. ALL REMEDIATION WORK SHALL BE PROVIDED BY A PROPERLY LICENSED ABATEMENT CONTRACTOR. ALL DEBRIS TO BE DISPOSED OF IN A LAWFUL MANNER AND APPROVED BY OWNER.
5. CONTRACTOR SHALL FIELD VERIFY AND MARK LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEERING FIRM IF ANY UTILITIES OR UNDERGROUND FEATURES ARE ENCOUNTERED WHICH ARE NOT SHOWN ON THESE PLANS OR DIFFER IN LOCATION, HORIZONTAL OR VERTICAL.
6. ANY PORTIONS OF WALK, CURB, OR PAVEMENT (OUTSIDE OF SITE CONSTRUCTION LIMITS) DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED IN-KIND.
7. CONTRACTOR SHALL INSTALL CONSTRUCTION BARRIER FENCE DURING AND AFTER DEMOLITION. ANY OPEN EXCAVATION SHALL BE PROPERLY BARRICADED AS REQUIRED BY LOCAL, STATE OR FEDERAL REGULATIONS.
8. CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.
9. EXCAVATION AND DEMOLITION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.
10. THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE FROM THE PROPERTY.
11. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.
12. FOR THE SANITARY LATERAL CONNECTION, CONTRACTOR SHALL SAW CUT, INSTALL AND THEN BACKFILL WITH FULL DEPTH GRAVEL OR FLOWABLE FILL AND THEN INSTALL HEAVY DUTY PAVEMENT ON TOP AND THEN SEAL THE JOINTS WITH TAR.

LEGEND

- 2" ALUMINUM POST
- SIGN
- TEST BORE
- WATER VALVE
- FIRE HYDRANT
- DOUBLE GRATE INLET
- SANITARY MANHOLE
- LIGHT POLE
- ORIGIN OR OUTLET UNDETERMINED
- BUILDING
- FENCE
- GAS LINE/SIZE-APPROXIMATE LOCATION SHOWN PER RECORD
- WATER LINE-SIZE SHOWN PER RECORD
- SANITARY LINE/SIZE/TYPE
- STORM LINE/SIZE/TYPE
- UNDERGROUND ELECTRIC-APPROXIMATE LOCATION SHOWN PER RECORD

GRAPHIC SCALE



PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION

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CINCINNATI, OHIO 45226  
(513) 321-2168



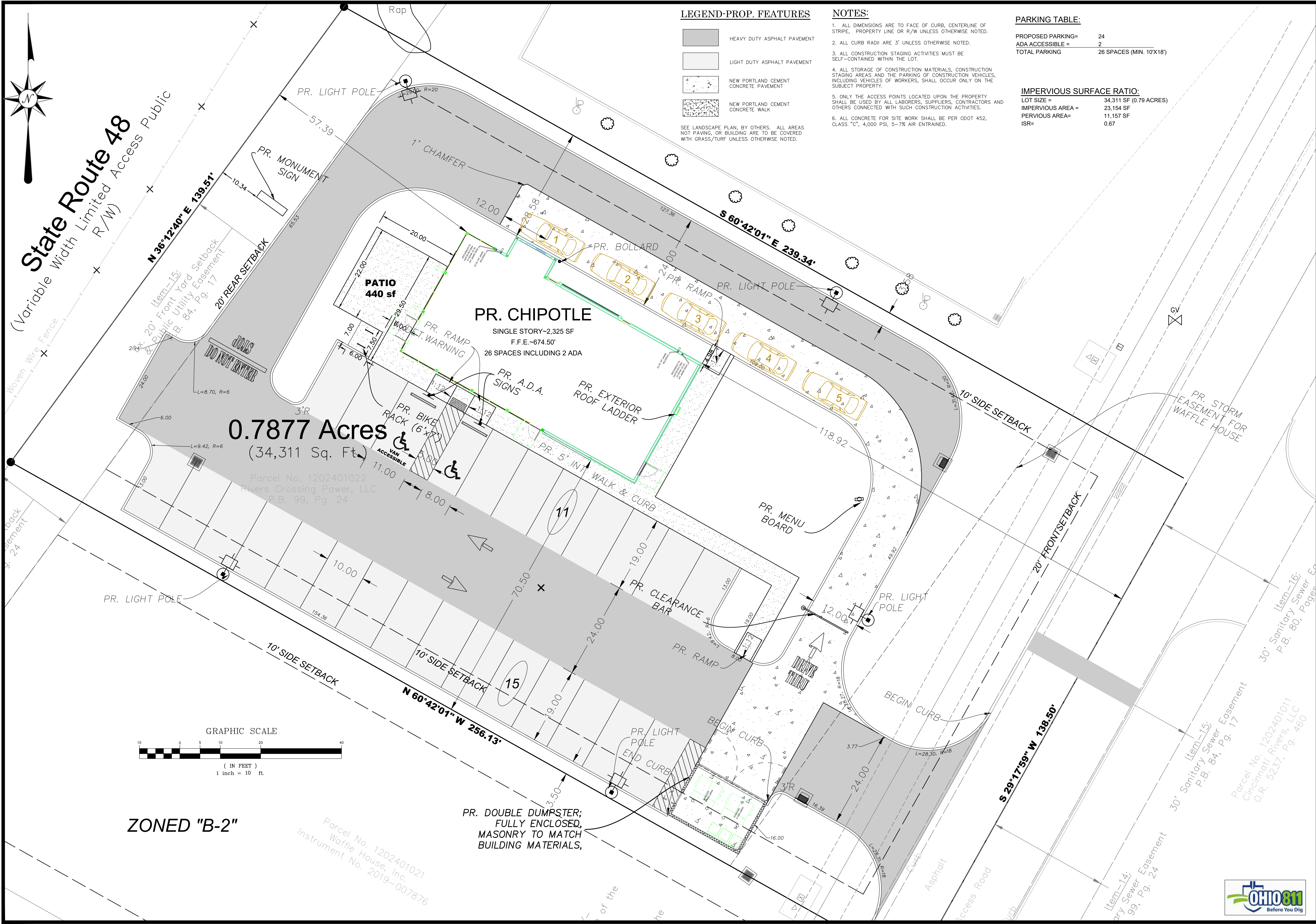
CHIPOTLE - SOUTH LEBANON  
EXISTING CONDITIONS &  
DEMO PLAN  
674 CORWIN NIXON BLVD.,  
VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.
	1"=20'	N/A
JOB. NO.	20-155	
DATE	Aug. 20, 2020	

SHEET NO.







LEGEND-PROP. FEATURES

- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PAVING, OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
- ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
- ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
- ALL CONCRETE FOR SITE WORK SHALL BE PER ODOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.

PARKING TABLE:

PROPOSED PARKING=	24
ADA ACCESSIBLE =	2
TOTAL PARKING	26 SPACES (MIN. 10'X18')

IMPERVIOUS SURFACE RATIO:

LOT SIZE =	34,311 SF (0.79 ACRES)
IMPERVIOUS AREA =	23,154 SF
PERVIOUS AREA=	11,157 SF
ISR=	0.67

PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION

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4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



CHITOTLE - SOUTH LEBANON  
SITE DIMENSION PLAN  
674 CORWIN NIXON BLVD.,  
VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OHIO

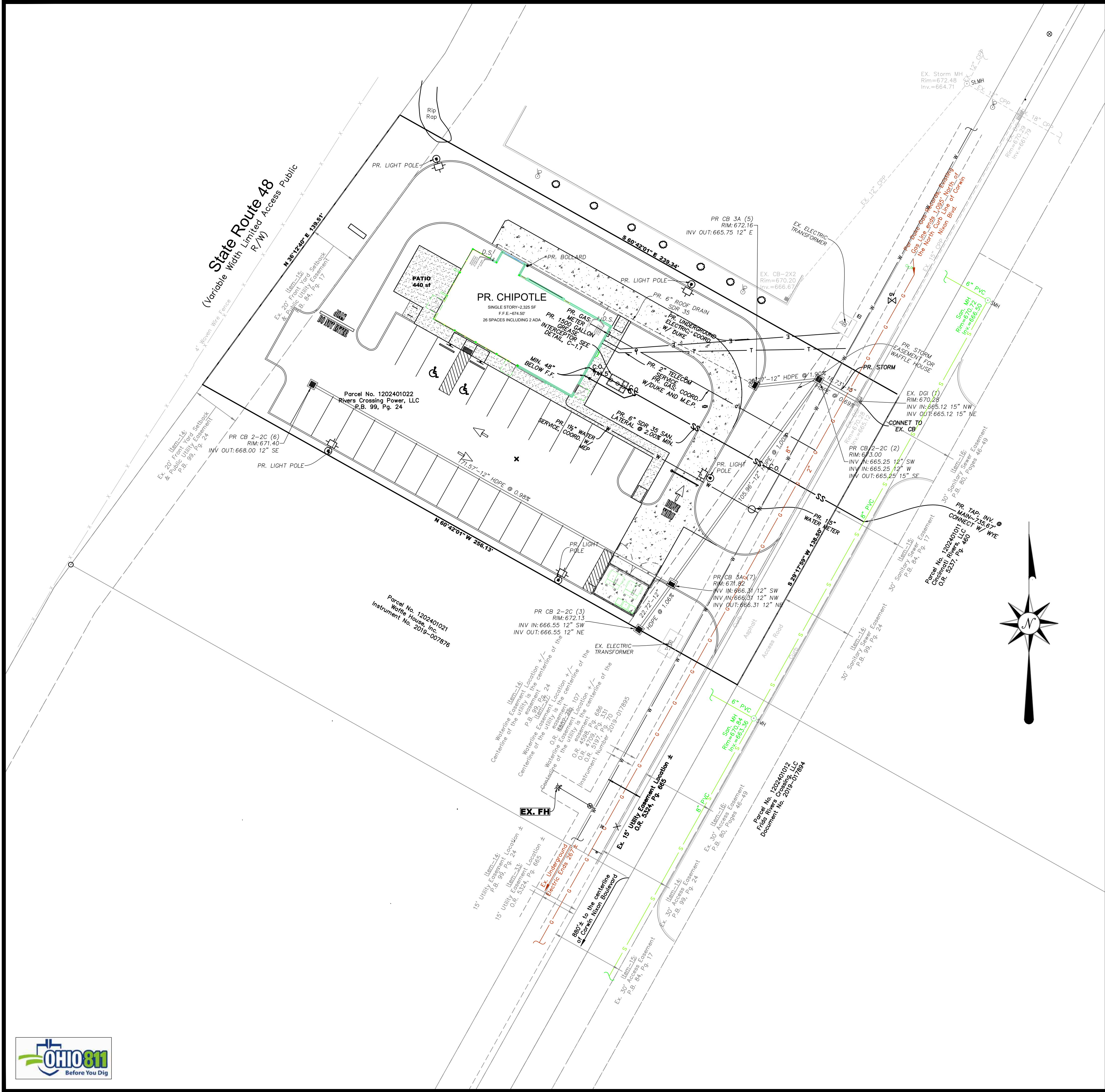
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	1"=20'	N/A
JOB NO.	20-155	
DATE	Aug. 20, 2020	

SHEET NO.

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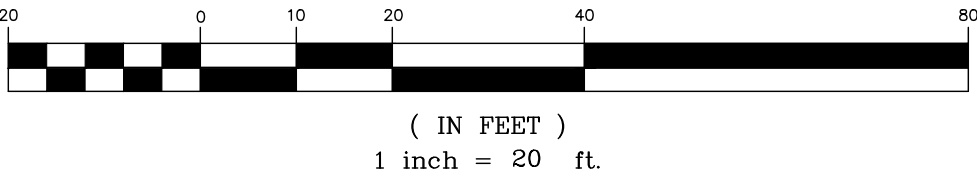
LEGEND-PROP. FEATURES

- S — EXISTING SANITARY
- W — EXISTING WATERLINE
- — EXISTING STORM
- OEC — EXISTING OVERHEAD ELECTRIC SERVICE
- G — EXISTING GAS
- FO — EXISTING FIBER OPTIC SERVICE
- W — PROPOSED DOMESTIC WATER SERVICE (1.5" METER; 1½" LINE, TYPE K COPPER)  
ALL WATER LINES TO HAVE A MINIMUM OF 48" OF COVER
- SS — PROPOSED 6" SANITARY LATERAL PVC SDR 35 @ 2.00% MIN.
- — PROPOSED STORM SERVICE
- E — PROPOSED UNDERGROUND ELECTRIC SERVICE
- T — PROPOSED UNDERGROUND TELECOM SERVICE; INSTALL 2" SCH. 40 CONDUIT WITH PULL STRING
- G — PROPOSED GAS SERVICE (SIZE TBD BY USE) 4" CONDUIT W/ PULL STRING
- DS — PR. DOWNSPOUT
- RD — PR. 6" SDR 35 ROOF DRAIN @ 1.00% (OR SLOPED AS NOTED)

NOTES:

- CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST FOR REPAIRING OR RELOCATING ALL UTILITIES AFFECTED BY CONSTRUCTION. LOCATIONS AS SHOWN ARE BASED UPON UTILITY RECORDS AND A FIELD SURVEY BY BERING SURVEYING.
- ALL UTILITY SERVICES SHOULD BE COORDINATED WITH THE LOCAL PROVIDER FOR OPTIMAL PLACEMENT OF SERVICES (SEE COVER SHEET FOR CONTACTS).
- FURTHERMORE, ALL BUILDING UTILITY CONNECTION POINTS SHALL BE VERIFIED WITH CURRENT ARCHITECTURAL AND M.E.P. PLANS PRIOR TO STARTING CONSTRUCTION.
- THE COST OF ALL UTILITY TAPS AND COORDINATION FEES SHALL BE THE RESPONSIBILITY OF THE OWNER.
- IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.
- SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE NEENAH R-1976 LID AND FRAME.
- COORDINATE WITH VILLAGE OF SOUTH LEBANON FOR BUILDING SEWER, WATER TAP, AND STREET OPENING PERMITS.
- ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- ROOF DRAINS SHALL BE SDR 35 AND TIED DIRECTLY INTO THE UNDERGROUND STORM SEWER SYSTEM.
- SEE ELECTRICAL PLAN (BY OTHERS) FOR LOCATION OF METER.
- A SIGN PERMIT IS NECESSARY. APPLICANT MUST SUBMIT AND GET APPROVAL BY ZONING DEPARTMENT AND BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES, AS SHOWN OR NOT SHOWN ON THESE PLANS, AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND/OR UTILITY OWNER, AS REQUIRED. CONTRACTOR SHALL PROVIDE 48 HOUR NOTICE FOR INSPECTION. ALL TRENCHES, PIPING AND TAPS SHALL BE LEFT EXPOSED AND PROTECTED UNTIL INSPECTED AND APPROVED.
- SITE CONTRACTOR SHALL CLEAN ALL CONDUITS AND PIPES THAT COLLECT DEBRIS, MUD, CONCRETE, TRASH, ECT. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT OF ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
- SITE CONTRACTOR TO REFER TO THE ARCHITECTURAL PLAN FOR ADDITIONAL NOTES AND DETAILS, INCLUDING SITE LIGHTING, IRRIGATION, GAS, ELECTRIC, INTERNET AND OTHER CONDUIT TO BE COORDINATED WITH UTILITY INSTALLATION.
- CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL PLAN.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.
- WATER MAINS SHALL BE LAID IN A MINIMUM OF 4'-0" FROM TOP OF FINISHED GRADE TO THE TOP OF WATER MAIN.
- DOMESTIC WATER PIPE FROM MAIN TO METER AND METER TO BUILDING SHALL BE TYPE "K" COPPER, COPPER SHALL BE INSTALLED TO 3' OUTSIDE PIT.
- SANITARY SERVICE SHALL BE 6" PVC SDR-35 @ 2.00% MIN. SANITARY CONNECTION PLUMBER TO CONNECT BUILDING SANITARY TO GREASE INTERCEPTOR.
- CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS.
- STORM CATCH BASIN IN PAVEMENT SHALL HAVE NEENAH FRAMES R-3405 OR EQUAL. (SEE DETAIL, SHEET C-1.1)
- CONTRACTOR SHALL ENSURE MINIMUM CLEARANCE OF 18" BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE REQUIRED BY GOVERNING MUNICIPALITY UTILITIES REQUIREMENTS.
- DOMESTIC WATER LINE TAPS AND SERVICES TO BE INSTALLED BY SITE CONTRACTOR. WATER LINE TO BUILDING AND DUMPSTER ENCLOSURE BY SITE EXCAVATOR, STUB UP INTO BUILDING PAD. PROVIDE PVC SLEEVE IF COPPER.

GRAPHIC SCALE



PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION
BY	
DATE	

EVANS ENGINEERING  
4240 AIRPORT ROAD, SUITE 211  
CINCINNATI, OHIO 45226  
(513) 321-2168



UTILITY SERVICE PLAN

CHITOTLE - SOUTH LEBANON

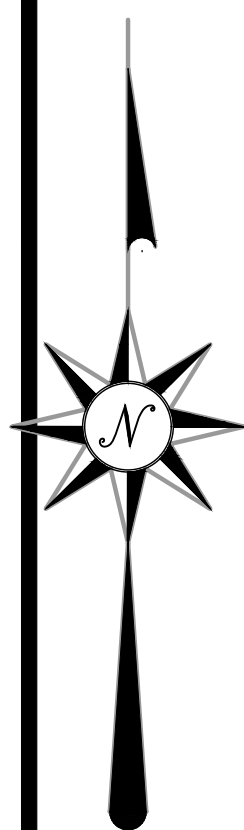
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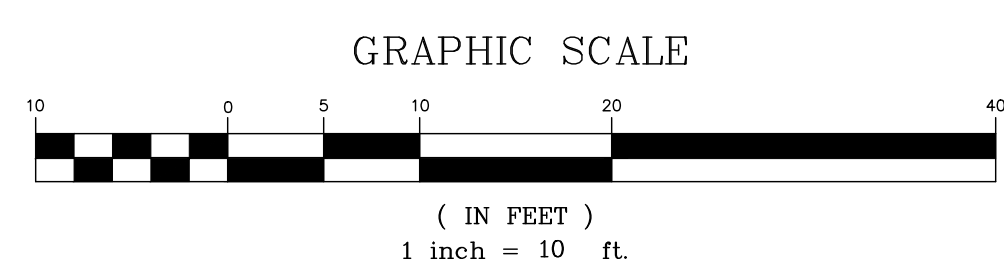
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State Route 48  
(Variable Width Limited Access Public R/W)

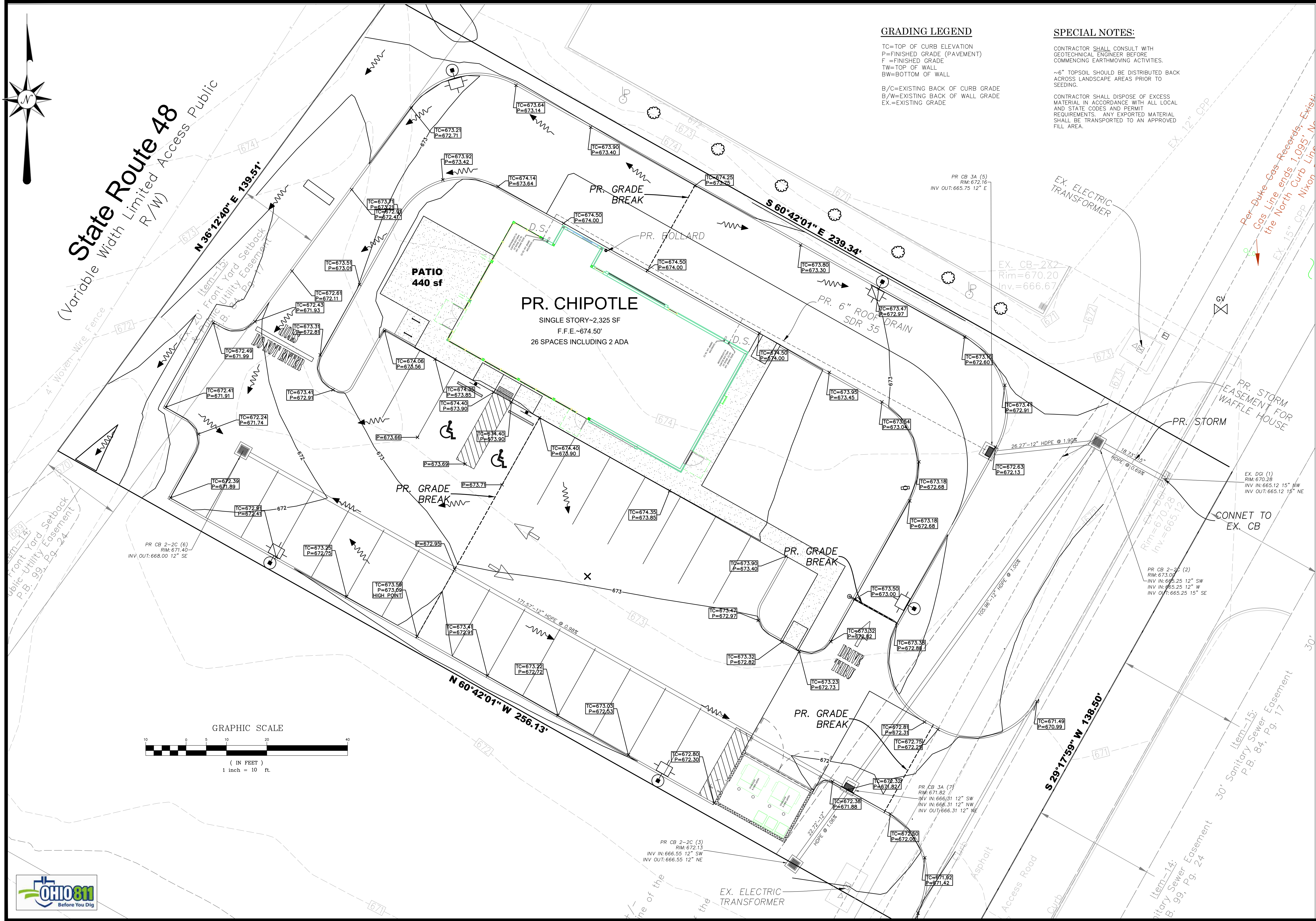


GRADING LEGEND

TC=TOP OF CURB ELEVATION  
P=FINISHED GRADE (PAVEMENT)  
F=FINISHED GRADE  
TW=TOP OF WALL  
BW=BOTTOM OF WALL  
  
B/C=EXISTING BACK OF CURB GRADE  
B/W=EXISTING BACK OF WALL GRADE  
EX.=EXISTING GRADE

SPECIAL NOTES:

CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER BEFORE COMMENCING EARTHMOVING ACTIVITIES.  
  
~6" TOPSOIL SHOULD BE DISTRIBUTED BACK ACROSS LANDSCAPE AREAS PRIOR TO SEEDING.  
  
CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. ANY EXPORTED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED FILL AREA.



PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION

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CHITOTLE - SOUTH LEBANON  
**GRADING PLAN**  
674 CORWIN NIXON BLVD.,  
VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OHIO

SCALE:	HORIZ.	VERT.		
	1"=10'	N/A		
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SHEET NO.				
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EROSION AND SEDIMENT CONTROL NOTES:

PRE-CONSTRUCTION:

1. THE CONTRACTOR SHALL NOTIFY THE WARREN COUNTY ENGINEER AT LEAST FIVE (5) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITIES AND, UNLESS WAIVED BY THE LOCAL AUTHORITY, WILL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES FROM THE LOCAL AUTHORITY.

2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY BY TELEPHONE AT THE FOLLOWING POINTS:

- A. THE REQUIRED PRE-CONSTRUCTION MEETING  
B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.  
C. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE  
D. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES  
E. PRIOR TO FINAL ACCEPTANCE

3. A COPY OF THE APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

4. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY A LOCAL AUTHORITY REPRESENTATIVE PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES.

5. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE AN EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE.

6. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE ANY CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION ARE IMPLEMENTED UNLESS IMMEDIATE ACTION IS NECESSARY. IN THIS CASE, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

7. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM A LOCAL AUTHORITY REPRESENTATIVE. THE CONTRACTOR SHALL KEEP WRITTEN RECORDS OF ALL SEDIMENT AND EROSION CONTROL INSPECTIONS AND MAINTENANCE FOR THE DURATION OF THE PROJECT. THIS INFORMATION MUST BE MADE AVAILABLE TO A LOCAL AUTHORITY REPRESENTATIVES UPON REQUEST.

SAFETY:

8. THE LOCAL AUTHORITY SITE REPRESENTATIVE ALWAYS HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES IF DEEMED NECESSARY.

9. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST FORTY TWO (42) INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN EIGHT (8) FEET, HAVE MESH OPENINGS NO GREATER THAN TWO (2) INCHES IN WIDTH AND FOUR (4) INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

10. STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT PADS CONSTRUCTED AT THE TIME OF BASE GRADE TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

11. STOCKPILE SLOPES SHALL NOT BE STEEPER THAN 2:1.

STABILIZED CONSTRUCTION ENTRANCE:

12. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY USING A STREET SWEEPER OR SCRAPER. DEBRIS SHALL NOT BE WASHED OFF PAVED SURFACES OR INTO STORM DRAINS.

13. CONSTRUCTION ENTRANCES SHOULD NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES. VEHICLES THAT ENTER AND LEAVE THE SITE SHALL BE RESTRICTED FROM MUDDY AREAS OR CLEANED BEFORE LEAVING SITE.

SEDIMENT TRAPS AND BASINS:

14. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN TWENTY (20) FEET OR AN EXISTING OR PROPOSED FOUNDATION OR TRAFFIC AREA. NO STRUCTURE MAY BE CONSTRUCTED WITHIN TWENTY (20) FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.

15. SEDIMENT TRAPS AND BASINS MUST HAVE STABLE INFLOW AND OUTFLOW POINTS SO THAT WATER CAN DISCHARGE WITHOUT CAUSING EROSION.

16. SEDIMENT BASINS/TRAPS SHALL NOT BE GREATER THAN FOUR (4) FEET IN DEPTH.

17. SEDIMENT MUST BE CLEANED, AND THE TRAP/BASIN RESTORED TO ITS ORIGINAL DIMENSIONS, WHEN ACCUMULATION REACHES A HEIGHT HALF-WAY UP TO THE TOP OF THE DESIGNED HOLDING AREA.

18. SEDIMENT REMOVED FROM TRAPS AND BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

19. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM, STABLE GROUND SURFACE, OR RELEASE FROM THE SITE.

20. SEDIMENT BASINS MUST BE REMOVED WITHIN THIRTY SIX (36) MONTHS AFTER THEIR CONSTRUCTION.

21. OHIO DAM SAFETY LAWS APPLY TO BASINS LARGER THAN FIFTEEN (15) ACRE-FEET (24,000 CY) AS MEASURED TO THE TOP OF THE HOLDING AREA.

TEMPORARY & PERMANENT STABILIZATION:

22. ALL CRITICAL SLOPES (3:1 OR STEEPER) SHALL BE STABILIZED WITH SOD OR SEED AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ACHIEVING FINAL GRADE.

23. ALL AREAS NOT DRAINING TO A FUNCTIONING SEDIMENT BASIN MUST BE FINAL GRADED AND STABILIZED WITH SOD OR SEED WITHIN SEVEN (7) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

24. ALL AREAS WITHIN FIFTY (50) FEET OF A STREAM MUST BE STABILIZED WITHIN TWO (2) CALENDAR DAYS OF ACHIEVING FINAL GRADE.

25. ALL AREAS THAT ARE TO REMAIN IDLE, INCLUDING STOCK PILES, FOR FOURTEEN (14) CALENDAR DAYS MUST BE STABILIZED WITH SEED OR SOD.

26. WHEN THE PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, TEMPORARY SEED AND ANCHORED MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.

27. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES WITHIN TWO (2) DAYS OR ACHIEVING FINAL GRADE.

28. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

29. STORMWATER MANAGEMENT STRUCTURES, USED TEMPORARILY FOR SEDIMENT CONTROL, SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS.

30. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER (I.E. RETENTION PONDS) DO NOT HAVE TO MEET THIS REQUIREMENT.

31. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.

OTHER:

32. NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORM WATER RUNOFF. THE CONTRACTOR MUST IMPLEMENT ALL NECESSARY CONTROL MEASURES TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS. UNDER NO CIRCUMSTANCE SHALL CONCRETE TRUCKS WASH OUT DIRECTLY INTO A DRAINAGE CHANNEL, STORM SEWER OR SURFACE WATER.

33. SEDIMENT MUST BE CLEANED FROM SILT FENCES AND MULCH BERMS WHEN ACCUMULATION REACHES A HEIGHT OF HALF-WAY UP TO THE TOP OF THE FENCE/BERM.

34. SEDIMENT REMOVED FROM SILT FENCES AND MULCH BERMS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR VEGETATION PRESERVATION AREA.

35. ALL SLOPES STEEPER THAN 3:1 REQUIRED GRADE TREATMENT, EITHER STAIR-STEP GRADING, GROWING, FURROWING, OR TRACKING IF THEY ARE TO BE STABILIZED WITH VEGETATION.

36. AREAS WITH GRADES LESS STEEP THAN 3:1 SHOULD HAVE THE SOIL SURFACE LIGHTLY ROUGHENED AND LOOSE TO A DEPTH OF TWO (2) TO FOUR (4) INCHES PRIOR TO SEEDING.

37. CONSTRUCTION AND DEMOLITION DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE STATUTES.

ADDITIONAL STORMWATER POLLUTION PREVENTION NOTES:

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THE DEVELOPER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OH0C00004-"AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)."

CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY. SEDIMENT BASINS AND PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED PRIOR TO GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UP SLOPE DEVELOPMENT AREA IS RESTABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROLS MUST BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS THE CHANGING DRAINAGE PATTERNS.

SOIL STOCKPILE MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.

SILT FENCES AND "INLET FILTERS" ARE TO BE CONTINUOUSLY MAINTAINED BY THE DEVELOPER AND/OR CONTRACTOR UNTIL ALL DANGER OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.

ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659, AND PER TABLE LISTED ON THIS SHEET "STABILIZATION."

EXCAVATION CONTRACTOR SHALL TAKE EXTREME CARE TO PREVENT MUD AND DEBRIS FROM ENTERING EXISTING STORM SEWERS AND WATER COURSES.

THE CONTRACTOR SHALL KEEP EXISTING PAVEMENT SURROUNDING THE SITE "BROOM CLEAN" AND FREE OF SOIL OR AGGREGATE THAT MIGHT BE BROUGHT OFF-SITE.

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREET/PARKING LOT CLEAN BY PREVENTING DEBRIS, MUD, DIRT, ETC. FROM BEING TRACKED ONTO THE STREET/PARKING LOT. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS, MUD, ETC. FROM THE STREET IMMEDIATELY WHEN IT OCCURS AND SHALL INSPECT THE STREET AT THE END OF EACH WORKING DAY.

THE DEVELOPER AND/OR CONTRACTOR SHALL PERFORM REGULAR STREET SWEEPING TO MINIMIZE SEDIMENTS TO THE PROPOSED STORM SEWER SYSTEM.

UPON REQUEST OF THE OHIO EPA, OR LOCAL JURISDICTION, THE CONTRACTOR SHALL PROVIDE ALL NPDES PERMIT REPORTS AND A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ALLOW THE OHIO EPA, OR LOCAL JURISDICTION, TO ENTER THE SITE TO INSPECT AND MONITOR ALL EROSION CONTROL MEASURES.

DUMPSTERS AND PORT-O-LETS ARE NOT TO BE CLOSER THAN 20' FROM THE PROPERTY LINES.

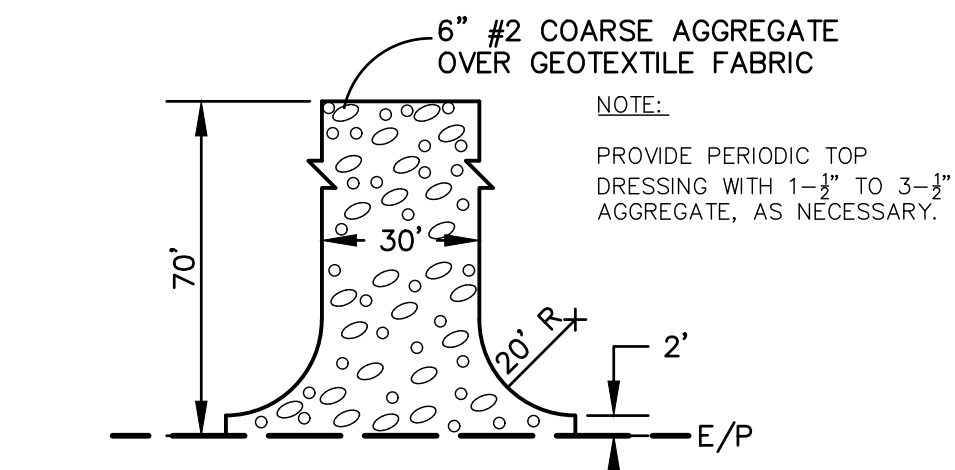
SPECIAL NOTES:

1. DURING CONSTRUCTION, THE PROPERTY MUST HAVE A MINIMUM TWENTY (20) FOOT WIDE CONSTRUCTION ENTRANCE MAINTAINED OF STONE MATERIAL.

2. AT THE CONSTRUCTION ENTRANCE TO THE PROPERTY, THERE MUST BE A WATER SOURCE AND TIRES OF CONSTRUCTION VEHICLES MUST BE RINSED TO MINIMIZE ANY DIRT WHICH WOULD MIGRATE FROM THE PROPERTY.

3. DURING CONSTRUCTION, DEBRIS MUST BE REMOVED AS APPROPRIATE, BUT AT LEAST WEEKLY.

4. DURING CONSTRUCTION, EROSION CONTROL MUST BE MAINTAINED ON THE PROPERTY INCLUDING PERIMETER CONTROL, E.G. STRAW BALE BARRIERS, EROSION FENCING, ETC.



STABILIZED CONSTRUCTION ENTRANCE  
(ONLY IF NECESSARY)  
NO SCALE

TEMPORARY AND PERMANENT SEEDING:

1.1 SEEDBED PREPARATION

A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) ON ACID SOIL (pH=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.

B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION) SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING) PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.

1.2 SEEDING

1. TEMPORARY SEEDING MIXTURE

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING AND SUMMER	1. OATS	3 LBS
	2. PEREN. RYEGRASS	1 LBS
	3. TALL FESCUE	1 LBS
FALL	1. PEREN. RYEGRASS	1 LBS
	2. RYE	3 LBS
	3. WHEAT	3 LBS
	4. TALL FESCUE	1 LBS

2. PERMANENT SEEDING MIXTURE

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING, SUMMER, AND FALL	1. CREEPING RED FESCUE	0.5 LBS
	DOMESTIC RYEGRASS	0.25 LBS
	KENTUCKY BLUEGRASS	0.25 LBS
	2. TALL FESCUE	1 LBS
	3. DWARF FESCUE	1 LBS

2-1 SEEDING FOR STEEP BANKS OR CUTS

SPRING, SUMMER, AND FALL	1. TALL FESCUE	1 LBS
	2. CROWNVECH	0.25 LBS
	TALL FESCUE	0.50 LBS
	3. FLATPEA	0.50 LBS
	TALL FESCUE	0.50 LBS

2-2 SEEDING FOR WATERWAYS AND ROAD DITCHES

SPRING, SUMMER AND FALL	1. TALL FESCUE	1 LBS
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B. APPLY THE SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER (1/4) OF AN INCH.

TEMPORARY AND PERMANENT SEEDING( CONT.)

C. WHEN FEASIBLE, EXCEPT WHERE A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMD FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHEREVER POSSIBLE.

D. OTHER SEEDING SPECIES MAY BE SUBSTITUTED FOR THESE MIXTURES.

E. THESE SEEDING RATES NEED TO BE INCREASED TWO TO THREE TIMES IF THEY ARE TO BE USED AS A LAWN.

2. DORMANT SEEDING

A. TEMPORARY SEEDING-AFTER NOVEMBER 1, USE MULCH ONLY.

B. PERMANENT SEEDING- SEEDINGS SHOULD NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20. THE FOLLOWING METHODS MAY BE USED TO MAKE A "DORMANT SEEDING":

1. FROM OCT. 1 THROUGH NOV. 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOV. 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

2. FROM NOV. 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, AND MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

3. MULCHING

A. MULCH SHALL CONSIST OF SMALL GRAIN STRAW (PREFERABLY WHEAT OR RYE) AND SHALL BE APPLIED AT THE RATE OF TWO TONS PER ACRE OR 100 POUNDS PER 1000 SF.

B. SPREAD THE MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED.

C. MULCH ANCHORING METHODS:

1. MECHANICAL- USE A DISK, CRIMPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH INTO THE SOIL.  
2. ASPHALT EMULSION-APPLY AT THE RATE OF 160 GALLONS PER ACRE INTO THE MULCH AS IT IS BEING APPLIED.  
3. MULCH NETTING-USE ACCORDING TO THE MANUF. RECOMMENDATIONS.

4. IRRIGATION

SUPPLY NEW SEEDLINGS WITH ADEQUATE WATER FOR PLANT GROWTH UNTIL THEY ARE FIRMLY ESTABLISHED.

STABILIZATION:

DISTURBED AREAS MUST BE STABILIZED AS FOLLOWS:

PERMANENT STABILIZATION

Area requiring permanent stabilization	Time frame to apply erosion controls
Any area that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any area within 50 feet of surface water of the state and at final grade	Within two days of reaching final grade
All other areas at final grade	Within seven days of reaching final grade within that area

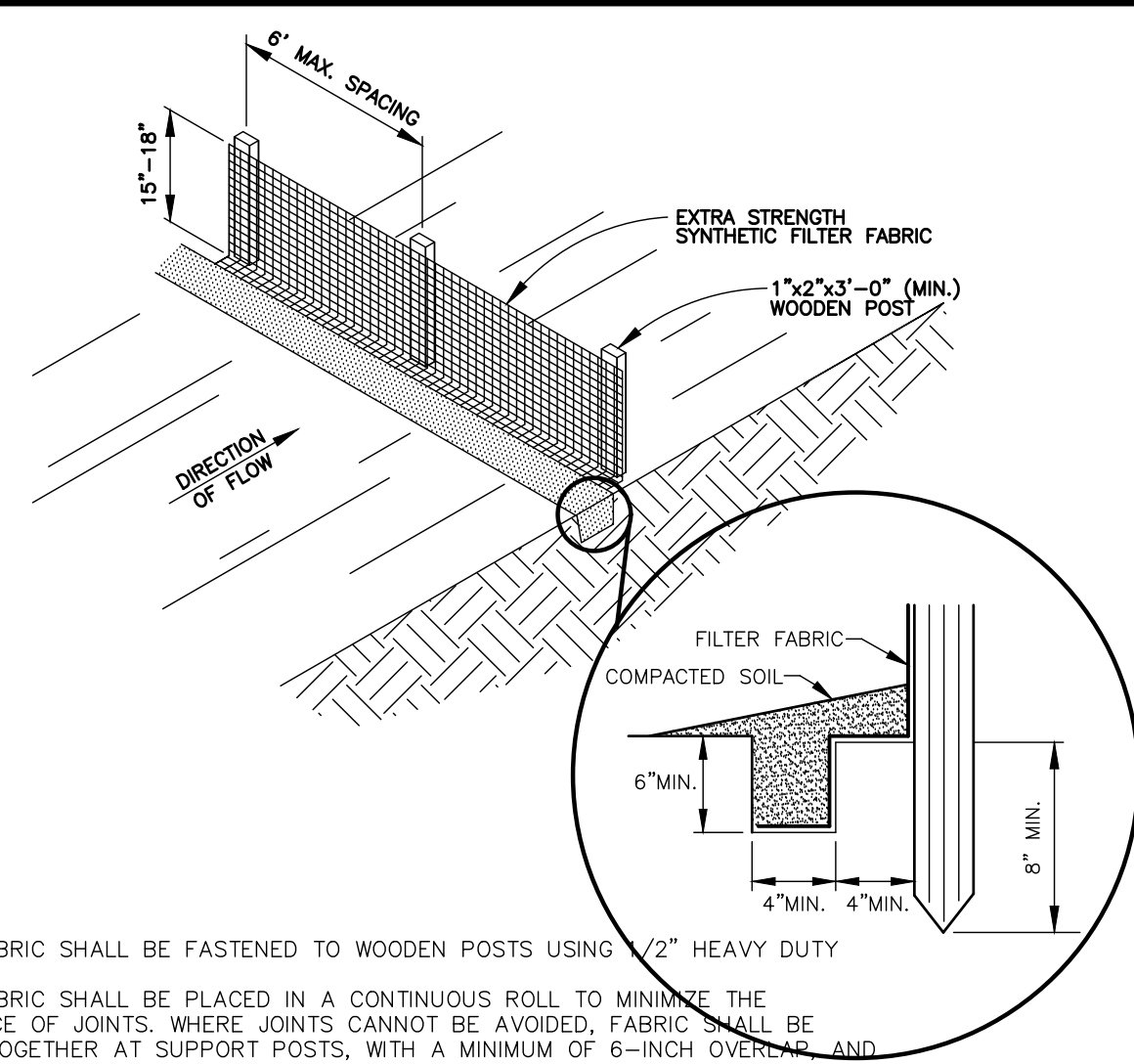
TEMPORARY STABILIZATION

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of surface water of the state and not at final grade	Within two days of the most recent disturbance. If the area will lie dormant for more than 14 days
For all construction activities, any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of surface water of the state	Within seven days of the most recent disturbance within the area
Disturbed areas that will lie idle over winter	Prior to the onset of winter weather

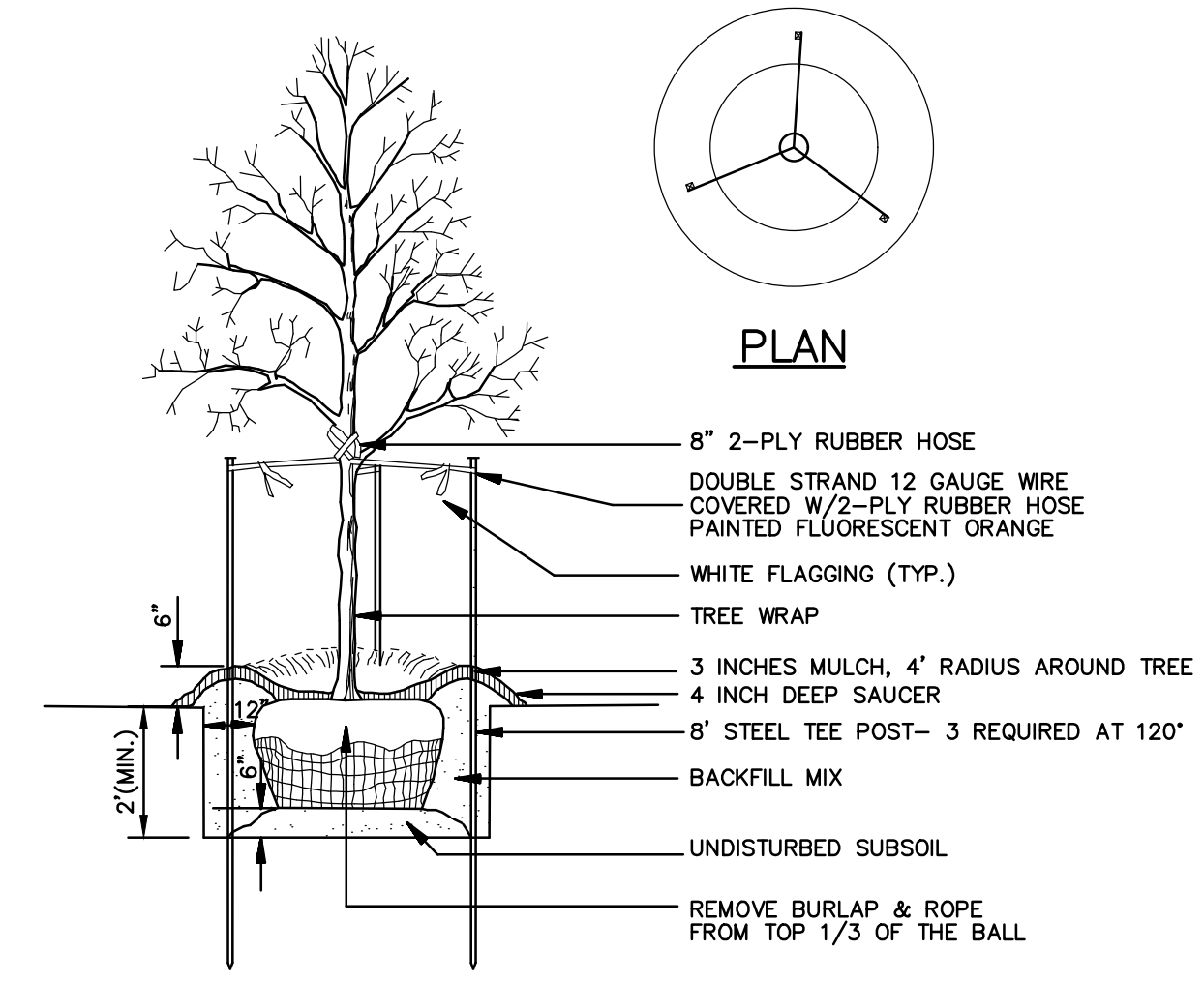
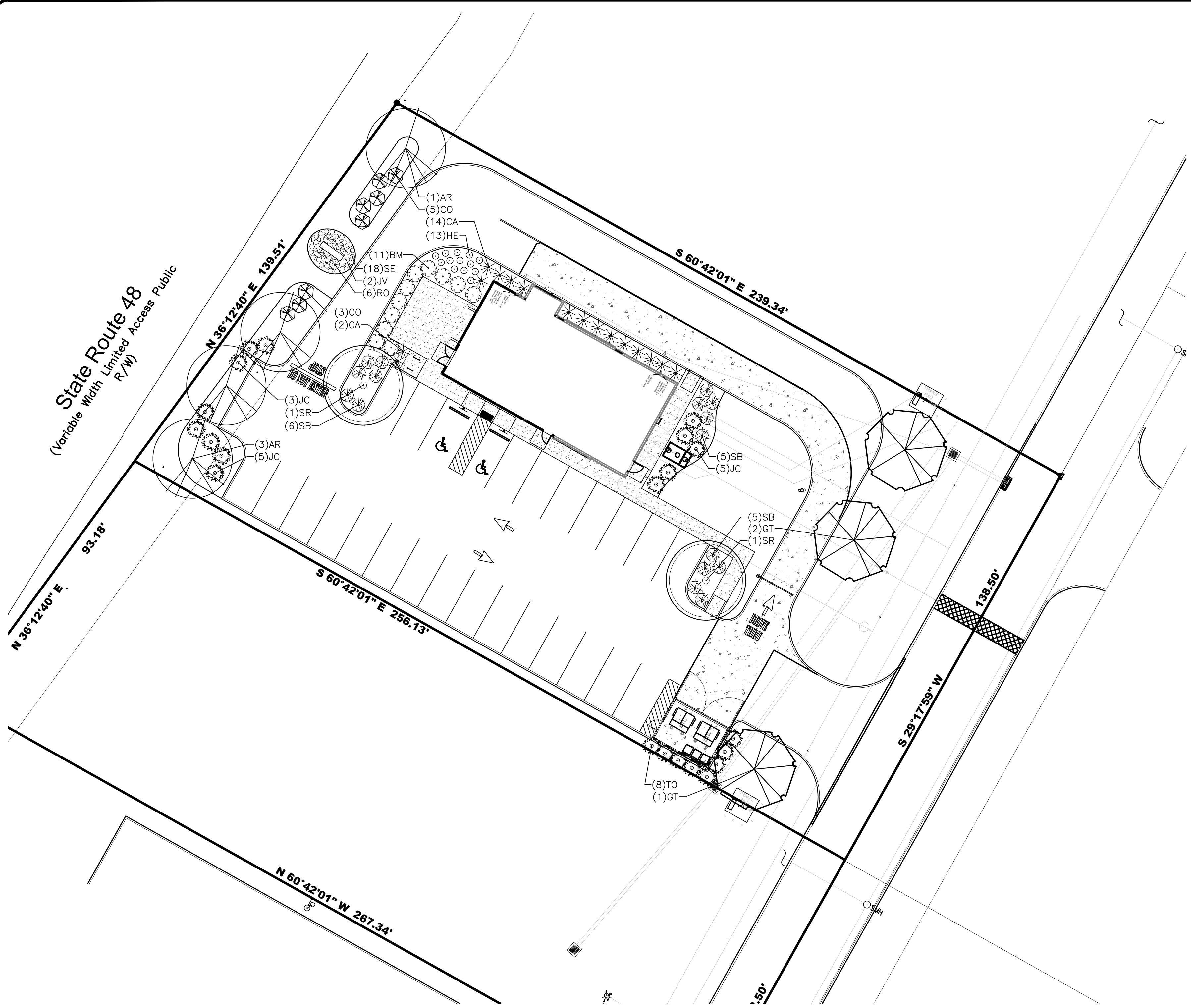
CONSTRUCTION SEQUENCE:

THE CONSTRUCTION SEQUENCING FOR SITE WORK SHOULD BE SIMILAR IN NATURE TO THE FOLLOWING:

- CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
- GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
- INSTALL STORMWATER MANAGEMENT SYSTEMS. INLET FILTERS SHALL BE INSTALLED CONCURRENTLY WITH THE CONSTRUCTION OF THE STRUCTURE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE, AND UPSTREAM AREAS HAVE BEEN STABILIZED.
- TEMPORARY VEGETATIVE STABILIZATION OR EROSION AND SEDIMENT CONTROL MEASURES.
- GRADING OF ROADS, STREETS, OR PARKING AREAS, ETC.
- INSTALLATION OF ALL UTILITIES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

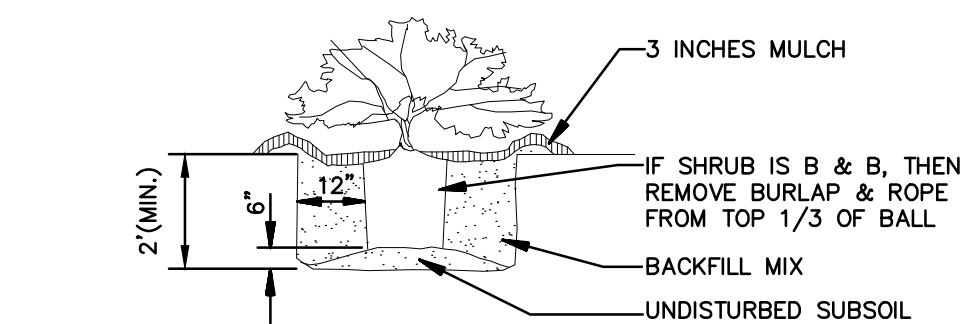






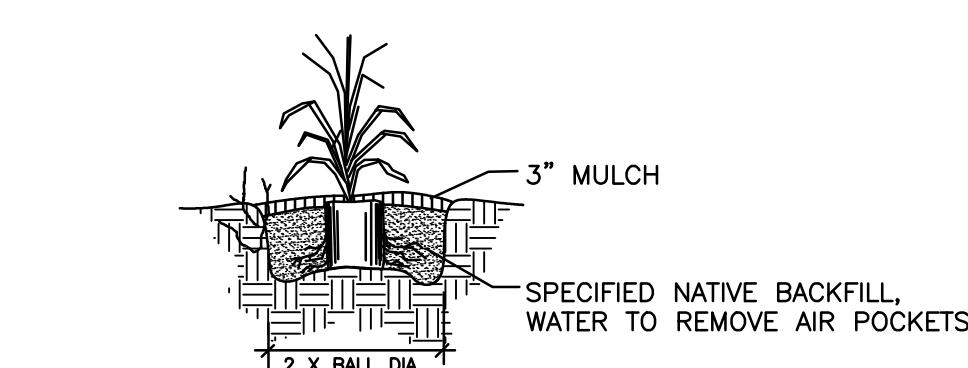
### TREE PLANTING

NOT TO SCALE



### SHRUB PLANTING

NOT TO SCALE



### PERENNIAL PLANTING DETAIL

NOT TO SCALE

- ① LOOSEN SOIL IN ROOT BALL AND SPREAD ROOTS PRIOR TO PLACING IN PIT.

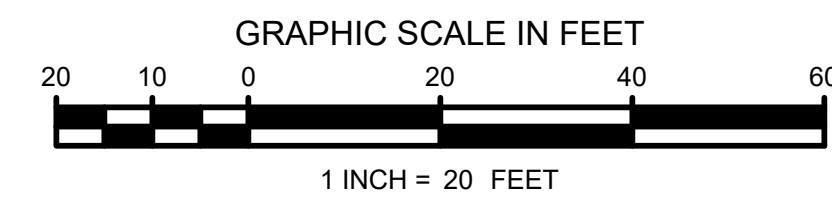
### LANDSCAPE NOTES:

- ALL PLANTING BEDS TO BE TILLED TO A DEPTH OF 4\".
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- IT IS THE CONTRACTORS OPINION WETHER TO STAKE OR NOT A TREE. BUT IT IS THE CONTRACTORS RESPONSIBILITY TO ASSURE PLANTS REMAIN IN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD.
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF SPECIFIED.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE INCHES. APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING.

### PERMANENT SEEDING

- ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEEDED IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURE'S WRITTEN RECOMMENDED RATE.
- TILL AREAS TO BE SEEDED TO A DEPTH OF 4\".
- PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 WITH EROSION CONTROL FIBER MESH.
- PROTECT SEEDED AREAS WITH STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO A DEPTH OF 1\" OVER SEEDED AREAS.

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	REMARKS
CANOPY TREES						
AR	4	Acer rubrum 'October Glory'	October Glory Maple	1 3/4\" cal.	B&B	Straight Central Leader
GT	3	Gleditsia triacanthos 'Inermis' 'Skyline'	Skyline Honeylocust	1 3/4\" cal.	B&B	Straight Central Leader
SR	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	1 3/4\" cal.	B&B	Straight Central Leader
SHRUBS						
BM	12	Buxus microphylla 'Green Velvet'	Green Velvet Boxwood	24\"	B&B	
CA	16	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass		#2 cont.	
CO	8	Cornus alba 'Ivory Halo'	Red Twig Dogwood	24\" ht.	#3 cont.	
JC	13	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24\" ht.	B&B	
JV	2	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	24\" ht.	B&B	
RO	6	Rosa 'Pink Drift'	Pink Drift Rose		#2 cont.	
SB	16	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	24\" ht.	B&B	
TO	8	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	4' ht.	B&B	
PERENNIALS/GROUNDCOVERS						
HE	13	Heemerocalis 'Stella de Oro'	Stella de Oro Daylily		#1 cont.	
SE	18	Sedum spectabile 'Autumn Joy'	Autumn Joy Stonecrop		#1 cont.	



UNDERGROUND UTILITIES  
TWO WORKING DAYS  
**BEFORE YOU DIG**  
CALL 1-800-362-2764 (TOLL FREE)  
OHIO UTILITIES PROTECTION SERVICE

REVISION NUMBER: DATE: REMARKS:

2K Landscape Architecture, LLC  
2234 Harvest Ave.  
Cincinnati, Ohio 45213  
513.228.8572  
www.2KlandscapeArchitecture.com

LANDSCAPE PLAN

CHIPOTLE

CORWIN NIXON BLVD  
CITY OF S LEBANON, WARREN COUNTY, OHIO

OWNER:

PROJECT NO.: 2020-25

DATE: JULY 24, 2020

DRAWN BY: KTC

CHECKED BY: KTC

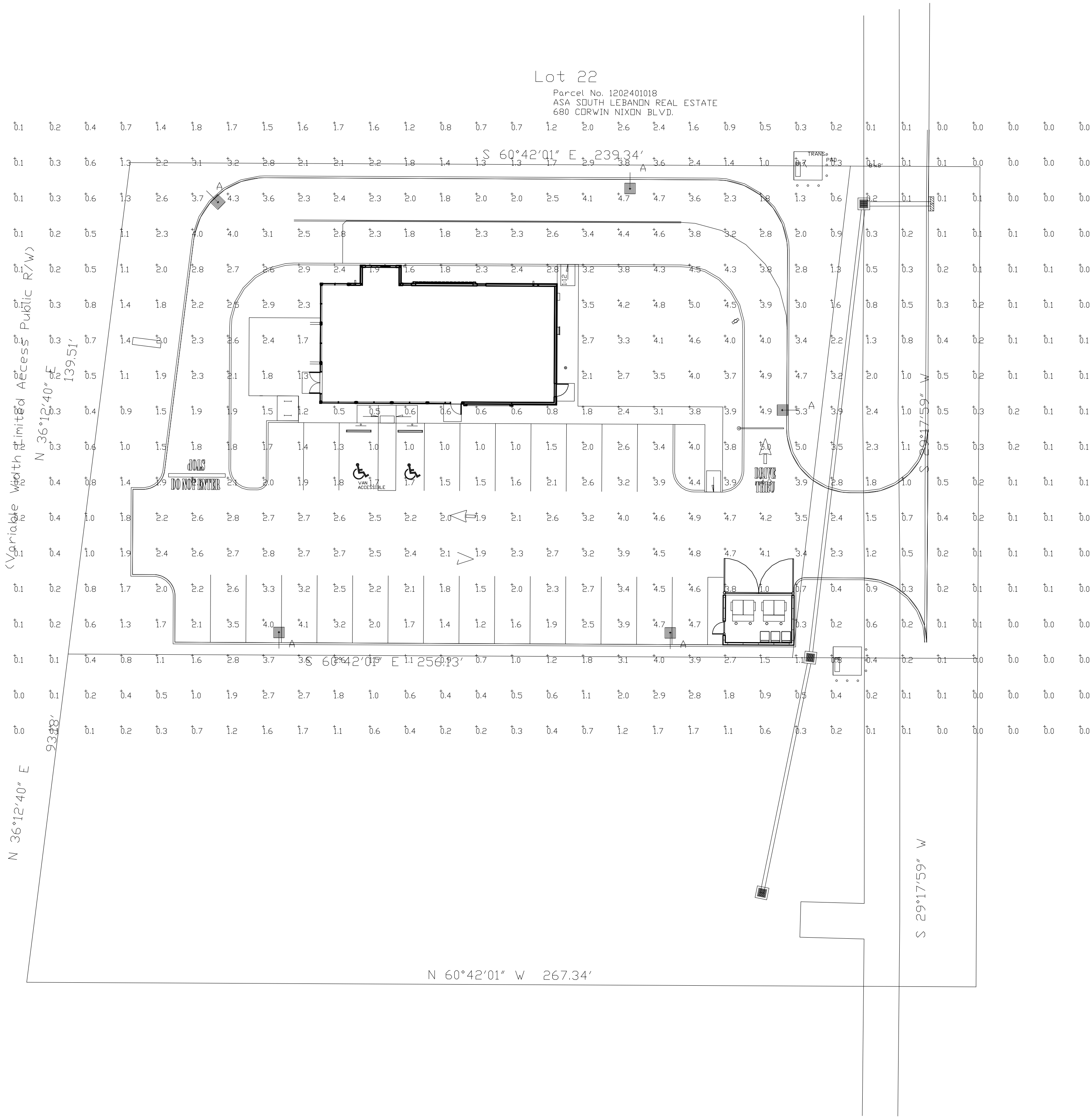
SCALE: 1" = 20'

SHEET:

L-1



State Route 48



Click image to open Product Page

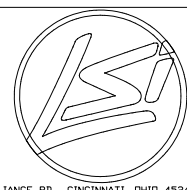

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.61	5.3	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	2.77	5.0	1.0	2.77	5.00

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
	5	A	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-24' MT HGT	1.000	1.000	1.000	19664	148.5

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 742.5



1000 ALLIANCE RD. CINCINNATI, OH 45240 USA  
2520 793-3888 • FAX 2520 793-8883

LIGHTING PROPOSAL

CHIPOTLE  
STATE ROUTE 48  
SOUTH LEBANON, OH

DATE: 7-23-20  
REV: 1  
SHEET 1 OF 1

SCALE: 1"=20'

0 20

## **Staff Report for Chipotle Site Plan**

### **Project Description**

Chipotle has submitted a site plan for the property located on Corwin Nixon Blvd, South Lebanon, Ohio. The tract is .7887 acres in size. They are proposing to build a Chipotle that will be 2,325 sf in size and a one-story building. The building dimensions are 66'-6" X 39'-0". Patrons will enter from the south elevation and the drive-thru will be on the west elevation.

### **Parcel Description**

The parcel number is 12-0240-1022 and is located in the Kings School District. This is an existing vacant lot that is currently lot 26 of the River Crossing 1-B Subdivision.

### **Zoning**

The parcel is zoned B-2 General Business District which allows for general business uses such as the following:

- Animal Hospitals/Kennels;
- Automotive, mobile home, farm implement, sales, service, rental or lease establishments;
- Building and related trades, including sales areas;
- Business or professional offices;
- Car washes;
- Churches and similar places of worship;
- Financial institutions;
- Home furnishings sales/rental/repair;
- Medical clinics;
- Motels and hotels;
- Motion picture theaters, indoor or outdoor printing, copying and publishing establishments;
- **Restaurants;**
- Retail stores including those which sell petroleum products and may do on-site servicing or repair work;
- Service businesses which may do on-site installation or repair work;
- Studios, salons and health clubs;

## Existing Requirements B-2 District

- Max height – 35'-0". **The building will be 19'-6" in height.**
- Front Yard – 20'-0"; **The lot has a 20'-0" front yard setback.**
- Side Yard – 10'-0"; **The lot has two 10'-0" side yards.**
- Rear Yard – 20'-0"; **The lot has a 20'-0" rear yard setback.**
- Min Lot Size – 8,000 sf; **The lot is 34,311 sf in size.**
- Frontage – 60'-0". **The lot has 138.50 feet of frontage.**

## Parking Requirements

- All parking spaces must be at least 162 sf in size.
- Parking lots can be no closer than 3 feet to the property line.
- Parking lots can be located in required yards with property screening.
- Parking lots must be a hard surface, graded and drained with parking barriers.
- If more than 20 spaces, they must be marked.
- Circulation signage is permitted.
- If the parking lot is lighted, it must be illuminated away from any residential districts.
- 15.12.7; Required parking spaces – 1 for each 125 sf of floor area plus 1 for each 2 employees. **19 parking spaces plus 1 for each 2 employees are required to meet the square footage requirement and there are 26 spaces shown on the plan.**
- 15.12.8; Handicapped parking spaces – 1 space per 25 spaces. **1 space is required and there are 2 shown on the plan.**
- 15.12.10; Off-street loading – 1 space is required if the building is over 3,000 sf. plus one additional if over 10,000. **There are no loading spaces required.**
- If the parking lot is lighted, it must be illuminated away from any residential districts. **There are 5 proposed lights surrounding the perimeter of the paved area.**
- 15.12.5; Off-Street Storage Area for Drive-In Services – restaurants with drive-up windows that can serve customers in 3 minutes or less shall provide no less than 3 storage space per window. **There are 9 spaces required (3 windows). There is one area that can hold approximately 9 cars as it wraps around the building from the parking lot.**

## Signage

- Signs can be illuminated.
- No flashing lights are permitted.

- Signs must be setback at least 10'-0" from the ROW.
- Building signs must be within the wall space.
- Free-standing signs cannot exceed 28'-0" in height in the business district.
- Ground signs cannot exceed 8'-0" in height.
- 15.16.9; 75 – 100 feet of frontage, 1 sf per lineal foot of frontage. Lot is 138 feet wide therefore sign cannot exceed 138 sf in size. ***Proposed ground sign is roughly 67.33 sf. and is 4'-8" tall. The sign is 10'-0" from the ROW. The sign will be internally LED illuminated double-sided aluminum cabinet with routed faces backed with white acrylic decorated translucent vinyl and pole cover with vinyl address.***
- Building signs can be 1.5 sf for the building façade. Other frontage cannot exceed 75 sf. ***There are two proposed building signs that are 30 sf in size (60 sf total) on the south and east elevation. Max square footage allowed is 58.5 sf. There is no rear sign proposed.***

## Landscaping

- All unpaved areas must be planted with grass, ground cover, trees or shrubs. 5% of the lot must be landscaped. ***There is interior landscaping and they have provided 1 shade tree and 43 shrubs next to the building on the State Route 48 side, 1 tree and 5 shrubs in the island next to the drive-thru and 3 trees and 8 shrubs along the frontage of Corwin Nixon.***
- 15.17.5; All parking lots must be screened and the screen must be 10'-0" wide with a 30" continuous screen planting or decorative wall. There must be 1 deciduous tree per 30 lineal feet. There is 233 linear feet along the parking lot side of the lot (south). ***8 trees are needed with a continuous screen. There is only 5'-0" between the parking area and the lot next door. No landscaping is shown.***
- 15.17.8; Commercial landscaping adjacent to the ROW. Arterials "A" – 20'-0" width, 30'-0" high – must contain 1 tree and 6 shrubs for every 30 lineal feet of frontage. ***5 trees and 15 shrubs are required along State Route 48. There are 4 trees and 18 shrubs shown across the frontage.***
- Dumpsters must be screened and must be located in the side or rear yard with 6'-0" tall screen. ***Site plan indicates that the dumpster is located in the front yard and is screened on all 4 sides.***

## Items to Consider

- Sidewalks along State Route 48?



- It is recommended that all lots (businesses) along SR48 have similar landscaping features so that it draws your eye to the buildings and there is a uniformity along SR48 that is unique to South Lebanon.



**VILLAGE OF SOUTH LEBANON**  
**Site Plan Approval Checklist**

**Development Name:** Chipotle Site Plan  
**Reviewed By:** Michael Kunzi—Choice One Engineering

**Date Received** 08/27/20  
**Date Reviewed** 09/01/20

**All items below are required for site plan approval from the Village Engineer**

	<b>Approved</b>	<b>Comments</b>
<b>1. Required Information</b> <span style="float:right">Sec 15.18.20</span>		
a. Appropriate Scale	<input checked="" type="checkbox"/>	
b. Sec 15.18.20.2 (a-n)	<input checked="" type="checkbox"/>	
c. Sec 15.18.20.3 (a-x)	<input type="checkbox"/>	- Confirm fire lane designation
d. Sec 15.18.20.4 (a-g)	<input checked="" type="checkbox"/>	
e. Sec 15.18.20.5 (a-f)	<input checked="" type="checkbox"/>	
a. Sec 15.18.20.6 (a-l)	<input type="checkbox"/>	- N/A
b. Sec 15.18.20.7 (a-b)	<input type="checkbox"/>	- Indicate number of employees
c. Sec 15.18.20.8	<input checked="" type="checkbox"/>	
d. Sec 15.18.20.9	<input checked="" type="checkbox"/>	
<b>2. Drainage Plan</b> <span style="float:right">Sec 15.18.21.12</span>		
Floodway/Floodplain Impacts	<input checked="" type="checkbox"/>	
Detention and Retention Basin Calculations	<input checked="" type="checkbox"/>	Using regional detention basin
Overflow Routing on and off-site	<input checked="" type="checkbox"/>	Using regional detention basin
Storm Sewer	<input checked="" type="checkbox"/>	
<b>3. Utility Connection Plan</b> <span style="float:right">Sec 15.18.21.15</span>		
a. Main Extension Plan	<input checked="" type="checkbox"/>	
b. Lateral Service Plan	<input checked="" type="checkbox"/>	Do not show sanitary cleanout on top of electric line
<b>4. Access Control Plan</b> <span style="float:right">Sec 15.18.21.8-11,20-21</span>		
a. Driveway Widths and Locations	<input checked="" type="checkbox"/>	
b. Emergency Vehicle Access	<input type="checkbox"/>	- Confirm fire lane is acceptable
c. Pedestrian Access	<input checked="" type="checkbox"/>	
d. Coordination with Adjacent Sites	<input checked="" type="checkbox"/>	
e. Barrier-free Access	<input checked="" type="checkbox"/>	
<b>5. Off-Street Parking</b> <span style="float:right">Sec 15.12</span>		
a. Sec 15.12.2 (1-12)	<input type="checkbox"/>	Revise ADA accessible stall that is only 8' wide. Min width for spot is 9'
b. Sec 15.12.3 and 15.12.7	<input checked="" type="checkbox"/>	
c. Sec 15.12.4	<input checked="" type="checkbox"/>	
d. Sec 15.12.5	<input checked="" type="checkbox"/>	
e. Sec 15.12.6	<input checked="" type="checkbox"/>	
f. Sec 15.12.8	<input checked="" type="checkbox"/>	
g. Sec 15.12.9	<input checked="" type="checkbox"/>	
h. Sec 15.12.10	<input checked="" type="checkbox"/>	
i. Sec 15.12.11 (1-4)	<input checked="" type="checkbox"/>	
<b>6. Erosion Control</b> <span style="float:right">Sec 15.18.21.13</span>		
a. Erosion Control Plan	<input checked="" type="checkbox"/>	



**VILLAGE OF SOUTH LEBANON**  
**Site Plan Approval Checklist**

**Development Name:** Chipotle Site Plan  
**Reviewed By:** Michael Kunzi—Choice One Engineering

**Date Received** 08/27/20  
**Date Reviewed** 09/01/20

7. Lighting Plan	Sec 15.18.21.14		
a. Compliance with Sec 15.18.21.14		<input type="checkbox"/>	Foot candles should not spill over onto adjacent properties
8. Appearance	Sec 15.18.21.3		
a. Compliance with Sec 15.18.21.3		<input checked="" type="checkbox"/>	
9. Landscape Plan	Sec 15.17		
a. Sec 15.17.4 (a-b)		<input checked="" type="checkbox"/>	
b. Sec 15.17.5.1 (a-d)		<input type="checkbox"/>	Confirm no buffer desired on south portion of site
c. Sec 15.17.6 (1-3)		<input checked="" type="checkbox"/>	
d. Sec 15.17.7		<input checked="" type="checkbox"/>	
e. Sec 15.17.8		<input checked="" type="checkbox"/>	
f. Sec 15.17.9.1		<input checked="" type="checkbox"/>	
g. Sec 15.17.9.2 (a-c)		<input checked="" type="checkbox"/>	
h. Sec 15.17.10 (1-4)		<input checked="" type="checkbox"/>	
i. Sec 15.17.11 (1-2)		<input checked="" type="checkbox"/>	
10. Screening	Sec 15.18.21.16		
a. Privacy		<input checked="" type="checkbox"/>	
b. Off-Street Parking		<input checked="" type="checkbox"/>	
c. Loading Areas		<input checked="" type="checkbox"/>	
d. Dumpster Enclosure		<input checked="" type="checkbox"/>	
11. All Other Items			
General Comments	<p>- Sign permits are approved separately from the site plan</p> <p>Choice One recommends approval of the plans based on the applicant revising the site plan to account for the above comments.</p>		