PLANNING COMMISSION AGENDA



Planning Commission Meeting 6:30 PM Tuesday, April 30, 2019

South Lebanon Municipal Building 10 N. High Street South Lebanon, Ohio 45065

	Agenda Item					
1.	Call to Order					
2.	Pledge of Allegiance					
3.	Roll Call					
4.	Open Forum					
5.	Review and Approval of Minutes					
	A. Minutes of February 28, 2019					
6.	Public Hearing - None					
7.	Old Business					
	A. None					
8.	New Business					
	A. Case 19-08P: Application for Final Plat Approval for Wynstead Section 4, Phase B Subdivision					
	B. Case 19-09P Application for Final Plat Approval for Grants Frederick Section 2, Block "B" Subdivision					
	C. Case 19-10P Application for Final Plat Approval for Rivers Crossing West Section 2 Subdivision					
	D. Case 19-11P. – Application for Site Plan for General Electric Credit Union in Rivers Crossing West Section 2					
	E. Case 19-12P. – Rezoning of 5.001 Acres Parcel on Turtlecreek Road from B-2 (General Business District) to MEP (Mineral Extraction and Processing District)					
9.	Communications					
10.	Adjournment					
Memb	ers of the public may address the Planning Commission during the Open Forum segment of					

Members of the public may address the Planning Commission during the Open Forum segment of the agenda and shall be limited to five minutes each. After the speaker concludes remarks, the Planning Commission may comment or ask questions at that time. The Chairperson may at his or her discretion restrict duplicate testimony on a particular subject.



Village of South Lebanon 10 N. High St. South Lebanon, Ohio 45065 Ph:(513)494-2296 Fax:(513)494-1656

www.southlebanonohio.org

Planning Commission Meeting MEETING MINUTES Thursday, February 28, 2019

Members Present:

Darrick Zucco Jim Smith Tom Hunsche Bill Madison **Members Absent:**

Staff:
Jerry Haddix,
Administrator
Brianna Koutny,
Clerk

- 1. Call to order at 6:00p.m.
- 2. Roll Call
- 3. Pledge of Allegiance
- 4. Open Forum: None
- 5. Review and Approval of Minutes from Feburaury 12th, 2019. A motion to approve was made by Jim Smith, and seconded by Bill Madison. A vote was taken. All YEAS.
- 6. Public Hearing: None
- 7. Old Business: None
- 8. New Business: Case 19-07P: Application for Final Plat Approval for Shepherd's Crossing Section 4 Subdivision Administrator, Jerry Haddix states this is Section 4 of the Shepherd's Crossing (formerly known as the Woodknoll) Panned unit Development (PUD). This PUD consists of 13 lots and on 3.6 acres. He states there will be 2 additional open space lots added, consisting of 18.564 acres. Haddix states these will be the final pieces to the Woodknoll development, which started development in the late 1990's. Haddix recommends approval of the final plat upon compliance with the listed conditions in the staff report as follows:
 - a) Comply with all comments from the Village Engineer, Warren Co. Tax Map Dept. or any other reviewing agency;
 - b) Provide the statements pursuant to Section 15.20.10 of Village Subdivision Regulations.; and
 - c) Per Village Subdivision regulations, Developer to enter into a Development Agreement with the Village prior to Village Council approval of Record Plat

	A motion was made to approve based on the listed conditions by Bill Madison and seconded by Jim Smith. A vote was taken, all YEAS.
9.	Communications : None
10.	Adjournment: A motion to adjourn was made by Jim Smith and seconded by Bill Madison. A vote was taken, all YEAS.

Darrick Zucco – Chairman

Brianna Koutny - Clerk

VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission

FROM: Jerry Haddix, Village Administrator

RE: Case 19-08P, Final Plat Approval, Wynstead Section 4, Phase "B" Subdivision

DATE: April 25, 2019

On the agenda for April 30th meeting is Case #19-08P, an application for approval of the Final Record Plat for the Wynstead Section 4 Phase "B" Subdivision (the "Property") submitted by Bayer Becker Engineers on behalf of Grand Communities, Ltd. (aka Fischer Homes) (the "Owner").

Background

On March 28, 2017, the Village Planning Commission passed a motion that granted conditional approval of the Final Development Plan for the Wynstead Section 4 consisting of a total of 42 single family lots comprising 7.824 acres. On March 6, 2018, the Village Planning Commission passed a motion that granted conditional approval of the Final Development Plan for the Wynstead Section 5 consisting of a total of 49 single family lots comprising 9.816 acres. This phase is a combination of the planned Sections 4-B & 5-B along Emerald Drive and Noble Court and will consist of 34 lots comprising 6.8553 acres. This will complete the south portion of the Wynstead development. The final plat has been sent to the Village's engineer on this development and to other agencies for review and comments. Bayer Becker, the Developer's engineer, has made the corrections from Choice One Engineering and the Warren County Map Room. We are awaiting comments from the other utilities.

Code Analysis

Pursuant to Section 15.20.4 of the Village Zoning Code, a subdivision developer, after receiving approval of the preliminary plat of the proposed subdivision, shall submit a final plat for the subdivision and drawings and specifications of the improvements required therein. The final plat shall be filed with the Planning Commission not later than twelve months after the date of approval of the preliminary plat.

Zoning Process

The Planning Commission shall approve or disapprove the final plat within thirty days after it has been filed. If the plat is disapproved, the grounds for disapproval shall be stated in the records of the Commission, and a copy of said record shall be forwarded to the developer. The Commission shall not disapprove the final plat if the developer has done everything that he was required to do and has proceeded in accordance with the conditions and standards specified in the approved preliminary plat. If disapproved, the developer shall make the necessary corrections and resubmit the final plat within thirty days to the Commission for its final approval.

When the final plat has been approved by the Commission, the original tracing (Mylar) shall be signed by the chairperson of the Commission and returned to the Owner for filing with the Court Recorder after all necessary certifications are received.

Recommendation

Staff recommends that the Planning Commission adopt a motion to approve the Final Record Plat and authorize Chairman Zucco to sign the Mylar with the following conditions:

- 1. Comply with all comments from the Village Engineer, Warren Co. Tax Map Dept. or any other reviewing agency
- 2. Provide the statements pursuant to Section 15.20.10 of Village Subdivision Regulations.
- 3. Per Village Subdivision regulations, Developer to enter into a Development Agreement with the Village prior to Village Council approval of Record Plat.

Attachments

Final Record Plat Planning Commission Application

DEED REFERENCE

SITUATED IN PART OF MILITARY SURVEY #1546, VILLAGE OF SOUTH LEBANON, HAMILTON TOWNSHIP, WARREN COUNTY OHIO, BEING ALL OF 6.8553 ACRES AS CONVEYED TO GRAND COMMUNITIES, LLC AS RECORDED IN DOCUMENT NUMBER 2019-004887 OF THE DEED RECORDS OF WARREN COUNTY, OHIO.

THE WITHIN SUBDIVISION IS SUBJECT TO THE DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR WYNSTEAD WHICH IS RECORDED IN THE DEED OF RECORDS OF WARREN COUNTY, OHIO COMMENCING WITH OFFICIAL RECORD 3902 PAGE 473, AND THE ARTICLES OF INCORPORATION AND CODE OF REGULATIONS FOR THE ASSOCIATION. SAID DECLARATION MAY BE AMENDED, SAID AMENDMENT(S) RECORDED IN THE DEED RECORDS OF WARREN COUNTY, OHIO.

DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS, PARKS OR PUBLIC GROUNDS AS SHOWN HEREON TO THE PUBLIC USE FOREVER.

ANY "PUBLIC UTILITY EASEMENTS" AS SHOWN ON THIS PLAT ARE FOR THE PLACEMENT OF PUBLIC UTILITIES, SIDEWALKS, AND TRAILS AND FOR THE MAINTENANCE AND REPAIR OF SAID UTILITIES, SIDEWALKS, AND TRAILS. THIS EASEMENT AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT, UNLESS DESIGNATED FOR A SPECIFIC PURPOSE, ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, OR OTHER UTILITY LINES OR SERVICES, SIDEWALKS, TRAILS, STORMWATER DISPOSAL AND FOR THE EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS INCLUDING, BUT NOT LIMITED TO DUKE ENERGY, SPRINT UNITED TELEPHONE, CHARTER COMMUNICATIONS, THE VILLAGE OF SOUTH LEBANON AND WARREN COUNTY.

ALL PERSONS INTERESTED IN THIS PLAT AS OWNERS HAVE UNITED IN ITS EXECUTION, SIGNED AND ACKNOWLEDGED IN THE PRESENCE OF

OWNER: GRAND COMMUNITIES, LLC
A KENTUCKY LIMITED LIABILITY COMPANY

NAME

PRINTED NAME: TODD E. HUSS, PRESIDENT

STATE OF KENTUCKY COUNTY OF BOONE

BE REMEMBERED THAT ON THIS ____ DAY OF ______, 2019, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY CAME GRAND COMMUNITIES, LLC, AS REPRESENTED BY TODD E. HUSS, ITS PRESIDENT, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR LAST AFORESAID.

NOTARY PUBLIC: _______

MY COMMISSION EXPIRES: _____

DRAINAGE STATEMENT

UNLESS OTHERWISE DESIGNATED ON THIS PLAT, A FIFTEEN (15) FOOT WIDE DRAINAGE EASEMENT SHALL EXIST ALONG ALL COMMON REAR LOT LINES AND A TEN (10) FOOT WIDE DRAINAGE EASEMENT SHALL EXIST ALONG ALL COMMON SIDE LOT LINES, WITH THE COMMON LINE BEING THE CENTERLINE OF SAID EASEMENT.

THE EASEMENT AREAS SHALL BE MAINTAINED CONTINUOUSLY BY THE LOT OWNER(S). WITHIN THE EASEMENTS, NO STRUCTURE, PLANTING, FENCING, CULVERT, OR OTHER MATERIAL SHALL BE PLACED OR PERMITTED TO REMAIN WHICH MAY OBSTRUCT, RETARD, OR DIVERT THE FLOW THROUGH THE WATERCOURSE.

THE VILLAGE OF SOUTH LEBANON ASSUMES NO LEGAL OBLIGATION TO MAINTAIN OR REPAIR ANY OPEN DRAIN, DITCHES OR WATERCOURSE WITHIN THE EASEMENT AREA UNLESS NOTED OTHERWISE ON THIS PLAT. HOWEVER, WHEN THE PLATTED RIGHT-OF-WAY AREA HAS BEEN PREVIOUSLY ACCEPTED FOR PUBLIC MAINTENANCE BY RESOLUTION OF THE BOARD OF TOWNSHIP TRUSTEES, THE BOARD OF TRUSTEES OR THEIR REPRESENTATIVES MAY ENTER UPON AND INSPECT THE EASEMENT AREAS AND, IN ACCORDANCE WITH SECTION 5589.06 OF THE OHIO REVISED CODE, MAY REMOVE OR CAUSE THE REMOVAL OF AN OBSTRUCTION ADVERSELY IMPACTING AN AREA WITHIN THE PUBLIC RIGHT-OF-WAY.

UNTIL THE EXPIRATION OF THE DEVELOPER'S PUBLIC IMPROVEMENT MAINTENANCE BONDING PERIOD, THE DEVELOPER (OR THEIR AGENTS) RESERVES THE RIGHT TO ENTER UPON ALL LOTS TO ESTABLISH OR RE-ESTABLISH DRAINAGE SWALES WITHIN ALL DRAINAGE EASEMENTS FOR THE PURPOSE OF CONTROLLING AND DIRECTING STORMWATER TO COLLECTION FACILITIES OR DRAINAGE CHANNELS.

THE PUBLICLY-MAINTAINED PORTION OF THE STORM SEWER SYSTEM WILL INCLUDE STORM DRAINS, CULVERTS, AND/OR DITCHES LOCATED WITHIN EITHER THE PUBLIC RIGHT-OF-WAY OR THE PUBLIC UTILITY EASEMENT AREA ADJACENT TO THE ROAD RIGHT-OF-WAY WITH THE EXCEPTION OF SUMP MAINS AND CULVERTS FOR PRIVATE DRIVEWAYS. WHERE, IN LIEU OF AN OPEN DITCH, A DEVELOPER, BUILDER OR LOT OWNER INSTALLS A STORM DRAIN ON PRIVATE PROPERTY, THE STORM DRAIN SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER TO ENSURE THAT NEITHER THIS PROPERTY OR ADJACENT PROPERTIES ARE NEGATIVELY IMPACTED, AND THE LOT OWNER(S) MUST NOTE THAT THEY ARE RESPONSIBLE FOR MAINTAINING THE STORM DRAIN UNLESS NOTED OTHERWISE ON THE PLAT.

THE HOME OWNER'S ASSOCIATION IS RESPONSIBLE FOR MAINTAINING ALL STORM WATER FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY INCLUDING SEWER, STRUCTURES, DETENTION/RETENTION BASINS, AND SUMP MAINS

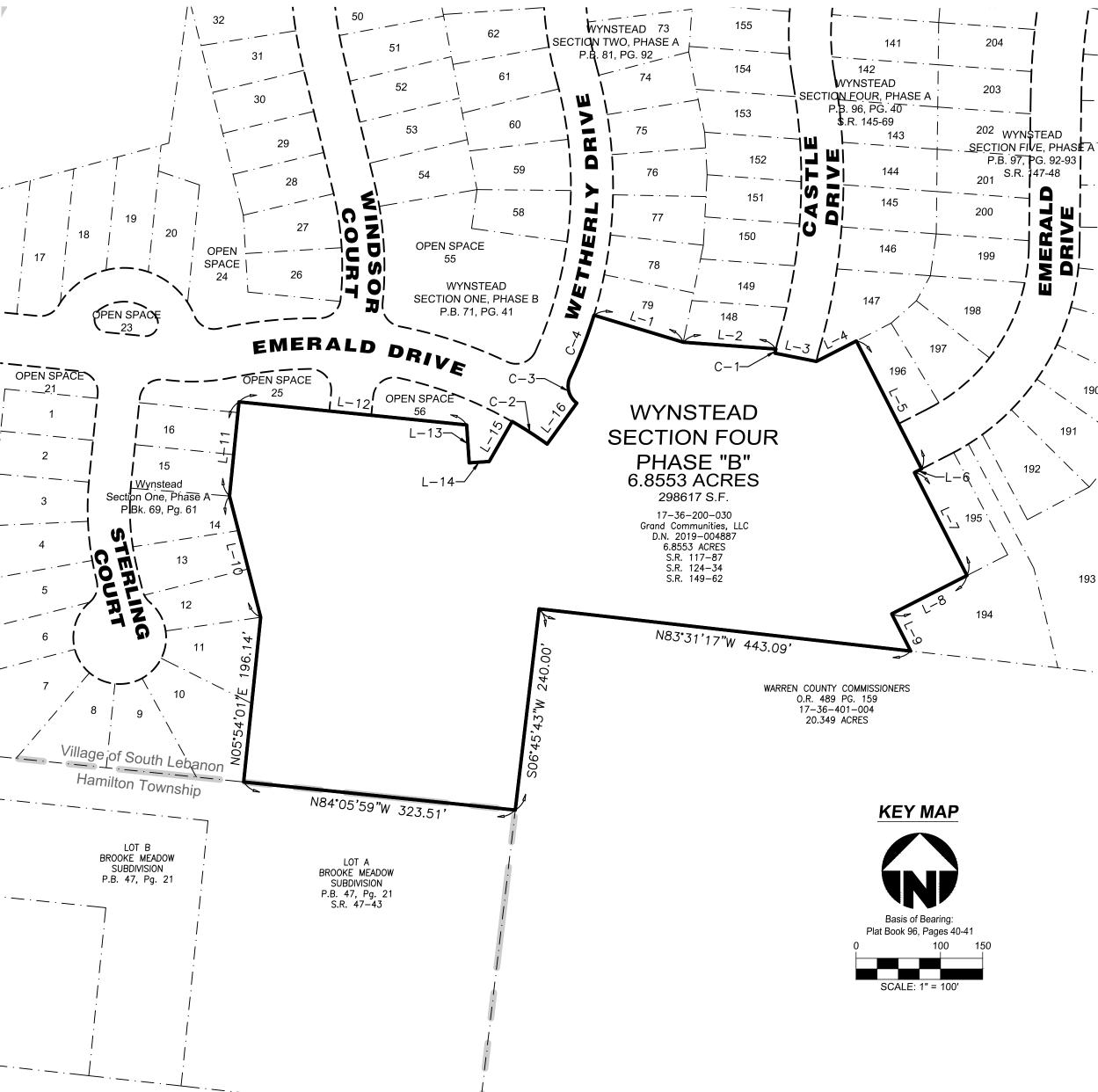
GRANT OF UTILITY EASEMENT

FOR VALUABLE CONSIDERATION, WE, THE UNDERSIGNED ("GRANTOR") DO HEREBY PERMANENTLY GRANT TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR PARENT ENTITY (OR ENTITY CONTROLLING BOTH ENTITIES), THEIR RESPECTIVE SUBSIDIARIES OR AFFILIATE ENTITIES, AND ANY OTHER PROVIDER OF UTILITY SERVICES ("GRANTEE") THEIR SUCCESSORS AND ASSIGNS, FOREVER, NON-EXCLUSICE EASEMENTS, AS SHOWN ON THE WITHIN PLAT AND DESIGNATED AS "UTILITY EASEMENTS" FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, OR REPLACEMENT OF ANY AND ALL NECESSARY FIXTURES FOR THE OVERHEAD OR UNDERGROUND DISTRIBUTION OF GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS OR OTHER UTILITIES ("GRANTEE FACILITIES" OR "FACILITIES"). THE GRANTEE SHALL HAVE THE RIGHT OF INGRESS AND EGRESS AND ALSO THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, UNDERGROWTH, OR OVERHANGING BRANCHES WITHIN THE UTILITY EASEMENTS OR IMMEDIATELY ADJACENT THERETO. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN THE UTILITY EASEMENTS AREA, NOR MAY THE UTILITY EASEMENTS AREA BE PHYSICALLY ALTERED TO (1) REDUCE THE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF GRANTEE FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE FACILITIES OR; (4) CREATE A HAZARD. TO HAVE AND TO HOLD THE EASEMENT FOREVER. WE ACKNOWLEDGE HAVING THE FULL POWER TO CONVEY THIS UTILITY EASEMENT AND WILL DEFEND THE SAME AGAINST ALL CLAIMS.

ALSO HEREBY GRANTED TO DUKE ENERGY OHIO/KENTUCKY, INC. AND ITS SUBSIDIARIES, SUCCESSORS, AND ASSIGNS IS THE RIGHT TO LATERALLY EXTEND, REPAIR, AND MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICES TO SERVICE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON WHICH THE SERVICE IS LOCATED. RECONSTRUCTION OR RELOCATION IS PERMISSIBLE ONLY WITH THE WRITTEN PERMISSION OF THE PARCEL OWNER AND SAID UTILITY PROVIDER TO A MUTUALLY AGREEABLE LOCATION. NO PART OF THE UTILITY EASEMENTS SHALL ENCUMBER EXISTING BUILDINGS OR ADJOINING LOTS.

WYNSTEAD SECTION FOUR, PHASE B

MILITARY SURVEY NO. 1546
VILLAGE OF SOUTH LEBANON
HAMILTON TOWNSHIP
WARREN COUNTY, OHIO
FEBRUARY, 2019



PUBLIC SANITARY SEWER EASEMENT

ANY "PUBLIC SANITARY SEWER EASEMENT" AS SHOWN ON THIS PLAT IS GRANTED IN FAVOR OF THE COUNCIL OF THE VILLAGE OF SOUTH LEBANON. THE EASEMENT GRANTS THE VILLAGE OF SOUTH LEBANON, ITS EMPLOYEES OR AGENTS, THE RIGHT TO ACCESS, SURVEY, CONSTRUCT, USE, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, AND REMOVE SANITARY SEWERS, FORCE MAINS, PUMP STATIONS, AND ALL NECESSARY RELATED ABOVE AND BELOW GROUND APPURTENANCES AND FOR THE EXPRESS PRIVILEGE OF CUTTING. TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS AND FOR PROVIDING INGRESS AND EGRESS AND TO THE PROPERTY FOR SAID PURPOSES AND ARE TO MAINTAINED FOR PUBLIC USE FOREVER. NO BUILDING OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OR EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) MODIFY THE AMOUNT OF COVER OVER THE UTILITY LINE; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

ROAD WAY DATA

EMERALD DRIVE 459.62 L.F.
CASTLE DRIVE 164.00 L.F.
NOBLE COURT 306.35 L.F.

ACREAGE TABLE

LOTS 5.5507 ACRES

RIGHT OF WAY 1.3046 ACRES

TOTAL SECTION FOUR, BLOCK B 6.8553 ACRES

MINIMUM LOT AREAS: 50' LOTS5000 SQ. FT.

SETBACKS:

SIDE YARD = 5' MINIMUM

FRONT YARD = 25'

REAR YARD = 25'

CURVE TABLE Curve Delta Radius Length Chord C-1 1°26'42" 200.00' 5.04' S11°57'22"W 5.04' C-2 6°01'13" 470.00' 49.38' S57°07'40"E 49.36' C-3 79°34'11" 25.00' 34.72' N14°19'58"W 32.00' C-4 8°34'30" 525.00' 78.57' N21°09'53"E 78.50'

OWNER

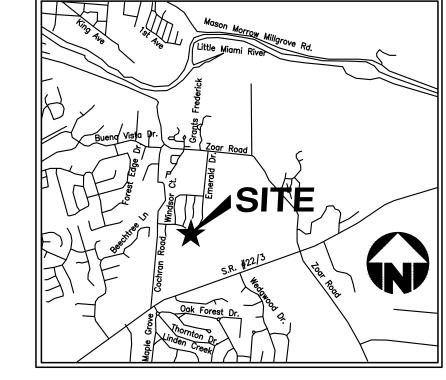
GRAND COMMUNITIES, LLC 3940 OLYMPIC BLVD, SUITE 100 ERLANGER, KY 41018 (859) 341-4709 THUSS@FISCHERHOMES.COM

SURVEYOR

BAYER BECKER 6900 TYLERSVILLE ROAD MASON, OH, 45040 (513) 336-6600

SHEET INDEX

1: TITLE 2: PLAT



VICINITY MA

VILLAGE OF SOUTH LEBANON PLANNING COMMISSION

THIS PLAT WAS APPROVED BY THE VILLAGE OF SOUTH LEBANON PLANING COMMISSION ON THIS _____ DAY OF ______, 2019.

CHAIRMAN _____

VILLAGE OF SOUTH LEBANON

I HEREBY CERTIFY THAT ON THE _____ DAY OF _____, 2019, THIS PLAT WAS APPROVED AND ACCEPTED BY RESOLUTION NO. _____ ADOPTED BY THE COUNCIL OF THE VILLAGE OF SOUTH LEBANON, OHIO.

_____ ATTEST:____ NICOLE ARMSTRONG, FISCAL OFFICER

SIDWELLS

LINE TABLE

Distance

110.44

110.07

50.00

53.23

170.16

9.50

136.96

100.00

49.44

148.32

112.12'

271.10

45.01

23.74

54.55

Direction

L-1 | S73°07'22"E

L-2 S85°48'05"E

L−3 S78°45'59"E

L-4 N62°51'23"E

L-5 | S27°00'48"E

L-6 | S62°59'12"W

L-7 | S27°00'48"E

L-8 | S62°59'12"W

L-9 | S27°00'48"E

_-10 | N14°26'04"W

L-11 | N05°46'49"E

L-12 | S84°13'11"E

L-13 | S03°49'59"E

L-14 | N86°10'01"E

L-15 N29°51'44"E

L-16 | N35°52'57"E |

OLD#	17-36-200-030	6.8553 ACRES
VEW		LOT 161
VEW		
VEW		
VEW		
NEW		
NEW		
NEW		
νEW		
NEW		
NEW		LOT 470
٧EW		LOT 171
νEW		
NEW		
VEW		
VEW		LOT 175
VEW		
VEW		LOT 177
NEW		
VEW		LOT 211
NEW		LOT 212
NEW		LOT 213
NEW		LOT 214
VEW		LOT 215
VEW		LOT 216
VEW		LOT 217
NEW		LOT 218
VEW		LOT 219
VEW		LOT 220
VEW		LOT 221
NEW		LOT 000
NEW		
NEW		LOT 224

____-_LOT 225

____-_LOT 226

____-___1.3046 AC. R/W

COUNTY AUDITOR TRANSFERRED ON THIS ____ DAY OF ______, 2019, AT ____ COUNTY AUDITOR DEPUTY

PRINTED NAME:

COUNTY RECORDER

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT THIS MAP IS A TRUE AND COMPLETE SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS AND LOT CORNER PINS ARE SET AS SHOWN.

BRIAN R. JOHNSON, P.S. PROFESSIONAL SURVEYOR #8484

IN THE STATE OF OHIO

BRIAN R.
JOHNSON
S-8484

ONAL
SIGNATURE
OF
OF
ONAL
SIGNATURE
OF
ON

Item Revision Description

1 ADD LOT WIDTHS ALONG CURVES PER COUNTY COMMENTS

B. ADD LOT WIDTHS ALONG CURVES PER COUNTY COMMENTS

CTION FOUR, PHAS MILITARY SURVEY #1546
VILLAGE OF SOUTH LEBANON HAMILTON TOWNSHIP

boyer Suite A Suite A

Drawing:

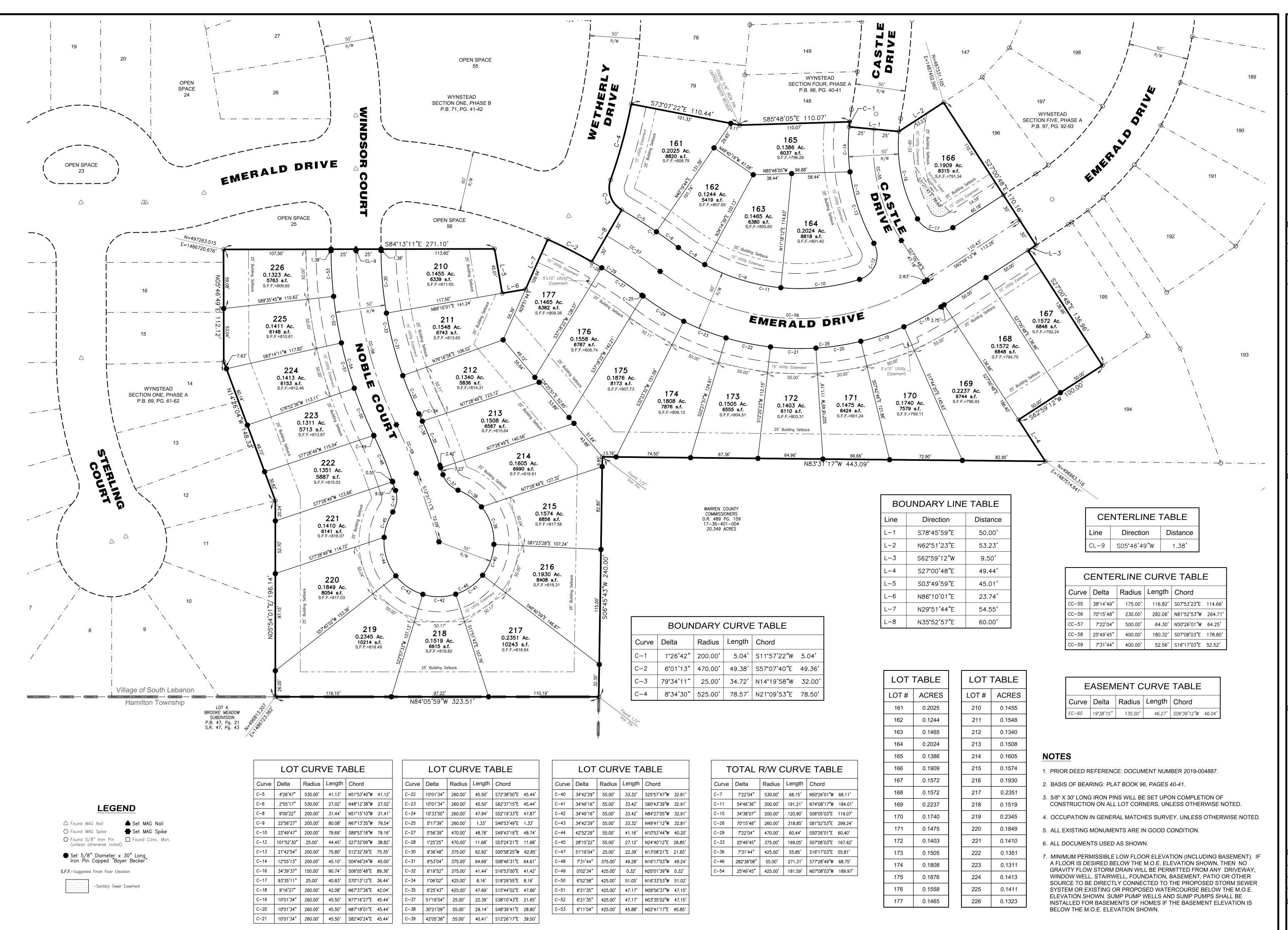
04M027-004 RP4B TITL
Drawn by:

BJI
Checked By:

BR
Issue Date:

02-05-1

1/2



Basis of Bearing:
Plat Book 96, Pages 40-41
0 40 6

SCALE: 1" = 40'

ADD LOT WIDTHS ALONG CURVES PER COUNTY COMMENTS

ADD LOT WIDTHS ALONG CURVES PER COUNTY COUNTY COMMENTS

ADD LOT WIDTHS ALONG CURVES PER COUNTY COUNT

MYTNSICAD
WYTNSICAD
ION FOUR, PHAS
MILITARY SURVEY #1546
VILLAGE OF SOUTH LEBANON
HAMILTON TOWNSHIP

awing:

04M027-004 RP4B
awn by:

BJR
ecked By:

BRJ

02-05-1

2/2

VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission

FROM: Jerry Haddix, Village Administrator

RE: Case 19-09P, Final Plat Approval, Grants Frederick Section 2, Block "B" Subdivision

DATE: April 25, 2019

On the agenda for April 30th meeting is Case #19-09P, an application for approval of the Final Record Plat for the Grants Frederick Section 2 Block "B" Subdivision (the "Property") submitted by Bayer Becker Engineers on behalf of Grand Communities, Ltd. (aka Fischer Homes) (the "Owner").

Background

On July 15, 2015, the Village Planning Commission passed a motion that granted conditional approval of the Final Development Plan for the Grants Frederick Section 2 consisting of a total of 58 single family lots comprising 23.0895 acres. Block "A" along Grants Frederick recorded on December 12, 2017, consisted of 17 lots comprising 4.9685 acres of the Section 2 plan. This plat ("Block B") consists of 22 single family lots comprising 10.54 acres, of which 5.27 acres is set aside as open space. The final plat has been sent to the Village's engineer on this development and to other agencies for review and comments. We are awaiting comments from the reviewing agencies.

Code Analysis

Pursuant to Section 15.20.4 of the Village Zoning Code, a subdivision developer, after receiving approval of the preliminary plat of the proposed subdivision, shall submit a final plat for the subdivision and drawings and specifications of the improvements required therein. The final plat shall be filed with the Planning Commission not later than twelve months after the date of approval of the preliminary plat.

Zoning Process

The Planning Commission shall approve or disapprove the final plat within thirty days after it has been filed. If the plat is disapproved, the grounds for disapproval shall be stated in the records of the Commission, and a copy of said record shall be forwarded to the developer. The Commission shall not disapprove the final plat if the developer has done everything that he was required to do and has proceeded in accordance with the conditions and standards specified in the approved preliminary plat. If disapproved, the developer shall make the necessary corrections and resubmit the final plat within thirty days to the Commission for its final approval.

When the final plat has been approved by the Commission, the original tracing (Mylar) shall be signed by the chairperson of the Commission and returned to the Owner for filing with the Court Recorder after all necessary certifications are received.

Recommendation

Staff recommends that the Planning Commission adopt a motion to approve the Final Record Plat and authorize Chairman Zucco to sign the Mylar with the following conditions:

- 1. Comply with all comments from the Village Engineer, Warren Co. Tax Map Dept. or any other reviewing agency
- 2. Provide the statements pursuant to Section 15.20.10 of Village Subdivision Regulations.
- 3. Per Village Subdivision regulations, Developer to enter into a Development Agreement with the Village prior to Village Council approval of Record Plat.

Attachments

Final Record Plat Planning Commission Application

THE WITHIN SUBDIVISION IS SUBJECT TO THE DECLARATIONS OF COVENANTS. OFFICIAL RECORD 5485, PAGE 600 AND THE ARTICLES OF INCORPORATION AND CODE OF REGULATIONS FOR THE ASSOCIATION. SAID DECLARATION MAY BE AMENDED, SAID AMENDMENT(S) RECORDED IN THE DEED RECORDS OF WARREN

SIDWELLS

OLD # 13-31-400-036

OLD # 13-31-400-022

OLD # 13-31-400-023

O/S = OPEN SPACE

SETBACKS

FRONT YARD = 25'

REAR YARD = 25'

ROAD WAY DATA

ACREAGE TABLE

TOTAL SECTION TWO "B"

GRANT OF UTILITY EASEMENT

OPEN SPACES

RIGHT OF WAY

ADJOINING LOTS.

GRANTS FREDERICK 854.17 L.F.

____-_LOT 79

9.8388 ACRES

0.1050 ACRES

0.5970 ACRES

LOT 98

4.3660 ACRES

5.2750 ACRES

0.8998 ACRES

10.5408 ACRES

FOR VALUABLE CONSIDERATION, WE, THE UNDERSIGNED ("GRANTOR") DO

ENTITY (OR ENTITY CONTROLLING BOTH ENTITIES), THEIR RESPECTIVE

SERVICES ("GRANTEE") THEIR SUCCESSORS AND ASSIGNS, FOREVER,

HEREBY PERMANENTLY GRANT TO DUKE ENERGY OHIO, INC. AND THEIR PARENT

NON-EXCLUSIVE EASEMENTS, AS SHOWN ON THE WITHIN PLAT AND DESIGNATED

TELEPHONE, TELECOMMUNICATIONS OR OTHER UTILITIES ("GRANTEE FACILITIES"

UNDERGROWTH OR OVERHANGING BRANCHES WITHIN THE UTILITY EASEMENTS

OR IMMEDIATELY ADJACENT THERETO. NO BUILDINGS OR OTHER STRUCTURES

MAY BE BUILT WITHIN THE UTILITY EASEMENTS AREA, NOR MAY THE UTILITY

OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND

SUPPORT OF GRANTEE FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE

FACILITIES OR (4) CREATE A HAZARD. TO HAVE AND TO HOLD THE EASEMENT

FOREVER. WE ACKNOWLEDGE HAVING FULL POWER TO CONVEY THIS UTILITY

ALSO HEREBY GRANTED TO DUKE ENERGY OHIO, INC. AND ITS SUBSIDIARIES,

EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON

PERMISSIBLE ONLY WITH THE WRITTEN PERMISSION OF THE PARCEL OWNER

AND SAID UTILITY PROVIDER TO A MUTUALLY AGREEABLE LOCATION. NO PART

WHICH THE SERVICE IS LOCATED. RECONSTRUCTION OR RELOCATION IS

OF THE UTILITY EASEMENTS SHALL ENCUMBER EXISTING BUILDINGS OR

SUCCESSORS AND ASSIGNS IS THE RIGHT TO LATERALLY EXTEND, REPAIR, AND

CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER

EASEMENTS AREA BE PHYSICALLY ALTERED TO (1) REDUCE THE CLEARANCES

SUBSIDIARIES OR AFFILIATE ENTITIES, AND ANY OTHER PROVIDER OF UTILITY

AS DESIGNED "UTILITY EASEMENTS" FOR THE CONSTRUCTION, OPERATION,

MAINTENANCE, REPAIR, OR REPLACEMENT OF ANY AND ALL NECESSARY

OR "FACILITIES"). THE GRANTEE SHALL HAVE THE RIGHT OF INGRESS AND

FIXTURES FOR THE UNDERGROUND DISTRIBUTION OF GAS, ELECTRIC,

EGRESS AND ALSO THE RIGHT TO CUT, TRIM OR REMOVE ANY TREES,

EASEMENT AND WILL DEFEND THE SAME AGAINST ALL CLAIMS.

MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS

Basis of Bearing:

PLAT BOOK 96, PAGE 72

__-__- R/W 0.8998 ACRES

OWNERS CONSENT AND DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS AS SHOWN HEREON TO THE PUBLIC USE

ANY "PUBLIC UTILITY EASEMENTS" SHOWN ON THIS PLAT AND TO THE EXTENT LOCATED IN EXISTING STREETS OF STREETS DEDICATED HEREBY ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT OR REMOVAL OF UNDERGROUND AND SURFACE MOUNTED WATER AND SEWER LINES AND FOR THE EXPRESS PRIVILEGE OF CUTTING. TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT. OR IMMEDIATELY ADJACENT THERETO. TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS. NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO: (1) REDUCE CLEARANCE OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS INCLUDING, BUT NOT LIMITED TO THE VILLAGE OF SOUTH LEBANON, DUKE ENERGY, UNITED TELEPHONE, CHARTER COMMUNICATIONS AND WARREN COUNTY.

OWNER: GRAND COMMUNITIES, LLC

STATE OF: KENTUCKY COUNTY OF: BOONE

BE REMEMBERED THAT ON THIS DAY OF ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY CAME GRAND COMMUNITIES, LLC AS REPRESENTED BY TODD E. HUSS, ITS PRESIDENT, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND NOTARY SEAL ON THE DAY AND DATE ABOVE WRITTEN.

NOTARY PUBLIC: ____ MY COMMISSION EXPIRES:

DRAINAGE STATEMENT

UNLESS OTHERWISE DESIGNATED ON THIS PLAT, A FIFTEEN (15) FOOT WIDE DRAINAGE EASEMENT SHALL EXIST ALONG ALL COMMON REAR LOT LINES AND A TEN (10) FOOT WIDE DRAINAGE EASEMENT SHALL EXIST ALONG ALL COMMON SIDE LOT LINES, WITH THE COMMON LINE BEING THE CENTERLINE OF SAID

THE EASEMENT AREAS SHALL BE MAINTAINED CONTINUOUSLY BY THE LOT OWNER(S). WITHIN THE EASEMENTS, NO STRUCTURE, PLANTING, FENCING, CULVERT, OR OTHER MATERIAL SHALL BE PLACED OR PERMITTED TO REMAIN WHICH MAY OBSTRUCT, RETARD, OR DIVERT THE FLOW THROUGH THE

THE VILLAGE OF SOUTH LEBANON ASSUMES NO LEGAL OBLIGATION TO MAINTAIN OR REPAIR ANY OPEN DRAIN, DITCHES OR WATERCOURSE WITHIN THE EASEMENT AREA UNLESS NOTED OTHERWISE ON THIS PLAT. HOWEVER, WHEN THE PLATTED RIGHT-OF-WAY AREA HAS BEEN PREVIOUSLY ACCEPTED FOR PUBLIC MAINTENANCE BY RESOLUTION OF THE BOARD OF TOWNSHIP TRUSTEES, THE BOARD OF TRUSTEES OR THEIR REPRESENTATIVES MAY ENTER UPON AND INSPECT THE EASEMENT AREAS AND, IN ACCORDANCE WITH SECTION 5589.06 OF THE OHIO REVISED CODE, MAY REMOVE OR CAUSE THE REMOVAL OF AN OBSTRUCTION ADVERSELY IMPACTING AN AREA WITHIN THE PUBLIC RIGHT-OF-WAY.

UNTIL THE EXPIRATION OF THE DEVELOPER'S PUBLIC IMPROVEMENT MAINTENANCE BONDING PERIOD, THE DEVELOPER (OR THEIR AGENTS) RESERVES THE RIGHT TO ENTER UPON ALL LOTS TO ESTABLISH OR RE-ESTABLISH DRAINAGE SWALES WITHIN ALL DRAINAGE EASEMENTS FOR THE PURPOSE OF CONTROLLING AND DIRECTING STORMWATER TO COLLECTION FACILITIES OR DRAINAGE CHANNELS.

THE PUBLICLY-MAINTAINED PORTION OF THE STORM SEWER SYSTEM WILL INCLUDE STORM DRAINS, CULVERTS, AND/OR DITCHES LOCATED WITHIN EITHER THE PUBLIC RIGHT-OF-WAY OR THE PUBLIC UTILITY EASEMENT AREA ADJACENT TO THE ROAD RIGHT-OF-WAY WITH THE EXCEPTION OF SUMP MAINS AND CULVERTS FOR PRIVATE DRIVEWAYS. WHERE, IN LIEU OF AN OPEN DITCH, A DEVELOPER, BUILDER OR LOT OWNER INSTALLS A STORM DRAIN ON PRIVATE PROPERTY, THE STORM DRAIN SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER TO ENSURE THAT NEITHER THIS PROPERTY OR ADJACENT PROPERTIES ARE NEGATIVELY IMPACTED, AND THE LOT OWNER(S) MUST NOTE THAT THEY ARE RESPONSIBLE FOR MAINTAINING THE STORM DRAIN UNLESS NOTED OTHERWISE ON THE PLAT.

THE HOME OWNER'S ASSOCIATION IS RESPONSIBLE FOR MAINTAINING ALL STORM WATER FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY INCLUDING SEWER, STRUCTURES, DETENTION/RETENTION BASINS, AND SUMP

THE VILLAGES AT RIVERS BEND **GRANTS FREDERICK** SECTION TWO, BLOCK "B"

MILITARY SURVEY #1546 VILLAGE OF SOUTH LEBANON HAMILTON TOWNSHIP WARREN COUNTY, OHIO FEBRUARY, 2019 ~ 10.5408 ACRES



L-10 | N51°25'30"W | 16.80'

L-11 | N71°19'02"E | 74.47'

_−12 | N80°19'41"E | 68.67'

_-13 | N03°41'37"W | 70.46'

L-14 | N73°47'46"W | 130.00'

SECTION THREE OPEN SPACE P:B. 94, PG. 39 107 1110 132 KEY MAP							
	LINE TAB	LE			LINE TABI	LE	
Line	Direction	Distance		Line	Direction	Distance	
L-1	N82°53'35"W	137.38'		L-15	S84°02'28"E	121.41'	
L-2	S89°29'08"W	50.05		L-16	N03°41'37"W	111.37'	
L-3	N83°32'06"W	176.60'		L-17	N53°43'56"W	144.94	
L-4	N02°46'18"E	59.12'		L-18	S89°16'48"W	127.75	
L-5	N19°56'57"E	238.58'		L-19	S55°36'50"W	146.94	
L-6	N83°32'06"W	83.12'		L-20	N72°41'36"W	180.55	
L-7	N09°55'24"E	125.24		L-21	N31°15'37"E	301.44	
L-8	N02°41'01"E	50.00'		L-22	S79°15'24"E	279.36'	
L-9	N05°05'24"W	97.09'		L-23	S73°00'24"E	145.20'	

L-24 | S51°30'24"E | 176.88'

L-25 | S58°00'24"E | 176.88'

L-27 | S05°25'59"W | 377.10'

L-28 | S07°06'25"W | 409.26'

96.49'

L-26 | S17°30'24"E |

		CURVI	E TABL	.E	
Curve	Delta	Radius	Length	Chord	
C-1	7°46'25"	214.00'	29.03	S88°47'48"W	29.01
C-2	10°14'42"	56.00'	10.01	N11°04'53"E	10.00

Parcel Table Parcel#丨Acres │ S.Ft. 0.2397 0.2327 10135 0.2191 0.2076 0.1944 0.2129 9274 0.1625 0.1688 7352 0.1964 0.2054 9838 88 0.2258 0.1745 0.2163 0.2427 10574 0.1940 0.1931 8410 0.1731 7539 0.1700 7403 0.1766 7692 0.1833 7984 0.1887 | 8218 0.1884 8206 100 (O/S) | 0.0578 | 2517 101 (O/S) | 5.2172 | 227263

SHEET INDEX 1. TITLE

SURVEYOR OWNER/DEVELOPER GRAND COMMUNITIES, LLC **BAYER BECKER** 2670 CHANCELLOR DRIVE, SUITE 300 6900 TYLERSVILLE ROAD, SUITE A CRESTVIEW HILLS, KY 41017 MASON, OH, 45040

2. PLAT

513-336-6600 859-341-4709

4. ALL MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE

5. LINES OF OCCUPATION, WHEREVER THEY EXIST, GENERALLY AGREE WITH THE BOUNDARY LINES EXCEPT AS NOTED.

6. ALL DOCUMENTS USED AS SHOWN

RESPONSIBLE FOR THE MAINTENANCE OF THE OPEN SPACE LOTS.

APPROVALS

VILLAGE OF SOUTH LEBANON PLANNING COMMISSION

THIS PLAT WAS APPROVED BY THE VILLAGE OF SOUTH LEBANON PLANNING COMMISSION ON THIS DAY OF

CHAIRMAN

VILLAGE OF SOUTH LEBANON

I HEREBY CERTIFY THAT ON THE ___ DAY OF _ , 2019, THIS PLAT WAS APPROVED AND ACCEPTED BY RESOLUTION NO. ADOPTED BY THE COUNCIL OF THE VILLAGE OF SOUTH LEBANON, OHIO.

JAMES D. SMITH, MAYOR NICOLE ARMSTRONG, FISCAL OFFICER

COUNTY AUDITOR

COUNTY AUDITOR

TRANSFERRED ON THIS ____ DAY OF _____, 2019, AT ____M.

PRINTED NAME:

COUNTY RECORDER

RECEIVED ON THIS ____ DAY OF ______, 2019, AT _____M. RECORDED ON THIS ____ DAY OF ___

RECORDED IN PLAT BOOK NO. _____ ON PAGE NO. _

COUNTY RECORDER

DEPUTY PRINTED NAME:

1. BASIS OF BEARING: THE VILLAGES AT RIVER'S BEND, GRANTS FREDERICK, SECTION TWO, BLOCK "A" PLAT BOOK 96, PAGES 72-73

2. PRIOR DEED REFERENCE: OFFICIAL RECORD 5307, PAGE 301 OFFICIAL RECORD 5429, PAGE 508

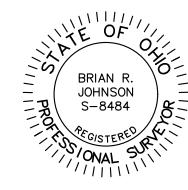
3. MONUMENTATION WILL BE SET AS SHOWN.

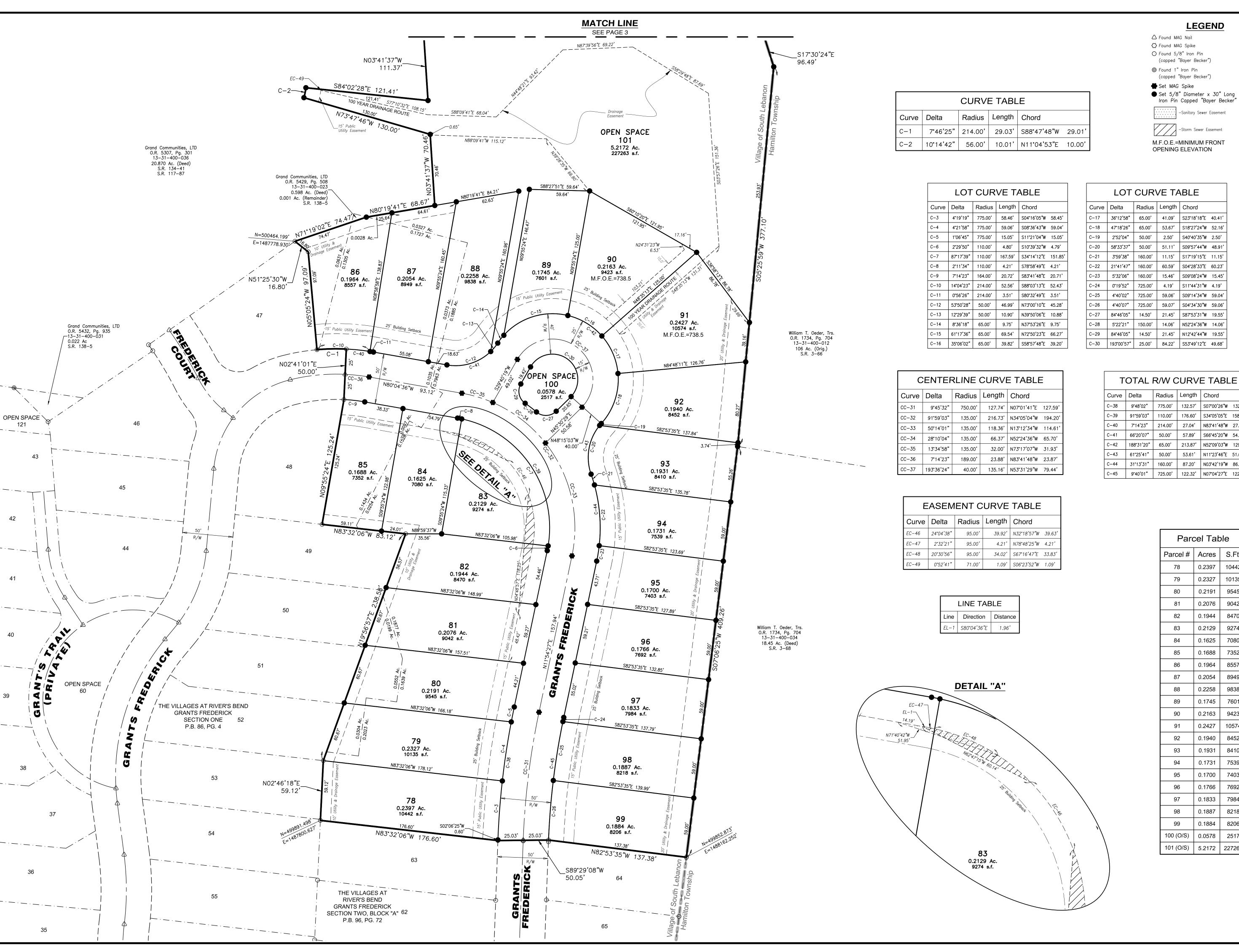
7. THE GRANTS FREDERICK HOME OWNERS ASSOCIATION, INC. WILL BE

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT THIS MAP IS A TRUE AND COMPLETE SURVEY MADE UNDER MY SUPERVISION AND THAT ALL MONUMENTS AND LOT CORNER PINS WILL BE SET AS SHOWN.

BRIAN R. JOHNSON, P.S. PROFESSIONAL SURVEYOR #8484 IN THE STATE OF OHIO







△ Found MAG Nail

⇔ Found MAG Spike ○ Found 5/8" Iron Pin

(capped "Bayer Becker")

(capped "Bayer Becker") Set MAG Spike

.....] -Sanitary Sewer Easement

-Storm Sewer Easement

M.F.O.E.=MINIMUM FRONT OPENING ELEVATION

	LOT	CUR	VE TA	ABLE	
Curve	Delta	Radius	Length	Chord	
C-17	36°12'58"	65.00'	41.09'	S23*18'18"E	40.41
C-18	47*18'26"	65.00'	53.67'	S18*27'24"W	52.16
C-19	2*52'04"	50.00'	2.50'	S40°40'35"W	2.50'
C-20	58*33'37"	50.00'	51.11	S09*57'44"W	48.91'
C-21	3*59'38"	160.00'	11.15'	S17*19'15"E	11.15'
C-22	21°41'47"	160.00'	60.59'	S04*28'33"E	60.23
C-23	5*32'06"	160.00'	15.46'	S09*08'24"W	15.45'
C-24	0*19'52"	725.00'	4.19'	S11*44'31"W	4.19'
C-25	4*40'02"	725.00'	59.06'	S09*14'34"W	59.04
C-26	4*40'07"	725.00'	59.07	S04*34'30"W	59.06
C-27	84*46'05"	14.50'	21.45'	S87*53'31"W	19.55'
C-28	5*22'21"	150.00'	14.06'	N52*24'36"W	14.06
C-29	84*46'05"	14.50'	21.45'	N12*42'44"W	19.55'
C-30	193°00'57"	25.00'	84.22'	S53°49'12"E	49.68

T	OTAL	R/W C	CURV	E TABL	.E
Curve	Delta	Radius	Length	Chord	
C-38	9*48'02"	775.00'	132.57	S07*00'26"W	132.40'
C-39	91°59'03"	110.00'	176.60'	S34°05'05"E	158.23'
C-40	7°14'23"	214.00'	27.04'	N83°41'48"W	27.02'
C-41	66°20'07"	50.00'	57.89'	S66*45'20"W	54.71'
C-42	188*31'20"	65.00'	213.87'	N52°09'03"W	129.64'
C-43	61°25'41"	50.00'	53.61'	N11°23'46"E	51.08'
C-44	31°13'31"	160.00'	87.20'	N03°42'19"W	86.12'
C-45	9°40'01"	725.00'	122.32'	N07°04'27"E	122.18'

Parcel Table

Parcel # | Acres | S.Ft.

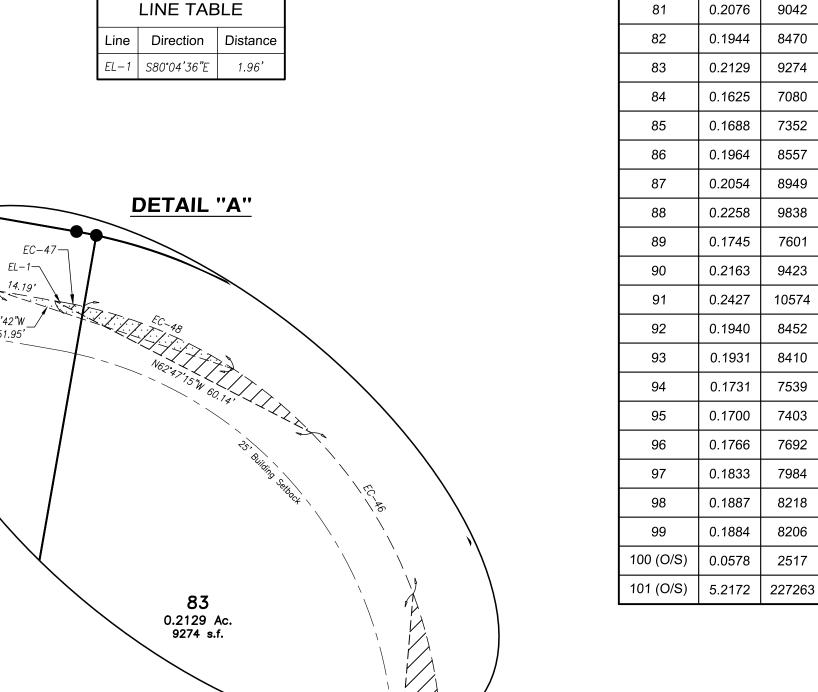
79

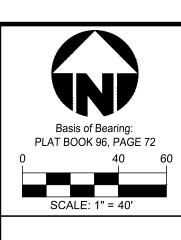
80

0.2397 | 10442

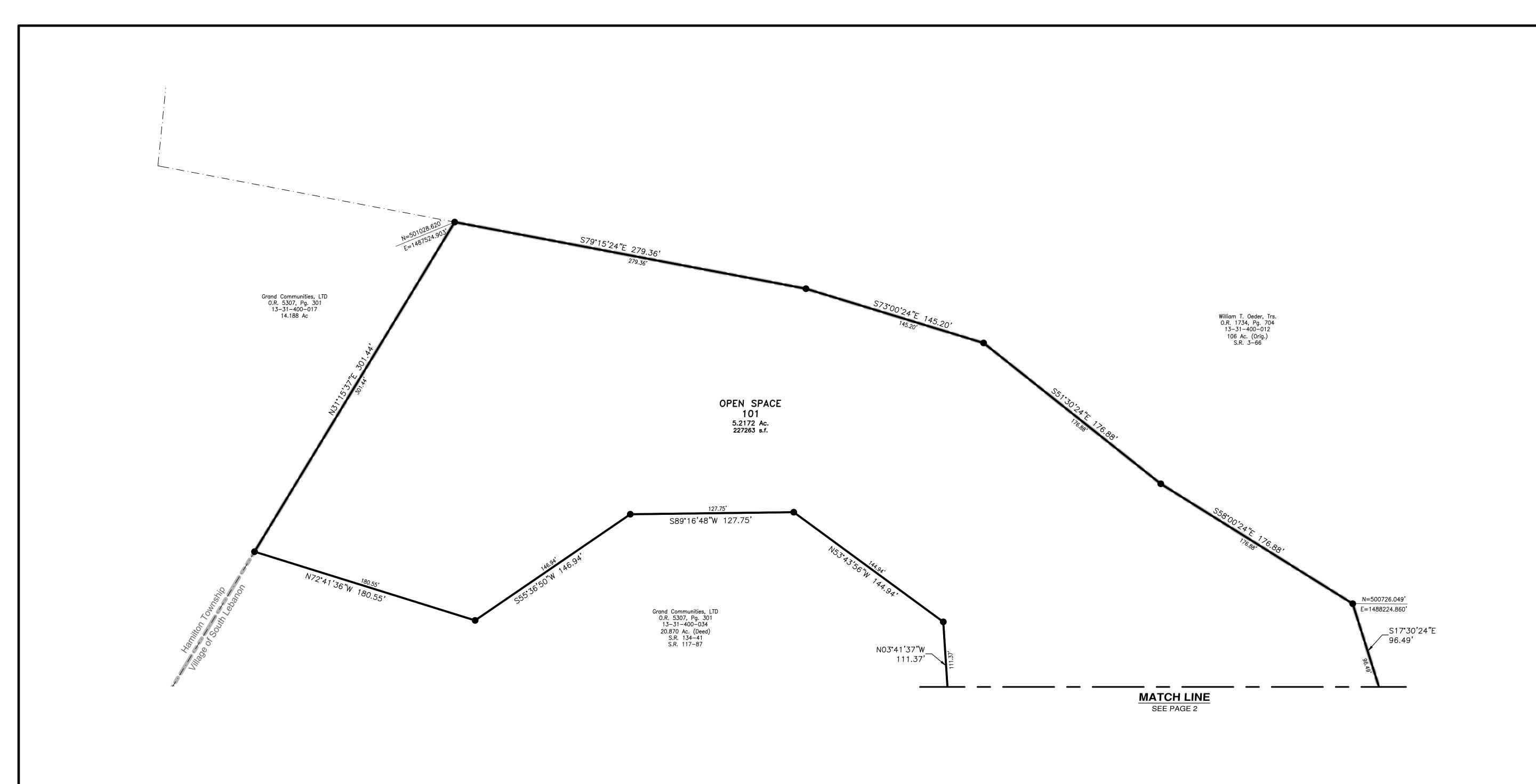
0.2327 | 10135

0.2191 9545





WILL ACEC AT DIVEDS BEND		Revision Description
	1	UPDATE OWNER/DEVELOPER NAME
GRANTS FREDERICK		
DECTION I WO, BLOCK B		
MILITARY SURVEY #1546		
AGE OF SOUTH LEBANON, HAMILTON TOWNSHIP		
WARREN COUNTY, OHIO		
BECORD DI AT		



Basis of Bearing:
PLAT BOOK 96, PAGE 72

0 40 60

SCALE: 1" = 40'

Revision Description

1 UPDATE OWNER/DEVELOPER NAME

03-20-19 PAH

03-20-19 PAH

SECTION TWO, BLOCK "
SECTION TWO, BLOCK "
MILITARY SURVEY #1546
VILLAGE OF SOUTH LEBANON, HAMILTON TO
WARREN COUNTY, OHIO

DOUGE Soor Tylersville Road, Suite A Mason, OH 45040 - 513.336.6600

awing:

11C009-003 RPB
awn by:
PAH
ecked By:
BRJ
ue Date:
02-08-19

3/3

VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission

FROM: Jerry Haddix, Village Administrator

RE: Case 19-10P, Final Plat for Rivers Crossing West Phase 2 Outlots No. 3-6,

DATE: April 25, 2019

On the agenda for April 30th meeting is an application for approval of the final plat for Rivers Crossing West Phase 2 for outlots 3 through 6 (the "Property") submitted by the Morelia Group (the "Developer") on behalf of Rivers Crossing Power, LLC, the property owner (the "Owner").

Background

The four (4) outlots that are the subject of the request for final plat approval consist of a total of 6.8957 acres. These outlots are presently part of a larger property comprised of 30.5672 acres designated as Warren County Parcel No. 1202330001. This larger property is also owned by Rivers Crossing Power, LLC. The present zoning designation is B-2 General Business District.

Code Analysis

Pursuant to Section 15.20.4 of the Village Zoning Code, a subdivision developer, after receiving approval of the preliminary plat of the proposed subdivision, shall submit a final plat for the subdivision and drawings and specifications of the improvements required therein. The final plat shall be filed with the Planning Commission not later than twelve months after the date of approval of the preliminary plat.

Zoning Process

The Planning Commission shall approve or disapprove the final plat within thirty days after it has been filed. If the plat is disapproved, the grounds for disapproval shall be stated in the records of the Commission, and a copy of said record shall be forwarded to the developer. The Commission shall not disapprove the final plat if the developer has done everything that he was required to do and has proceeded in accordance with the conditions and standards specified in the approved preliminary plat. If disapproved, the developer shall make the necessary corrections and resubmit the final plat within thirty days to the Commission for its final approval.

When the final plat has been approved by the Commission, the original tracing (Mylar) shall be signed by the chairperson of the Commission and returned to the Owner for filing with the Court Recorder after all necessary certifications are received.

Recommendation

Staff recommends that the Planning Commission grant its approval of the final plat for Rivers Crossing West Phase 2 with the following conditions:

- 1. Comply with comments received from reviewing agencies to the satisfaction of the Village Administrator; and
- 2. Provide an easement and/or covenant for the Private Access Drive; and
- 3. Provide covenants and restrictions for maintenance of Private Access Drive.

Attachments

Planning Commission Application Final Record Plat

DEDICATION

WE, THE UNDERSIGNED, BEING ALL THE OWNERS OF THE LANDS HEREIN PLATTED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF THE SAID PLAT AND DO DEDICATE THE STREETS, PARKS OR PUBLIC GROUNDS AS SHOWN HEREON TO THE PUBLIC USE FOREVER

ANY "PUBLIC UTILITY EASEMENTS" AS SHOWN ON THIS PLAT ARE FOR THE PLACEMENT OF SIDEWALKS AND AND PUBLIC UTILITIES FOR THE MAINTENANCE AND REPAIR OF SAID UTILITIES THIS EASEMENT AND ALL OTHER EASEMENTS SHOWN ON THIS PLAT. UNLESS DESIGNATED FOR A SPECIFIC PURPOSE. ARE FOR THE CONSTRUCTION. OPERATION. MAINTENANCE. REPAIR. REPLACEMENT OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TELEVISION, OR OTHER UTILITY LINES OR SERVICES, STORMWATER DISPOSAL AND FOR THI EXPRESS PRIVILEGE OF CUTTING, TRIMMING OR REMOVING ANY AND ALL TREES OR OTHER OBSTRUCTIONS WITHIN SAID EASEMENT, OR IMMEDIATELY ADJACENT THERETO, TO THE FREE USE OF SAID EASEMENTS OR ADJACENT STREETS AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN SAID EASEMENTS, NOR MAY THE EASEMENT AREA BE PHYSICALLY ALTERED SO AS TO (1) REDUCE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF SAID FACILITIES; (3) IMPAIR ABILITY TO MAINTAIN THE FACILITIES OR (4) CREATE A HAZARD.

THE ABOVE PUBLIC UTILITY EASEMENTS ARE FOR THE BENEFIT OF ALL PUBLIC UTILITY PROVIDERS INCLUDING, BUT NOT LIMITED TO DUKE ENERGY, AT&T, CHARTER COMMUNICATIONS, THE VILLAGE OF SOUTH LEBANON AND WARREN COUNTY.

ALL PERSONS INTERESTED IN THIS PLAT AS OWNERS HAVE UNITED IN ITS EXECUTION, SIGNED AND ACKNOWLEDGED IN THE PRESENCE OF:

OWNER: RIVERS CROSSING POWER, LLC STATE OF OHIO COUNTY OF

BE REMEMBERED THAT ON THIS DAY OF NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY CAME RIVERS CROSSING

, WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS OR HER VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AS WRITTEI

LIEN HOLDER: BANK OF AMERICA PRINTED NAME STATE OF OHIO COUNTY OF _

NOTARY PUBLIC:

MY COMMISSION EXPIRES:

BE REMEMBERED THAT ON THIS ____ DAY OF _ 2019, BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY CAME BANK OF AMERICA, AS REPRESENTED BY WHO ACKNOWLEDGED THE SIGNING AND EXECUTION OF THE FOREGOING INSTRUMENT TO BE HIS OR HER VOLUNTARY ACT AND DEED. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY

HAND AND AFFIXED MY NOTARIAL SEAL ON THE DAY AND YEAR AS WRITTEN ABOVE.

NOTARY PUBLIC: MY COMMISSION EXPIRES: _

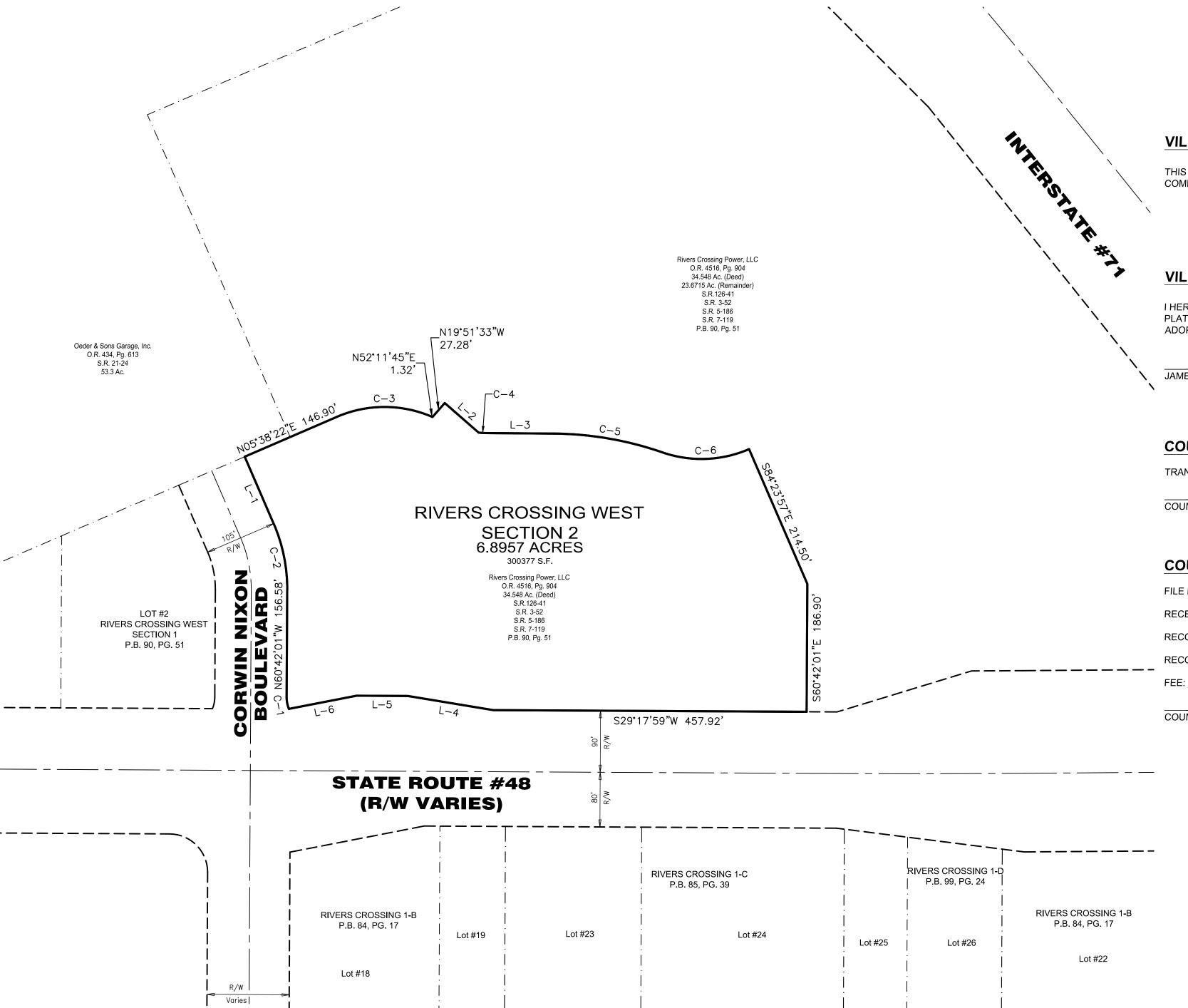
GRANT OF UTILITY EASEMENT

FOR VALUABLE CONSIDERATION, WE, THE UNDERSIGNED ("GRANTOR") DO HEREBY PERMANENTLY GRANT TO DUKE ENERGY OHIO/KENTUCKY, INC. AND THEIR PARENT ENTITY (OR ENTITY CONTROLLING BOTH ENTITIES), THEIR RESPECTIVE SUBSIDIARIES OR AFFILIATE ENTITIES, AND ANY OTHER PROVIDER OF UTILITY SERVICES ("GRANTEE") THEIR SUCCESSORS AND ASSIGNS, FOREVER, NON-EXCLUSIVE EASEMENTS, AS SHOWN ON THE WITHIN PLAT AND DESIGNATED AS "UTILITY EASEMENTS" FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, OR REPLACEMENT OF ANY AND ALL NECESSARY FIXTURES FOR THE OVERHEAD OR UNDERGROUND DISTRIBUTION OF GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS OR OTHER UTILITIES ("GRANTEE FACILITIES" OR "FACILITIES"). THE GRANTEE SHALL HAVE THE RIGHT OF INGRESS AND EGRESS AND ALSO THE RIGHT TO CUT, TRIM, OR REMOVE ANY TREES, UNDERGROWTH, OR OVERHANGING BRANCHES WITHIN THE UTILITY EASEMENTS OR MMEDIATELY ADJACENT THERETO. NO BUILDINGS OR OTHER STRUCTURES MAY BE BUILT WITHIN THE UTILITY EASEMENTS AREA, NOR MAY THE UTILITY EASEMENTS AREA BE PHYSICALLY ALTERED TO (1) REDUCE THE CLEARANCES OF EITHER OVERHEAD OR UNDERGROUND FACILITIES; (2) IMPAIR THE LAND SUPPORT OF GRANTEE FACILITIES; (3) IMPAIR THE ABILITY TO MAINTAIN THE FACILITIES OR; (4) CREATE A HAZARD. TO HAVE AND TO HOLD THE EASEMENT FOREVER. WE ACKNOWLEDGE HAVING THE FULL POWER TO CONVEY THIS UTILITY EASEMENT AND WILL DEFEND THE SAME AGAINST ALL CLAIMS.

ALSO HEREBY GRANTED TO DUKE ENERGY OHIO/KENTUCKY, INC. AND ITS SUBSIDIARIES, SUCCESSORS, AND ASSIGNS IS THE RIGHT TO LATERALLY EXTEND, REPAIR, AND MAINTAIN NATURAL GAS SERVICES TO SERVE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICES TO SERVICE INDIVIDUAL LOTS AS CONSTRUCTED BY THE ORIGINAL BUILDER ALLOWING DISTURBANCE ONLY OVER EXISTING SERVICE LINES NECESSARY FOR THE REPAIR ONLY ON THE LOT ON WHICH THE SERVICE IS LOCATED. RECONSTRUCTION OR RELOCATION IS PERMISSIBLE ONLY WITH THE WRITTEN PERMISSION OF THE PARCEL OWNER AND SAID UTILITY PROVIDER TO A MUTUALLY AGREEABLE LOCATION. NO PART OF THE UTILITY EASEMENTS SHALL ENCUMBER EXISTING BUILDINGS OR ADJOINING LOTS.

RIVERS CROSSING WEST **SECTION 2**

SECTION 2, TOWN 4, RANGE 3 UNIÓN TOWNSHIP VILLAGE OF SOUTH LEBANON WARREN COUNTY, OHIO APRIL, 2019

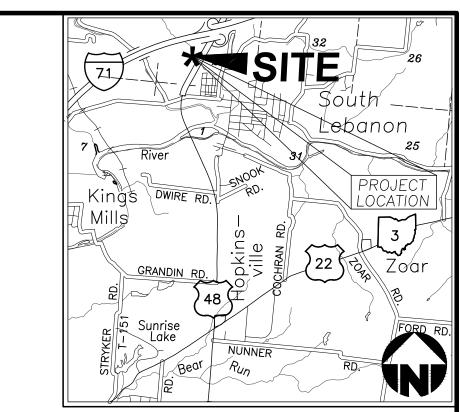


NOTES:

- 1. PRIOR DEED REFERENCE: OFFICIAL RECORD 4516, PAGE 904.
- 2. BASIS OF BEARINGS: PLAT BOOK 90, PAGE 51.
- 3. 5/8" IRON PINS ARE SET ON ALL LOT CORNERS UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
- 4. ALL EXISTING MONUMENTS ARE IN GOOD CONDITION UNLESS
- 5. OCCUPATION IN GENERAL MATCHES SURVEY, UNLESS

CURVE TABLE					
Curve	Delta	Radius	Length	Chord	
C-1	22°31'31"	44.50'	17.49'	N71°57'46"W	17.38'
C-2	23°40′10″	241.50'	99.77'	N72°32'06"W	99.06'
C-3	46°33'23"	175.00'	142.20'	N28°55'04"E	138.32
C-4	5°26'43"	125.00'	11.88'	N32°09'34"E	11.88'
C-5	18°41'02"	497.00'	162.07'	N38°46'44"E	161.35
C-6	42°31'12"	175.00'	129.87'	N26°51'39"E	126.91

LINE TABLE				
Line	Direction	Distance		
L-1	N84°22'11"W	106.52'		
L-2	N70°08'27"E	65.85'		
L-3	N29°26'13"E	97.50'		
L-4	S38°23'24"W	126.59'		
L-5	S29°17'59"W	75.00'		
L-6	S17°59'23"W	100.82'		



VICINITY MAP NOT TO SCALE

VILLAGE OF SOUTH LEBANON PLANNING COMMISSION

THIS PLAT WAS APPROVED BY THE VILLAGE OF SOUTH LEBANON PLANNING COMMISSION ON THIS______, DAY OF ________, 2019.

CHAIRMAN

VILLAGE OF SOUTH LEBANON

I HEREBY CERTIFY THAT ON THE _____ DAY OF _ PLAT WAS APPROVED AND ACCEPTED BY RESOLUTION NO. ADOPTED BY THE COUNCIL OF THE VILLAGE OF SOUTH LEBANON, OHIO.

JAMES D. SMITH. MAYOR

NICOLE ARMSTRONG, FISCAL OFFICER

COUNTY AUDITOR

TRANSFERRED ON THIS	DAY OF	, 2019, AT	M.
COUNTY AUDITOR	DEPUTY		

PRINTED NAME:

COUNTY RECORDER

	FILE NO.		
	RECEIVED ON THIS DAY OF	, 2019, AT	M.
	RECORDED ON THIS DAY OF	, 2019, AT	M.
. — –	RECORDED IN PLAT BOOK NO	PAGE NO	
	FEE:		

COUNTY RECORDER DEPUTY

PRINTED NAME:

OWNER

RIVERS CROSSING POWER, LLC C/O IRG REALTY ADVISORS 4020 KINROSS LAKES PARKWAY, SUITE 200 RICHFIELD, OH 44286 (330) 659-4060

DEVELOPER

MIDLAND ATLANTIC DEVELOPMENT COMPANY 8044 MONTGOMERY ROAD CINCINNATI, OH 45236 (513) 792-5000

SURVEYOR

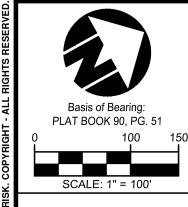
BAYER BECKER 6900 TYLERSVILLE ROAD, SUITE A MASON, OH 45040 (513) 336-6600

SURVEYORS CERTIFICATION

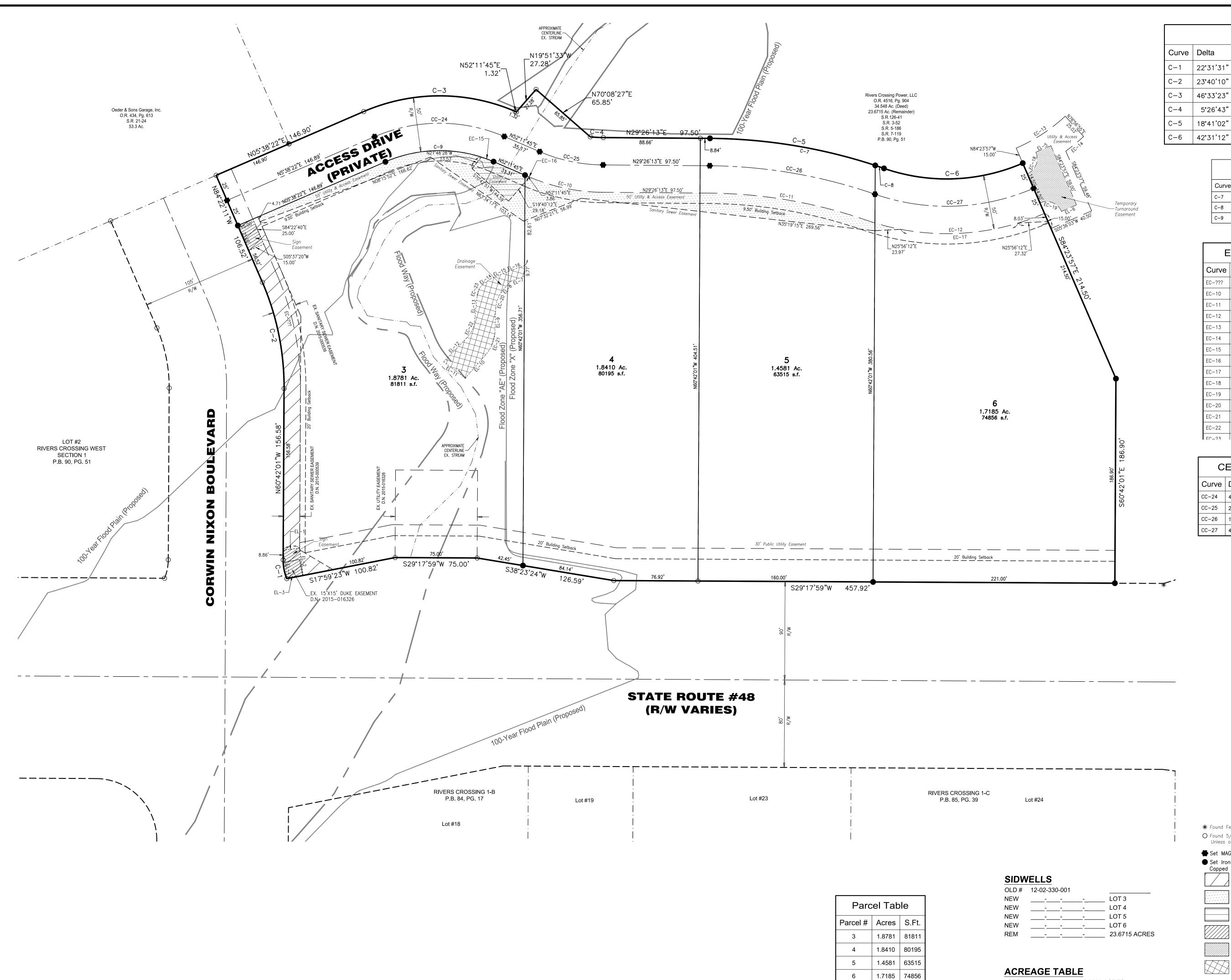
I HEREBY CERTIFY THAT THIS MAP IS A TRUE AND COMPLETE SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS AND LOT CORNER PINS ARE SET AS SHOWN.

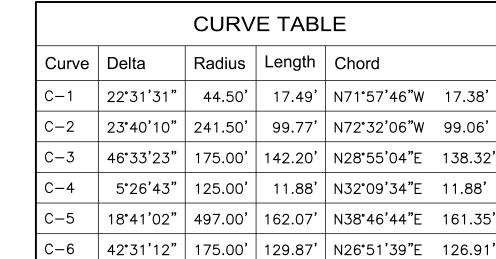
BRIAN R. JOHNSON, P.S. PROFESSIONAL SURVEYOR #8484 IN THE STATE OF OHIO





-	or defined by the processing of the processing o	יים ועוויין	
_	Revision Description	Date Drv	Dr





LOT CURVE TABLE							
Curve	Delta	Radius	Length	Chord			
C-7	17°42'48"	497.00'	153.65'	N38*17'37"E	153.04		
C-8	0°58'14"	497.00'	8.42'	N47*38'08"E	8.42'		
C-9	46°33'23"	125.00'	101.57	N28*55'04"E	98.80'		
					,		

EASEMENT CURVE TABLE							
Curve	Delta	Radius	Length	Chord			
EC-???	23°40′10″	256.50'	105.96	N72°32'06"W	105.21		
EC-10	22°45'32"	175.00'	69.51	N40°48'59"E	69.06		
EC-11	18°41'02"	447.00'	145.77	S38°46'44"W	145.12		
EC-12	42°31'12"	225.00'	166.98'	N26°51'39"E	163.17		
EC-13	19°14'52"	160.00'	53.75'	N04°01'23"W	53.50'		
EC-14	6°31'19"	185.00'	21.06'	S10°18'20"E	21.05		
EC-15	5°24'39"	125.00'	11.80'	S49°29'25"W	11.80'		
EC-16	0°13′11"	175.00'	0.67	N52°05'10"E	0.67		
EC-17	27°35'55"	225.00'	108.38'	N25°56'12"E	107.33		
EC-18	90°00'00"	15.00'	23.56'	N39°23'57"W	21.21'		
EC-19	90°00'00"	15.00'	23.56'	S50°36'03"W	21.21'		
EC-20	35°47'44"	29.87	18.66'	N38°47'12"W	18.36		
EC-21	37°12'26"	34.85'	22.63'	N37°04'24"W	22.24		
EC-22	40°01'34"	24.14'	16.86	S35°34'16"E	16.52		
FC-23	₹0°₹4°∩5°°	15 20'	10 56'	C Z Z* // Z ' Z Z "F	10 35'		

CENTERLINE CURVE TABLE									
Curve	Delta	Radius	Length	Chord					
CC-24	46*33'23"	150.00'	121.88	N28*55'04"E	118.56				
CC-25 22°45'32" 150.00' 59.58' N40°48'59"E 59.19'									
CC-26	18*41'02"	472.00'	153.92'	N38°46'44"E	153.24'				
CC-27	42*31'12"								

LINE TABLE						
Line	Direction	Distance				
EL-1	N21°30'36"E	15.00'				
EL-2	S68°29'24"E	25.00'				
EL-3	S21°30'36"W	15.00'				
EL-4	N68°29'24"W	25.00'				
EL-5	N05°36'03"E	15.00'				
EL-6	S05°36'03"W	15.00'				
EL-7	N09°18'27"E	13.04'				
EL-8	N18*55'35"W	10.59'				
EL-9	N59°12'01"W	22.86'				
EL-10	N19°56'17"W	27.31'				
EL-11	N65°30'25"E	24.80'				
EL-12	S17°06'05"E	30.57				
EL-13	S55°13'12"E	24.61'				
EL-14	S06°23'38"E	9.49'				
EL-15	S06°36'55"W	17.26'				
EL-16	S09°10'36"W	15.70'				

LEGEND

★ Found Fence Post R/W -Ex Right of Way
 ○ Found 5/8" Iron Pin Capped "Bayer Becker" Unless otherwise noted.

Set MAG Spike

Set Iron Pin 5/8" Diameter X 30" Long Capped "Bayer Becker"

-Ex Sanitary Sewer Easement D.N. 2015-000539
-Sanitary Sewer Easement

-Sanitary Sewer Easement

-Signage Easement

-Temporary Turnaround Easement

-Drainage Easement

6.8957 ACRES

6.8957 ACRES

TOTAL SECTION 2

19-0
oy:
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ate:
04

PLAT BOOK 90, PG. 51

2/2

VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission

FROM: Jerry Haddix, Village Administrator

RE: Case 19-11P, Site Plan Review for GE Credit Union

DATE: April 25, 2019

On the agenda for the April 30th meeting is an application for approval of the site plan and landscape design for the GE Credit Union to be located at Corwin Nixon Boulevard on 1.50 acres on Lot 4 (subject to final plat approval) of the Rivers Crossing West Section 2 Subdivision (the "Project") submitted by Morelia Group, Inc. (the "Applicant").

Background

The Project that is the subject of the application is located on 1.50 acres along the west side of State Route 48. The property is currently owned by Rivers Crossing Power, LLC. The present zoning classification is B-2 General Business District. The proposed Project consists of a 4,000 s.f. financial institution with access provided by a private access easement from Corwin Nixon Boulevard north of the existing Speedway site.

The site plan has been distributed to various agencies but we have not received any comments to date.

Zoning Code Analysis

Upon review of the plans, it has been determined that the drawings generally satisfy the Zoning Regulations and Design Guidelines and Standards with the exceptions listed in the attached letter and accompanying site plan approval checklist.

Zoning Process

Pursuant to Article 18 of the Village Zoning Regulations, the development of any new use or construction of any new structures shall require site plan approval prior to construction and/or occupancy. At the first regular meeting at which a site plan proposal is considered, the Commission shall first determine whether to accept the plan for processing. If accepted for processing, the Commission shall review the site plan in relation to applicable standards and regulations, and in relation to the intent and purpose of the Village Zoning Regulations and Design Guidelines and Standards. The Commission shall consider the comments and recommendations from the Village Administrator, the Village Engineer, public safety officials and other reviewing agencies.

If the Commission determines that revisions are necessary to bring the site plan into compliance with applicable standards and regulations, the applicant shall be given the opportunity to submit a revised site plan. The Commission shall review the revised site plan and application materials within 30 days after the Village received a complete revised site plan application.

The Commission shall make a determination on a site plan based on the requirements and standards in the Zoning Regulations and Design Guidelines and Standards. The Commission is authorized to grant approval, grant approval subject to conditions, or reject a site plan. If the Commission chooses to grant approval subject to conditions, the Commission may waive its right to review the revised plan, and instead authorize the Zoning Administrator, or his designee, to review and recommend approval of the resubmitted plans if all required conditions have been addressed.

If construction is not started within 18 months of final approval of the site plan, the site plan approval becomes null and void and a new application for site plan review shall be required.

Recommendation

Staff recommends that the Planning Commission grant its approval of the site plan and landscape plan for GE Credit Union with the following conditions:

Prior to issuance of a zoning permit, the applicant must resubmit the site plan and provide the following information to the Zoning Administrator:

- 1. Recording of the record plat for Rivers Crossing West Section 2 with the Warren County Recorder's Office;
- 2. Addressing the comments of the Village Engineer and Planning Consultant to the satisfaction of the Village Administrator;
- 3. Address any review comments from the Warren County Soil & Water Conservation District relative to the Storm Water Pollution Prevention Plan,
- 4. Meet the requirements of the Union Township Fire Department;

Attachments

Planning Commission Application Site Plan and Landscape Plan

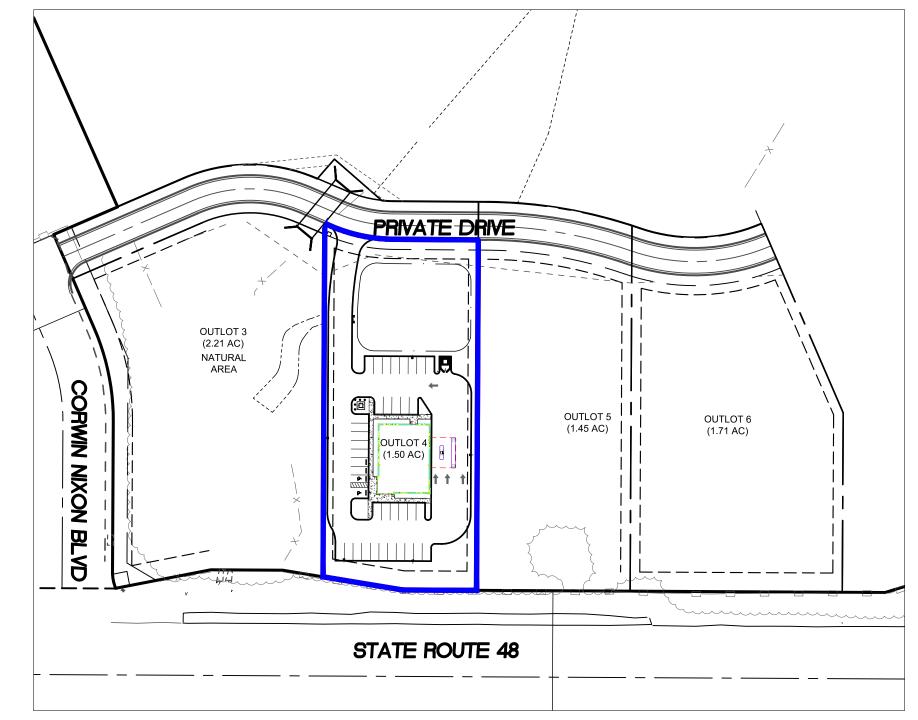
GENERAL NOTES

- 1. CONNECTION TO THE WATER SYSTEM AND CONSTRUCTION SHALL COMPLY WITH THE RULES. SPECIFICATIONS AND INSPECTION OF THE OFFICE OF THE WARREN COUNTY SANITARY ENGINEER. ALL OTHER PLANS AND CONSTRUCTION SHALL COMPLY WITH THE RULES, SPECIFICATIONS AND INSPECTION OF THE VILLAGE OF SOUTH LEBANON.
- 2. ALL WORK AND MATERIALS ARE TO CONFORM TO THE 2010 EDITION OF ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS AND VILLAGE OF SOUTH LEBANON SPECIFICATIONS. WHEN IN CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.
- 3. UNLESS OTHERWISE NOTED ALL CONSTRUCTION DETAILS SHALL CONFORM WITH THE "STANDARD CONSTRUCTION DRAWINGS OF THE STATE OF OHIO DEPARTMENT OF
- 4. ALL SANITARY SEWER MANHOLES, CASTINGS, PIPE, ETC., SHALL CONFORM WITH CURRENT SPECIFICATIONS OF THE VILLAGE OF SOUTH LEBANON AND THE OHIO ENVIRONMENTAL
- STORM SEWER PIPES DESIGNATED AS "STM" SHALL MEET THE MATERIAL & INSTALLATION REQUIREMENTS OF ODOT ITEM 603, TYPE B CONDUITS AND AS FOLLOWS:
- 5.1. NON-REINFORCED CONCRETE PIPE PER ODOT SPECIFICATION 706.01
- REINFORCED CONCRETE CIRCULAR PIPE PER ODOT SPECIFICATION 706.02 PRECAST REINFORCED CONCRETE BOX SECTIONS PER ODOT SPECIFICATION 706.05
- REINFORCED CONCRETE ELLIPTICAL CULVERT, STORM DRAIN, AND SEWER PIPE PER
- ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCHES WITH PAVED INVERT PER ODOT SPECIFICATIONS 707.01 OR 707.02
- CORRUGATED POLYETHYLENE SMOOTH LINED PIPE PER ODOT SPECIFICATION 707.33 5.7. POLYVINYL CHLORIDE PROFILE WALL PIPE PER ODOT SPECIFICATION 707.42
- 6. PIPE BEDDING AND TRENCH BACKFILL SHALL BE PER ODOT 603 AND STANDARD DRAWING DM-1.4 CONDUIT INSTALLATION. CONTRACTOR SHALL PROVIDE AN ALTERNATE BID ITEM TO PROVIDE STRUCTURAL BACKFILL FOR ALL TRENCHES TO PAVEMENT SUBGRADE.
- 7. ALL STORM STRUCTURES ARE ODOT TYPES UNLESS OTHERWISE INDICATED.
- 8. ALL CATCH BASINS SHALL BE EQUIPPED WITH HEAVY DUTY, BICYCLE SAFE GRATES CAPABLE OF CARRYING AN HS-25 LOADING, UNLESS OTHERWISE NOTED.
- 9. ANY EXISTING STORM SEWER CUT IN EXCAVATION WHICH DRAINS AN OFFSITE AREA MUST BE TIED INTO THE STORM SEWER SYSTEM.
- 10. ALL CATCH BASINS IN THE PAVEMENT OR CURB ARE TO HAVE A MINIMUM OF TWO FOUR (4) INCH PERFORATED UNDERDRAINS EXTENDING TWENTY (20) LINEAR FEET FROM THE CATCH BASIN. UNDERDRAINS SHALL BE PLACED ONE ON EACH SIDE OF THE STORM SEWER AND AS NEAR TO PERPENDICULAR TO THE STORM SEWER AS IS PRACTICAL WITHOUT INTERFERING WITH STORM PIPES SHOWN ON THE PLANS.
- 11. AS THE INSTALLATION OF THE STORM SEWER PROGRESSES, EROSION CONTROL MEASURES SHALL BE PLACED AT INLET AND OUTLET OF SEWERS TO CONTROL THE SILT
- 12. SUMP LINE CONDUITS ARE TO BE SDR 35, ARMCO 2000, OR EQUIVALENT.
- 13. ALL JOINTS SHALL BE SOIL SEAL JOINTS UNLESS SPECIFICALLY NOTED ON THE PLANS.
- 14. STORM WATER AND EXTRANEOUS FLOWS ARE PROHIBITED FROM ENTERING THE EXISTING SYSTEM DURING CONSTRUCTION. NO OPEN CUT TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT. STORM DRAINS, DIVERSION DITCHES, PUMPS ETC., SHALL BE USED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE SYSTEM AT ALL TIMES.
- 15. ALL STORM SEWER SHALL HAVE A MAXIMUM MANNING'S ROUGHNESS COEFFICIENT OF 0.013.
- 16. ROOF DRAINS ARE TO BE PER ODOT 707.33, 707.42, OR 707.45.
- 17. BED AND BACKFILL STORM PIPE PER ODOT ITEM 611 TO 12" ABOVE TOP OF PIPE. BACKFILL REMAINDER OF TRENCH WITH NATIVE MATERIALS PER ODOT ITEM 203.
- 18. NO STRUCTURE OF ANY KIND WHICH CAN INTERFERE WITH ACCESS TO SANITARY SEWER, WATER MAIN, OR STORM SEWER SHALL BE PLACED IN OR UPON A PERMANENT EASEMENT, EXCEPT ITEMS SUCH AS RECREATIONAL SURFACES, PAVED AREAS FOR PARKING LOTS, DRIVEWAYS OR OTHER SURFACES USED FOR INGRESS AND EGRESS, PLANTS, TREES, SHRUBBERY, FENCES, LANDSCAPING OR SIMILAR ITEMS BEING NATURAL OR ARTIFICIAL.
- 19. SANITARY SEWERS ARE TO RECEIVE SANITARY WASTES ONLY. ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE
- 20. ANY DISTURBANCE OF EXISTING NATURAL FEATURES SHALL BE SAFEGUARDED SO AS NOT TO CAUSE DETRIMENTAL EROSION. AS EARTHWORK IS PERFORMED, DANDY BAGS AND SILT FENCES SHALL BE UTILIZED TO MANAGE STORM RUNOFF AND TO FILTER SOME OF THE EXISTING SOILS. ALL NATURAL VEGETATION TO REMAIN EXCEPT IN AREAS AFFECTED BY IMPROVEMENTS.
- 21. STORM WATER AND EXTRANEOUS FLOWS ARE PROHIBITED FROM ENTERING THE EXISTING SYSTEM DURING CONSTRUCTION. NO OPEN CUT TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT. STORM DRAINS, DIVERSION DITCHES, ETC., SHALL BE USED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE SYSTEM AT ALL TIMES.
- SPECIFICATIONS OF THE WARREN COUNTY SANITARY ENGINEER AND THE OHIO ENVIRONMENTAL PROTECTION AGENCY.

22. ALL WATER MAINS, FIRE HYDRANTS AND RELATED ITEMS SHALL CONFORM WITH CURRENT

- 23. VILLAGE OF SOUTH LEBANON WATER AND SEWER DEPARTMENT SHALL ESTABLISH PROCEDURES FOR REPAIRS TO WATER MAIN OR WATER SERVICES DAMAGED.
- 24. LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO
- 25. THE CONTRACTOR SHALL MAINTAIN SILT BARRIERS, BMPs AND OTHER EROSION CONTROL MEASURES FROM THE START OF CONSTRUCTION UNTIL COMPLETION OF ITS WORK.
- 26. ITEM NUMBERS REFER TO THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT) CONSTRUCTION AND MATERIAL SPECIFICATIONS (2016) AND ALL CONSTRUCTION WORK SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF THE GOVERNING AGENCIES. WHEN IN CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL
- 27. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS.
- 28. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITY PROTECTION SERVICE (OUPS) AND ALL OTHER AGENCIES WHICH MAY HAVE UNDERGROUND UTILITIES INVOLVED IN THIS PROJECT AND ARE NOT MEMBERS OF OHIO UNDERGROUND PROTECTION, INC.
- 29. CONTRACTOR AND OWNER SHALL VERIFY AND ACCEPT ALL QUANTITIES PRIOR TO BEGINNING
- 30. CONTRACTOR SHALL VERIFY THAT COORDINATES, IF USED, MATCH PLAN DIMENSIONS. WHEN IN CONFLICT, THE PLANS DIMENSIONS SHALL GOVERN OVER COORDINATES, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 31. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION DETAILS SHALL CONFORM WITH THE "STANDARD CONSTRUCTION DRAWINGS OF THE STATE OF OHIO DEPARTMENT OF
- 32. EXISTING SITE TOPOGRAPHY PROVIDED BY BAYER BECKER, INC. & WARREN COUNTY GIS.
- 33. CHES WIDE WHITE HIGHWAY-TYPE STRIPING APPLIED IN ACCORDANCE WITH THE PLAN.

SECTION 2, TOWN 4, RANGE 3 UNION TOWNSHIP **VILLAGE OF SOUTH LEBANON** WARREN COUNTY, OHIO **MARCH, 2019**





- 33. BACKFILL OF ALL UTILITY EXCAVATIONS IN STRUCTURAL AREAS INCLUDING UNDER PAVEMENTS OR WITHIN TEN (10) FEET OF ANY BUILDING ARE AS SHOULD CONTINUALLY MONITORED BY A REPRESENTATIVE OF THE PROJECT GEOTECHNICAL ENGINEER TO VERIFY THAT PROPER LIFT THICKNESS, MOISTURE CONDITION, AND COMPACTIVE EFFORT ARE MAINTAINED.
- 34. PARKING LOT STRIPING SHALL BE FOUR (4) INCHES WIDE WHITE HIGHWAY-TYPE STRIPING APPLIED IN ACCORDANCE WITH THE PLAN.
- 35. ALL DIMENSIONS AND PROPOSED ELEVATIONS ARE TO THE TOP OF FINISHED PAVEMENT/FACE OF CURB UNLESS OTHERWISE NOTED.
- 36. ALL RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 37. ALL RADII ARE 5' UNLESS OTHERWISE NOTED EXCEPT IN ROADWAY AND ROADWAY/DRIVEWAY INTERSECTIONS WHERE RADII ARE 25' UNLESS OTHERWISE NOTED.
- 39. CURB IN PARKING AREAS IS TYPE 6 UNLESS OTHERWISE NOTED (SEE SHEET C2.1).
- 40. PARKING STALLS ARE 9'x18' UNLESS OTHERWISE NOTED.
- 41. WHERE CONNECTING TO EXISTING ASPHALT PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT TO PROVIDE A CLEAN AND SOUND EDGE. ITEM 407 TACK COAT SHALL BE APPLIED TO THE ENTIRE CUT FACE OF THE EXISTING PAVEMENT PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT.
- 42. PARKING LOT PAVEMENT MARKINGS SHALL CONFORM TO ITEM 641 PAVEMENT MARKINGS AND THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. PAVEMENT MARKING MATERIAL SHALL BE PER ITEM 642 TRAFFIC PAINT UNLESS OTHERWISE NOTED.
- 43. ALL SITE CONCRETE SHALL BE PER ODOT ITEM 499 CLASS C UNLESS OTHER WISE NOTED ON THE

BENCHMARK

WARREN COUNTY GEODETIC SYSTEM



INDEX OF SHEETS

DRAWING NO.	DRAWING TITLE	ISSUE DATE	REVISION NO.	REVISION DATE
C1.0	TITLE SHEET	4/17/19		
C2.0	SITE LAYOUT PLAN	4/17/19		
C2.1	SITE DETAILS	4/17/19		
C3.0	UTILITY PLAN	4/17/19		
C3.1	UTILITY NOTES AND DETAILS	4/17/19		
C3.2	UTILITY NOTES AND DETAILS	4/17/19		
C3.3	UTILITY NOTES AND DETAILS	4/17/19		
C4.0	GRADING AND EROSION CONTROL PLAN	4/17/19		
C4.1	EROSION CONTROL NOTES AND DETAILS	4/17/19		
L1.0	LANDSCAPE PLAN	4/17/19		
L2.0	LANDSCAPE NOTES AND DETAILS	4/17/19		

OWNER/DEVELOPER

MORELIA GROUP 8600 GOVERNORS HILL DRIVE, SUITE 160 CINCINNATI, OH 45249 PH: (513) 469-1500

LAND PLANNER/ENGINEER/

SURVEYOR

VILLAGE OF SOUTH LEBANON

SOUTH LEBANON, OHIO 45065

VILLAGE OF SOUTH LEBANON

SOUTH LEBANON, OHIO 45065

VILLAGE OF SOUTH LEBANON

SOUTH LEBANON, OHIO 45065

99 HIGH STREET

(513) 494-2296

99 HIGH STREET

(513) 494-2296

99 HIGH STREET

(513) 494-2296

6900 TYLERSVILLE ROAD. SUITE A MASON, OHIO 45040 PH: (513) 336-6600

UTILITY CONTACTS

OHIO UTILITIES PROTECTION SERVICE (OUPS) CONTACT 48 HOURS "BEFORE YOU DIG" 1-800-362-2764

TIME WARNER CABLE 11254 CORNELL PARK DRIVE CINCINNATI, OHIO 45242 (513) 489-5957

DUKE ENERGY

5445 AUDRO DRIVE CINCINNATI, OHIO 45247 (513) 287-1487 GREG FINLEY

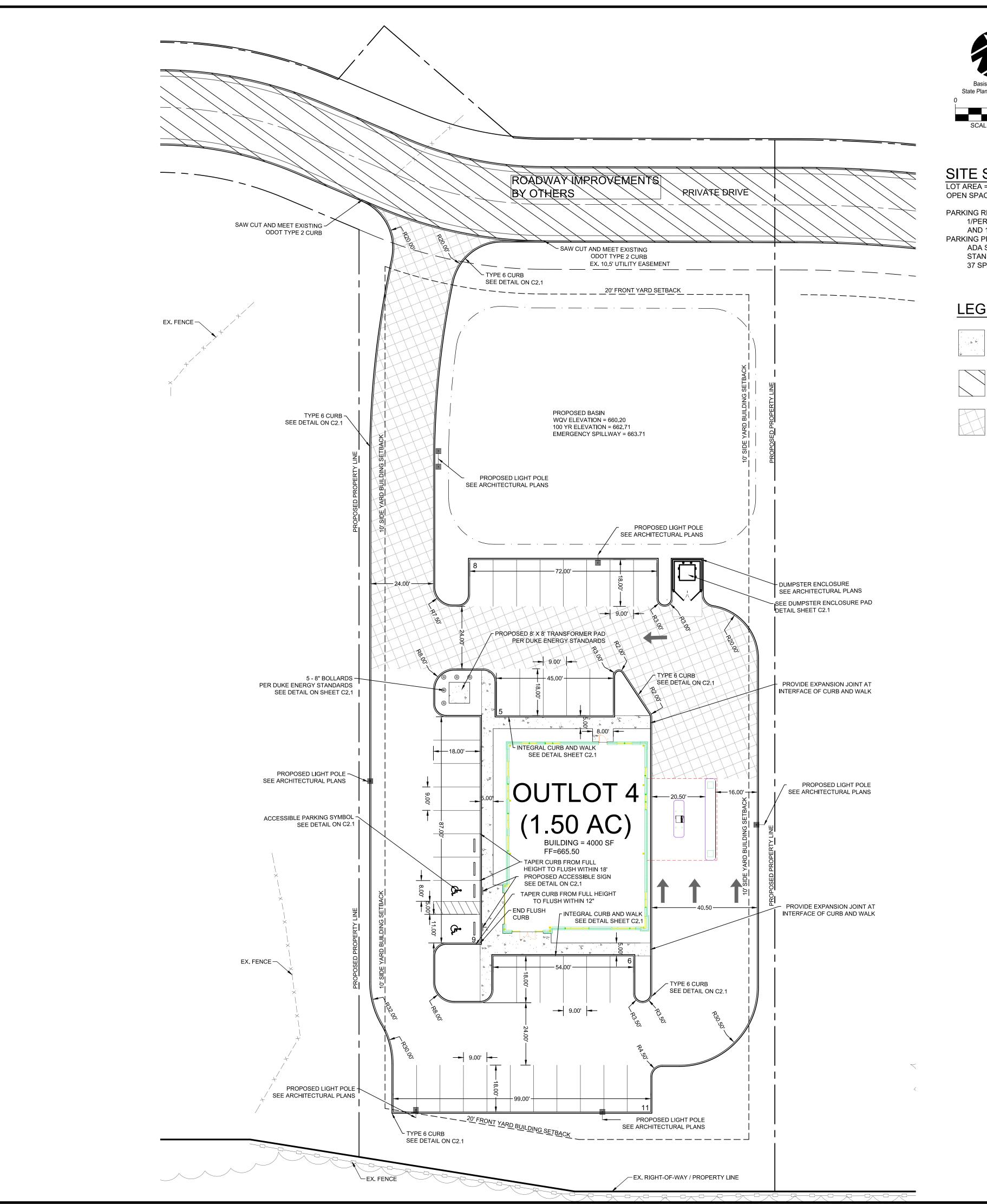
SPRINT UNITED TELEPHONE 185 HARMON AVENUE LEBANON, OH 45035 (513) 933-3561

DUKE ENERGY 5445 AUDRO DRIVE CINCINNATI, OH 45247 (513) 287–1487 TONY GISKA



Know what's below. Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION





SITE SUMMARY

LOT AREA = 1.50 ACRES OPEN SPACE: = 0.57 ACRES (38.2%)

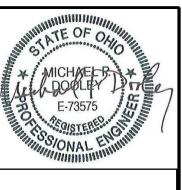
PARKING REQUIRED = 26 SPACES 1/PER 250 S.F. OF FLOOR AREA AND 1 PER EMPLOYEE PARKING PROVIDED = 39 SPACES ADA SPACES = 2 SPACES STANDARD VEHICLE SPACES = 37 SPACES

LEGEND

CONCRETE WALK SEE DETAIL ON C2.1

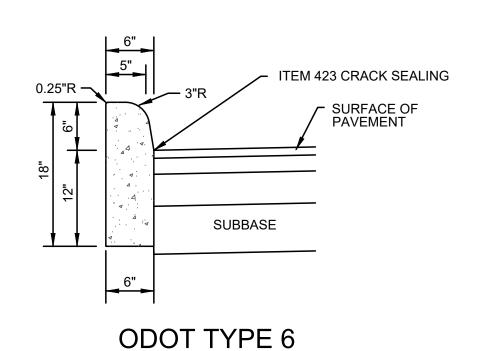
ROADWAY IMPROVEMENTS BY OTHERS

HEAVY ASPHALT PAVEMENT SEE DETAIL ON C2.1



ltem	1	2	3	4	2
FOL!	VERU CROUDING WEUL		ı V	SECTION 2, TOWN 4, RANGE 3	

WITH SPIDER DRAINS



CURB DETAIL

NOT TO SCALE

LIGHT-DUTY PARKING PAVEMENT DETAIL NOT TO SCALE

① ITEM 448 - 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1

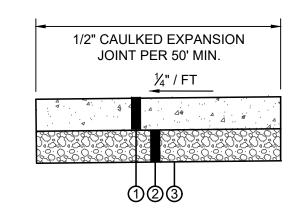
② ITEM 407 - TACK COAT @ 0.10 GAL/SY

③ ITEM 301 - 2" BITUMINOUS AGG. BASE

(5) ITEM 204 - SUBGRADE COMPACTION

4) ITEM 304 - 6" AGGREGATE BASE

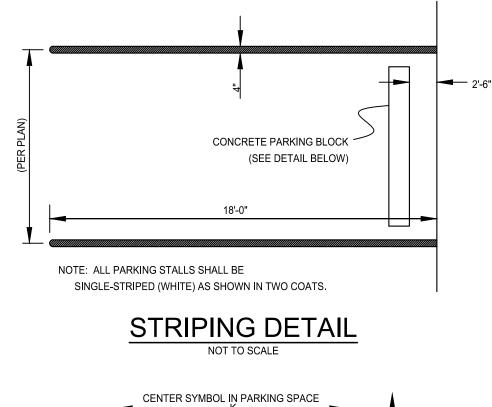
- **HEAVY-DUTY PARKING** PAVEMENT DETAIL NOT TO SCALE
 - ① ITEM 448 1-1/2" ASPHALT CONCRETE SURFACE COURSE TYPE 1
 - (2) ITEM 407 TACK COAT @ 0.10 GAL/SY ③ ITEM 301 - 3" BITUMINOUS AGG. BASE
 - 4 ITEM 304 8" AGGREGATE BASE (5) ITEM 204 - SUBGRADE COMPACTION

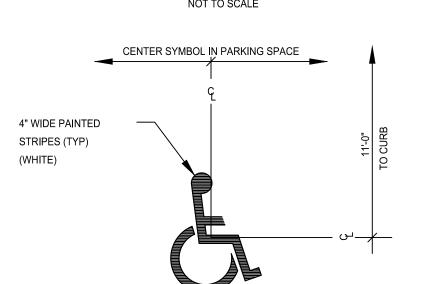


TYPICAL SIDEWALK SECTION Not To Scale

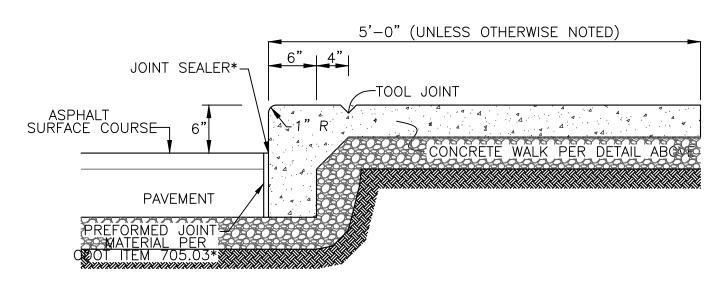
NOTE: Sidewalk Joints Shall Be In Accordance With Item 608.03 Unless Otherwise Detailed as a Part of the Architectural Plans.

- 1) ITEM 608 4" CLASS C
- ② ITEM 304 4" AGGREGATE BASE
- ③ ITEM 204 SUBGRADE COMPACTION



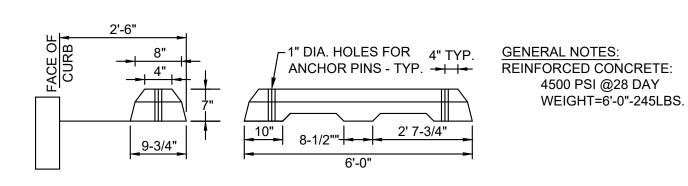


ACCESSIBLE SYMBOL DETAIL

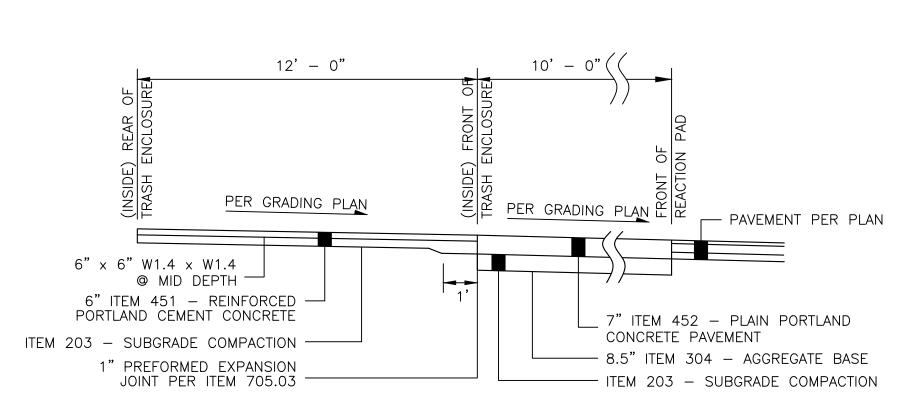


INTEGRAL CURB & WALK DETAIL

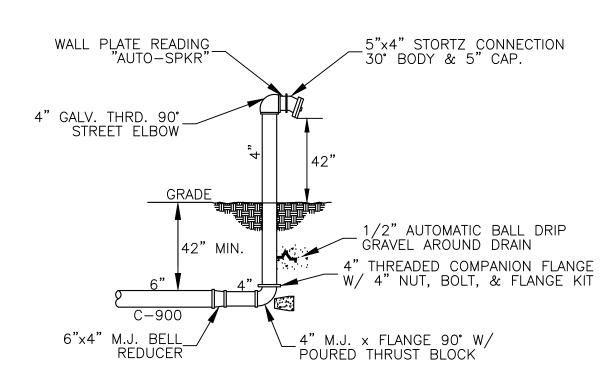
NOT TO SCALE



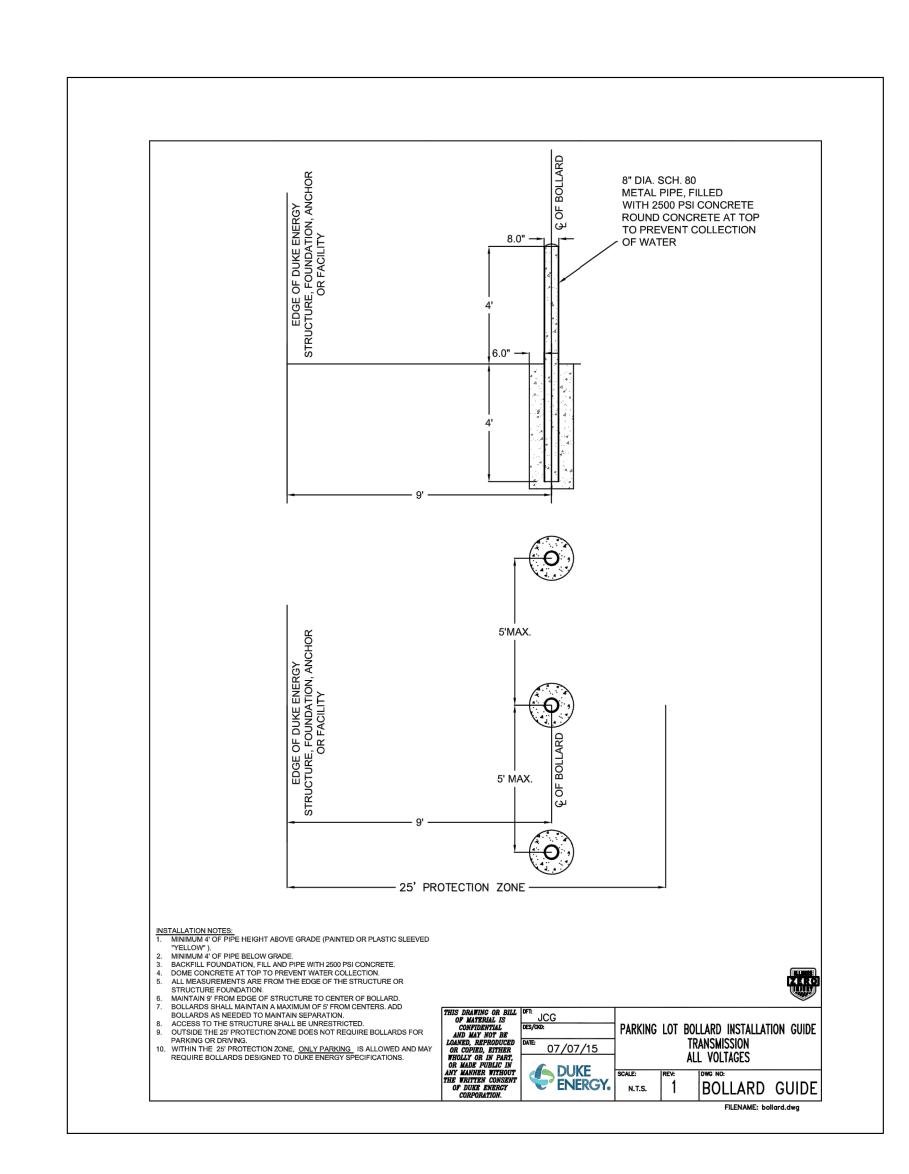
CONCRETE PARKING BLOCK DETAIL

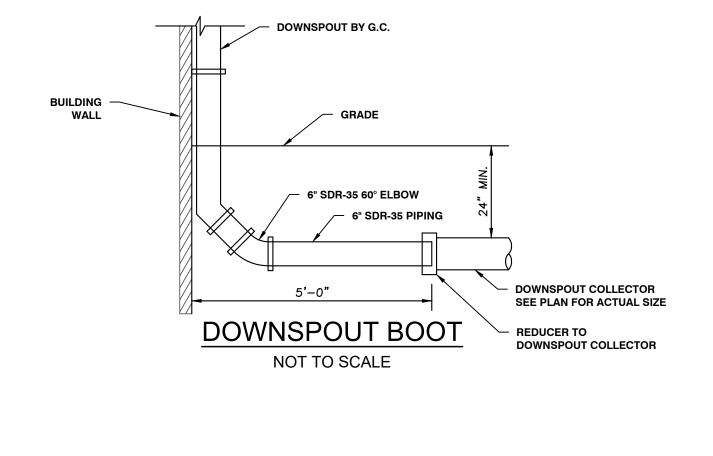


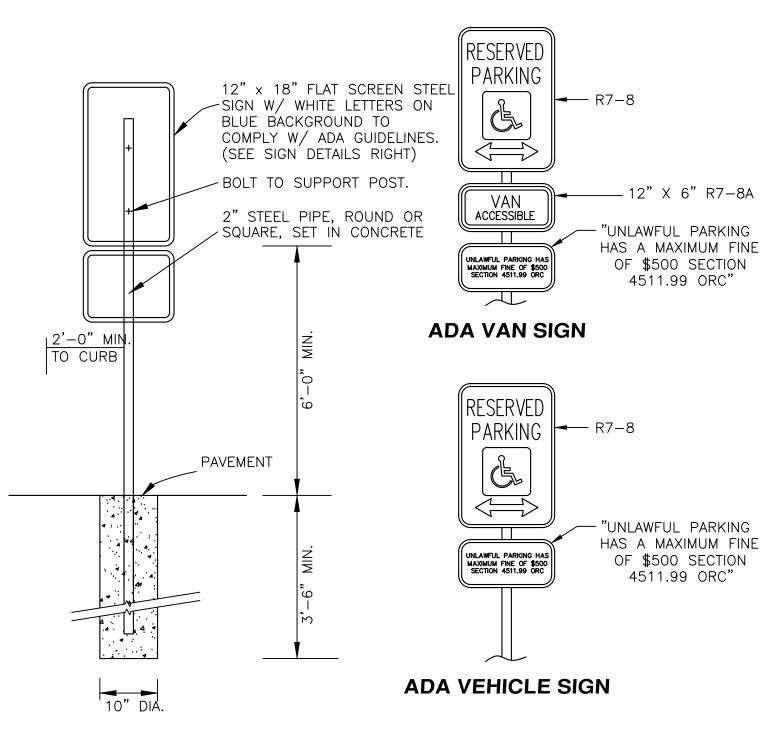
DUMPSTER ENCLOSURE PAD DETAIL



FREE STANDING FIRE DEPARTMENT CONNECTION (FDC) DETAIL





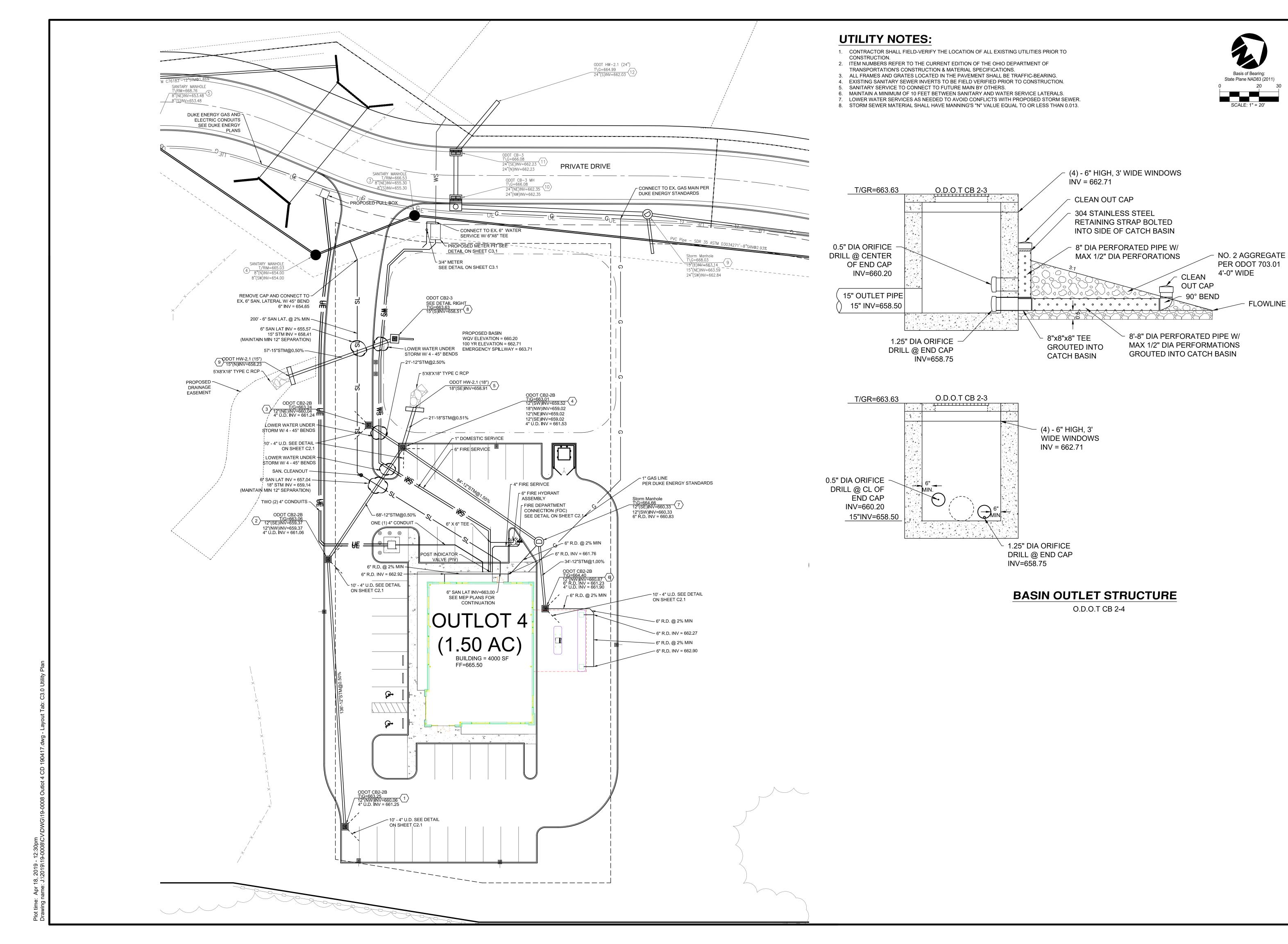


ADA ACCESSIBLE SIGN DETAILS

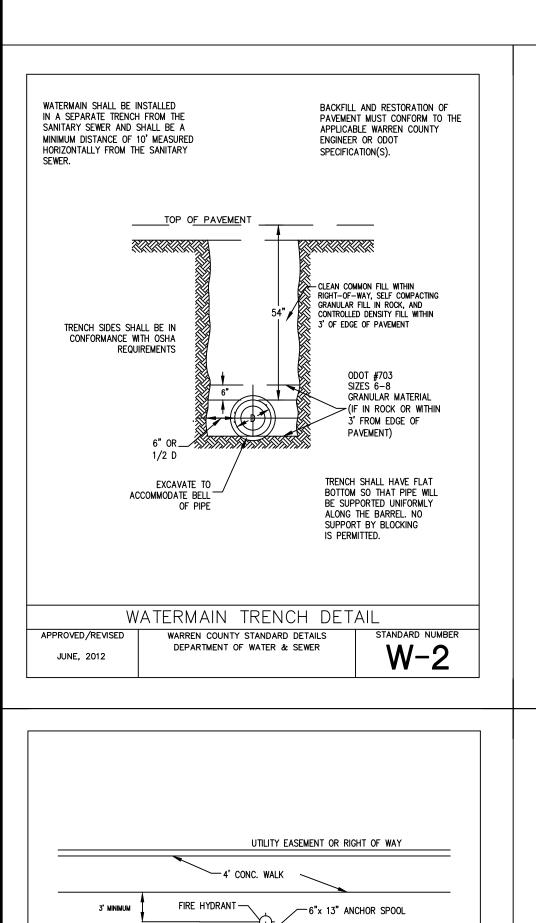
0-0008 OUTLOT 4 CD 19041

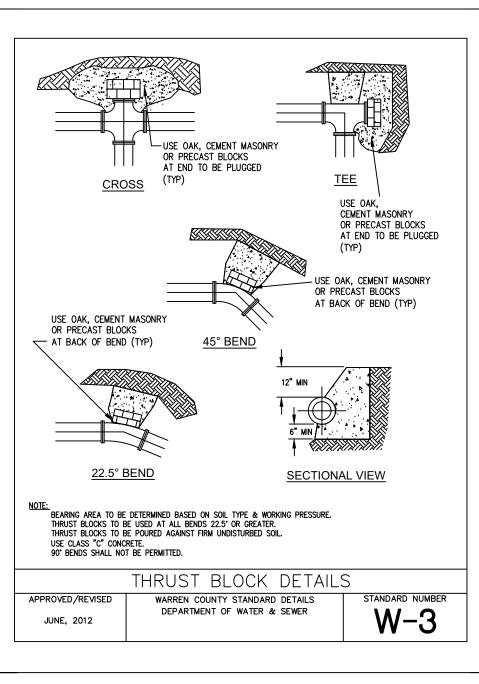
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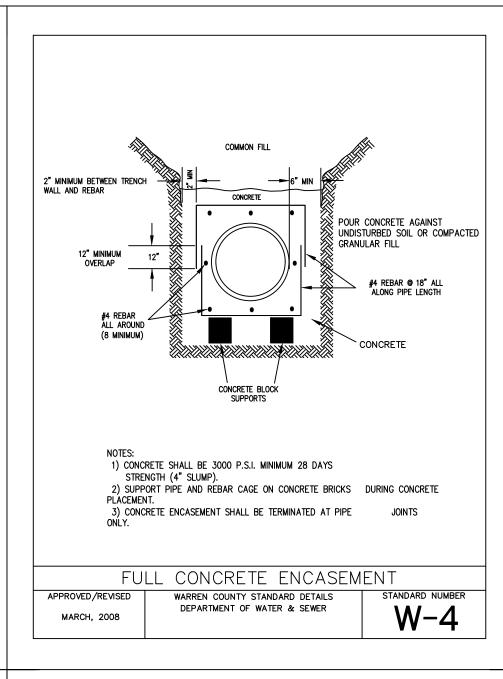
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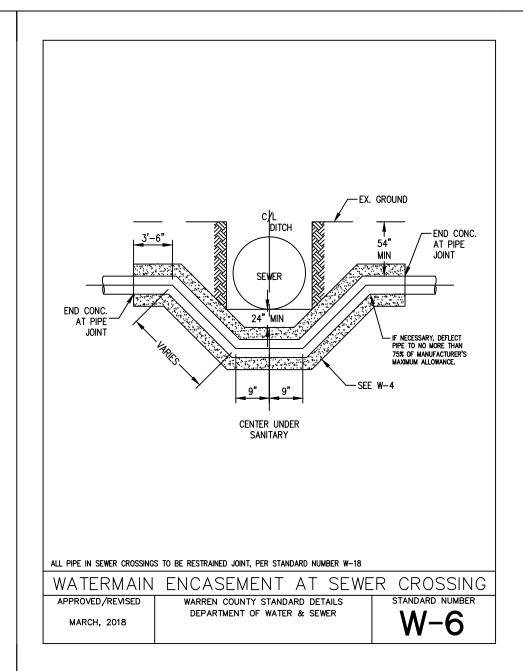


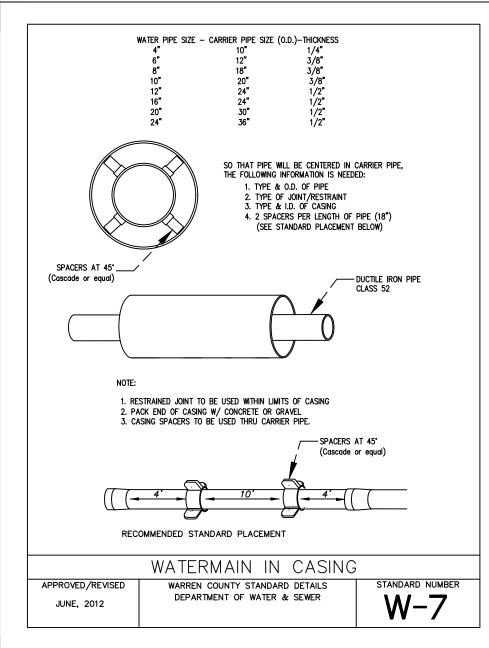


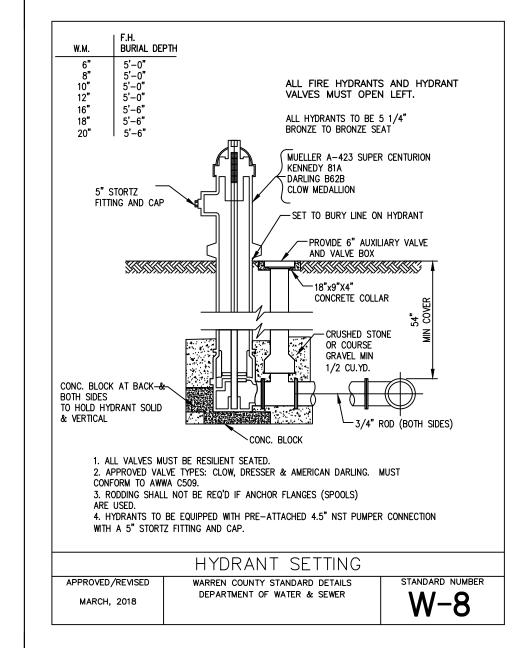


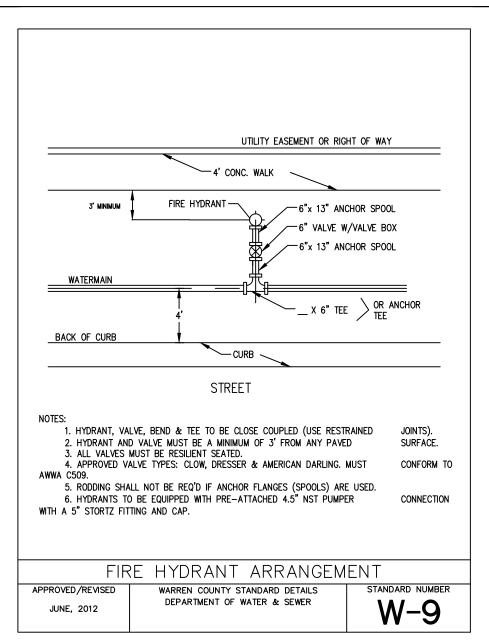


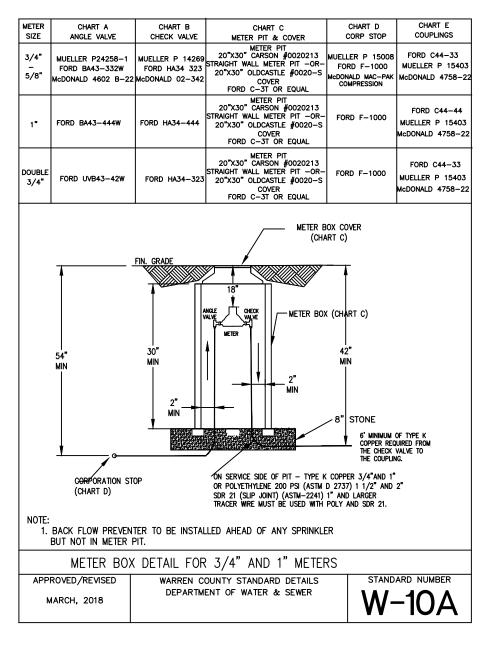


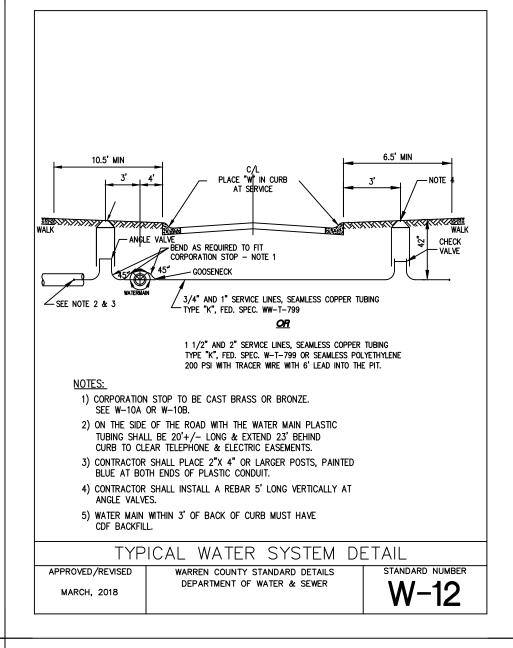


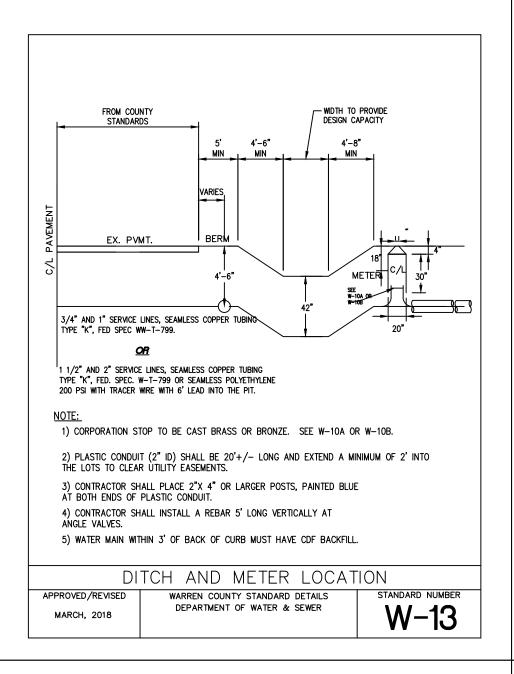


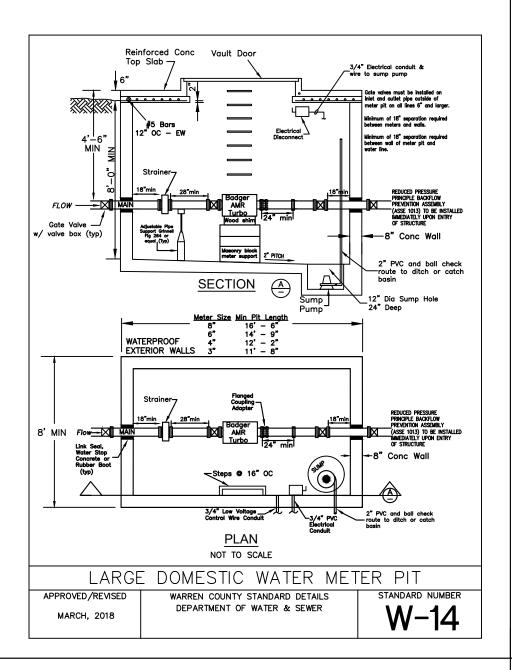


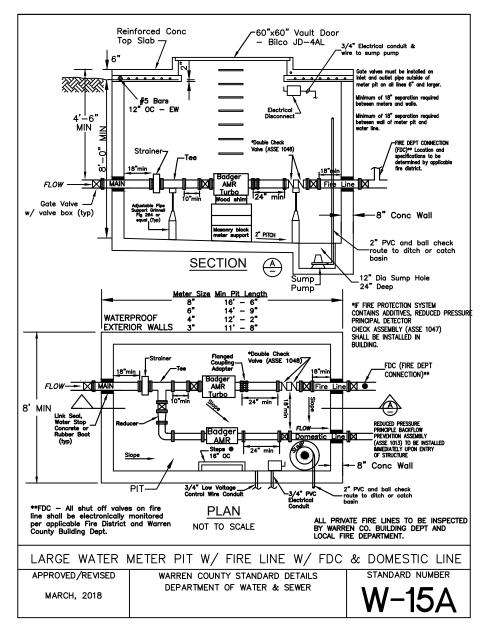


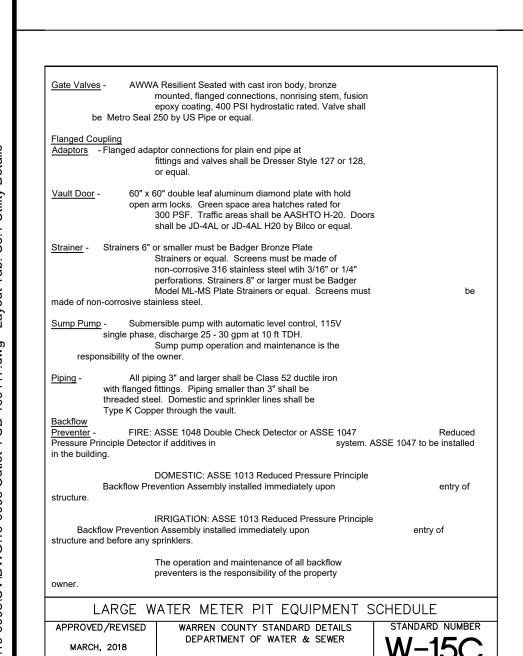


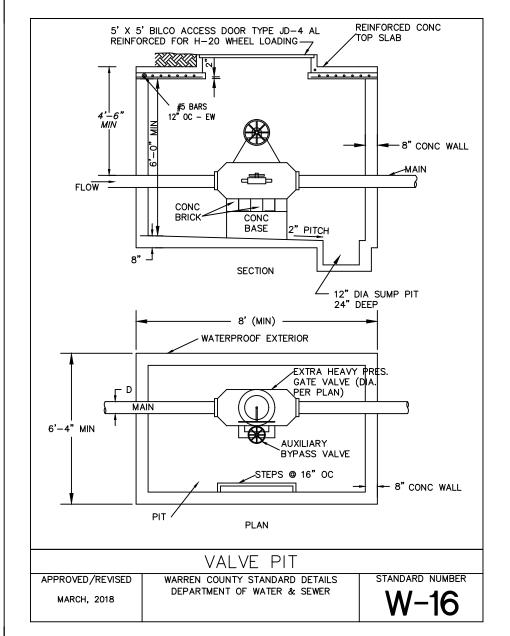


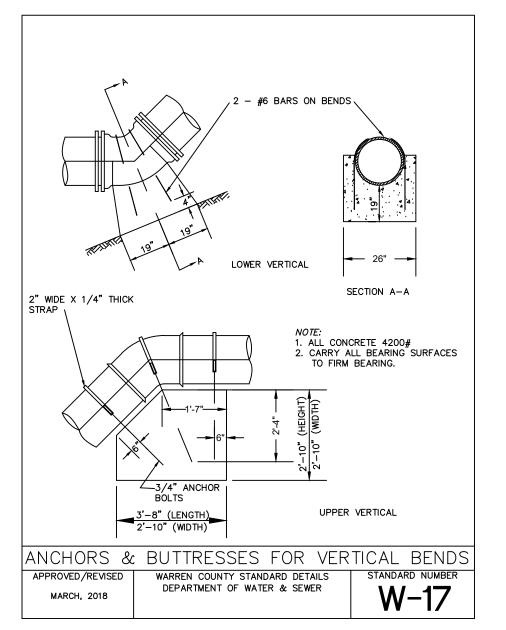


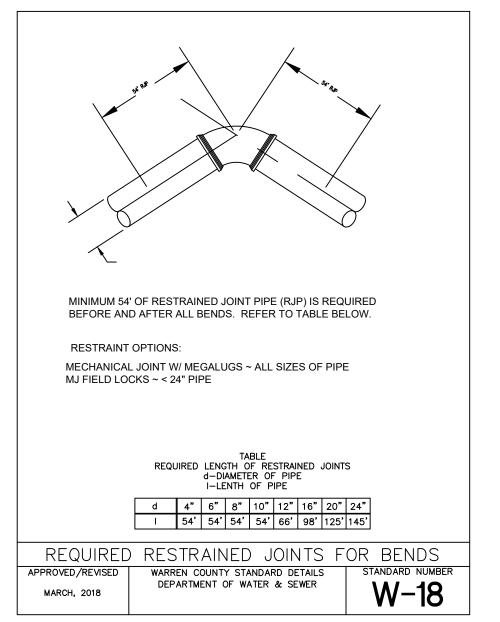


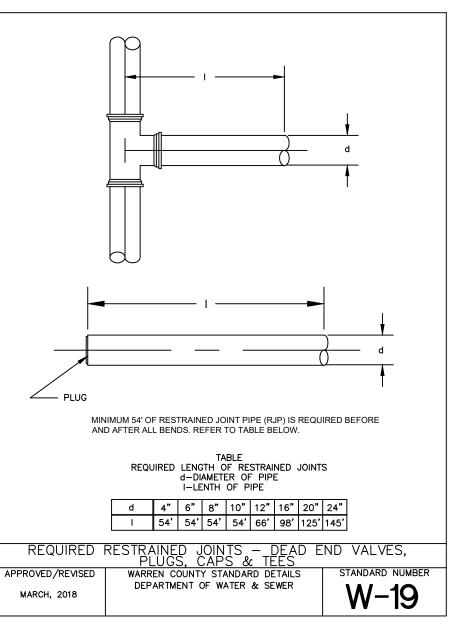


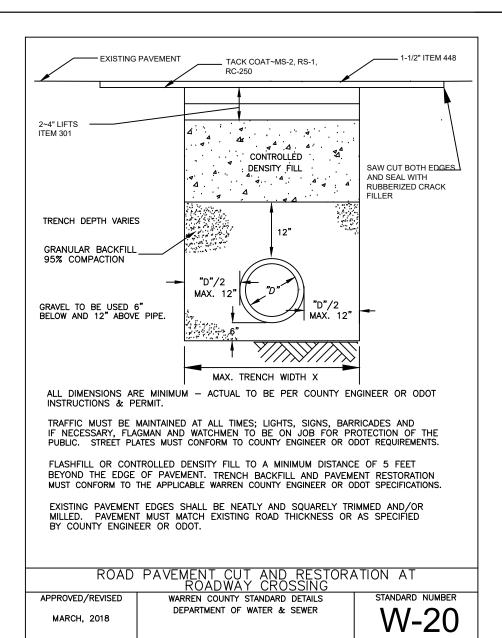


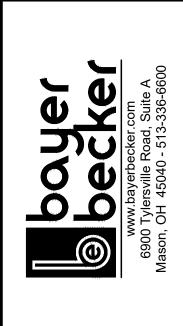












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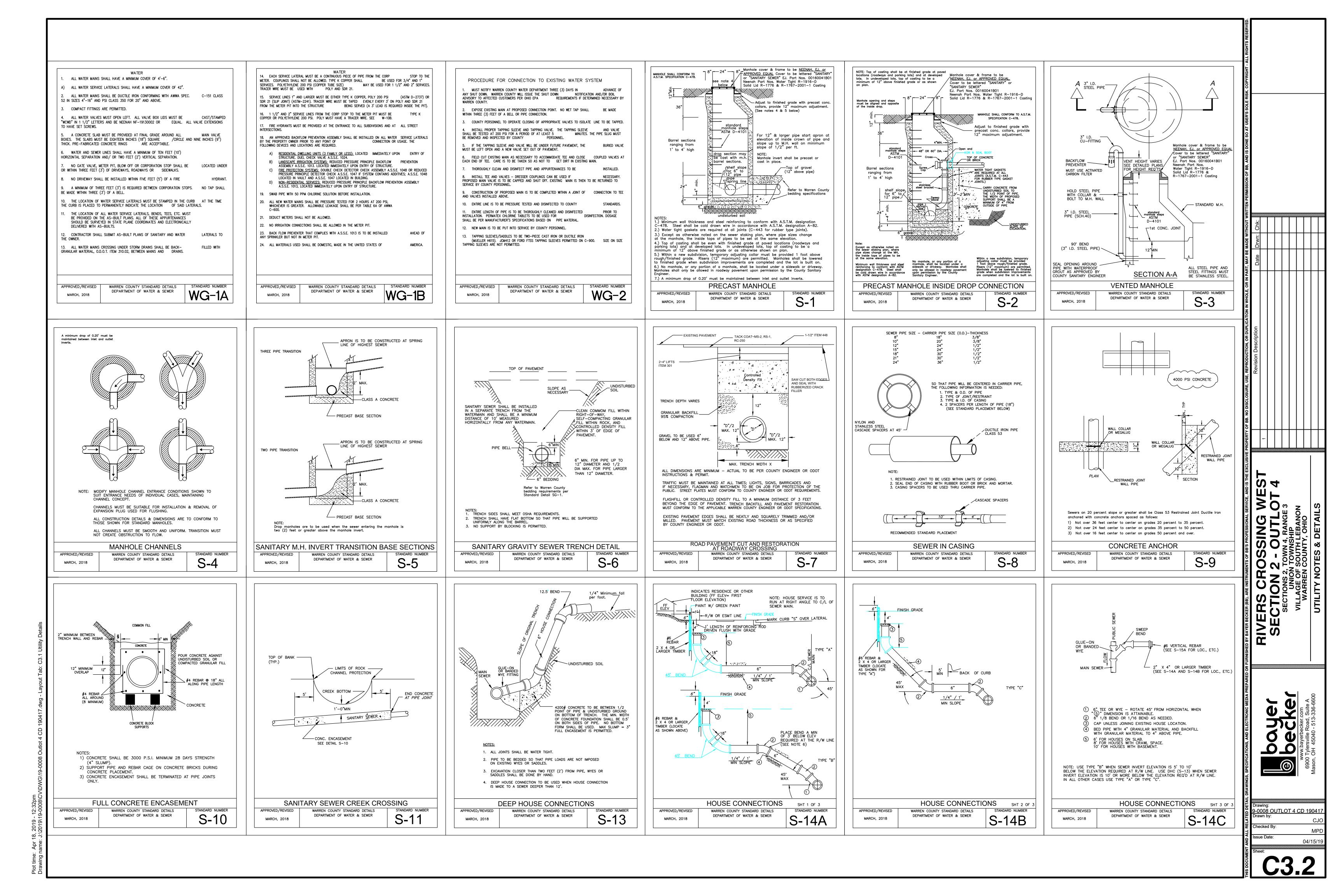
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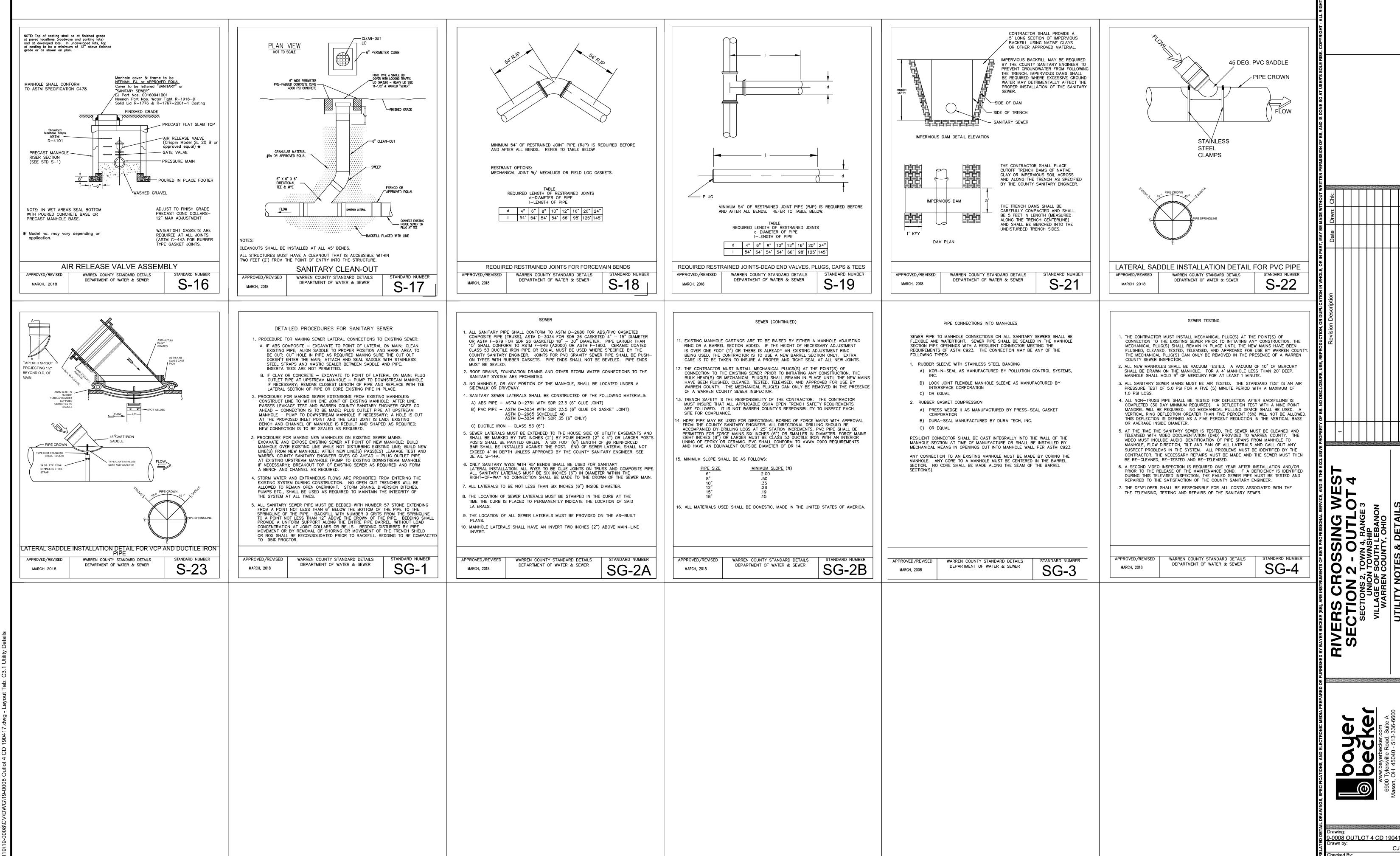
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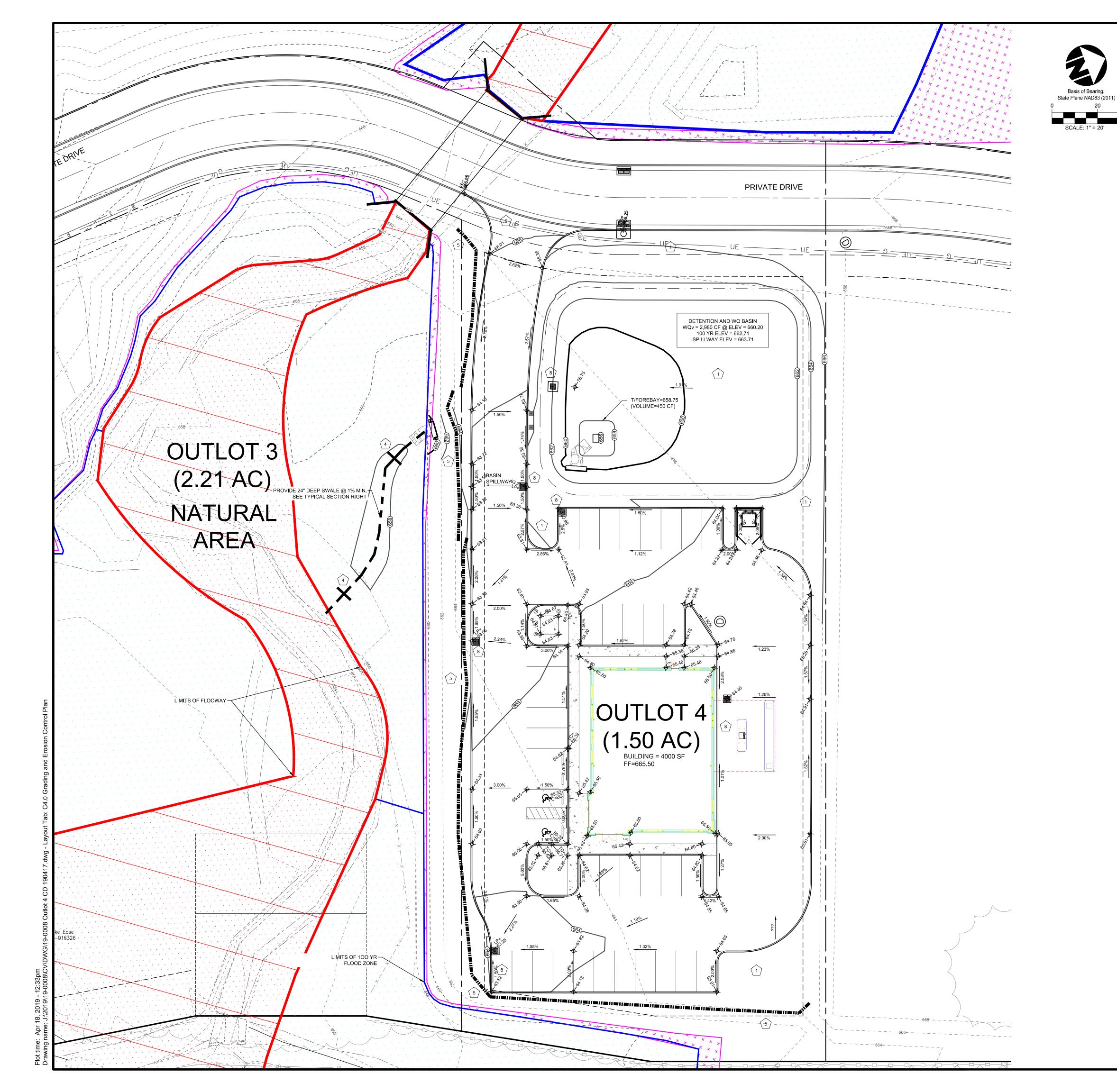
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04/15/2 04/15/2



GRADING NOTES

- 1. LOCATION OF EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO BEGINNING WORK.
- THE GRADING PLAN IS TO BE USED FOR GRADING PURPOSES ONLY.
 CONTRACTOR SHALL OBTAIN A COPY OF THE COMPLETE GEOTECHNICAL REPORT AND ALL
- ADDENDUMS PRIOR TO BIDDING THE PROJECT.

 4. CONTRACTORS SHALL SET UP AN ONSITE PRE-CONSTRUCTION MEETING WITH THE DEVELOPER, PROJECT GEOTECHNICAL ENGINEER, EARTHWORK CONTRACTOR, SITE CIVIL ENGINEER, AND THE
- 5. ALL EARTHWORK AND CONSTRUCTION ACTIVITY SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER AS DESCRIBED IN THE GEOTECHNICAL EXPLORATION REPORT AND ALL ADDENDUMS.

VILLAGE OF NEW RICHMOND PRIOR TO BEGINNING CONSTRUCTION.

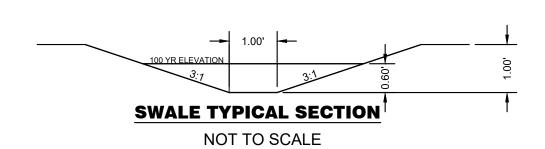
- 6. CONTRACTOR SHALL INSTALL AND MAINTAIN A CONCRETE WASHOUT FACILITY PER WARREN COUNTY STANDARDS. CONTRACTOR SHALL COORDINATE LOCATION WITH WARREN COUNTY SOIL & WATER CONSERVATION DISTRICT.
- 7. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION.
- 8. BEST MANAGEMENT PRACTICES (BMPs) SHOWN ON PLANS SHALL BE REVISED OR IMPLEMENTED AS REQUIRED. CONTRACTOR SHALL MONITOR CONSTRUCTION BMPs AND PROVIDE ADDITIONAL BMPs AS REQUIRED TO PREVENT SEDIMENT RUNOFF FROM CONSTRUCTION SITE ONTO PAVEMENT AND NON-WORK AREAS.
- 9. AT A MINIMUM, ALL EROSION AND SEDIMENT CONTROLS ON THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD. QUALIFIED INSPECTION PERSONNEL (THOSE WITH KNOWLEDGE AND EXPERIENCE IN THE INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS) SHALL CONDUCT THESE INSPECTIONS TO ENSURE THAT THE CONTROL PRACTICES ARE FUNCTIONAL AND TO EVALUATE WHETHER THE EROSION CONTROL IS ADEQUATE AND PROPERLY IMPLEMENTED OR WHETHER ADDITIONAL CONTROL MEASURES ARE REQUIRED. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE VEHICLE TRACKING.
- 10. SITE STABILIZATION SHALL BEGIN WITHIN 7 DAYS ON AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED FOR 14 DAYS.
- 11. ALL MUD OR DEBRIS TRACKED ON EXISTING STREETS SHALL BE CLEANED AT THE END OF EACH DAY OR AS DIRECTED BY WARREN COUNTY OR THE OWNER. PERIODIC STREET SWEEPING MAY BE REQUIRED.
- 12. IN ADDITION TO ANY TEMPORARY EROSION, MUD, AND DEBRIS CONTROL DETAILS AND NOTES SHOWN ON THE PLANS, THE CONTRACTOR SHOULD PLACE TEMPORARY OR PERMANENT SEEDING, MULCHING AND/OR MULCH NETTING OR ANY OTHER GENERALLY ACCEPTED METHODS TO PREVENT EROSION, MUD, AND DEBRIS FROM BEING DEPOSITED ON OTHER PROPERTY, ON NEWLY CONSTRUCTED OR EXISTING ROADS, OR INTO EXISTING SEWERS OR NEW SEWERS WITHIN THE DEVELOPMENT. THE CONTRACTOR SHOULD CONTINUALLY MONITOR THE CONSTRUCTION PROGRESS AND MAKE ANY NECESSARY TEMPORARY ADJUSTMENTS TO MAINTAIN THIS CONTROL.

13. AFTER THE VEGETATION HAS BECOME WELL ESTABLISHED, TEMPORARY EROSION AND SEDIMENT

CONTROLS CAN BE REMOVED.

EROSION CONTROL LEGEND

- 1 SEEDING & MULCHING (SEE DETAIL ON SHEET C4.1)
- DITCH CHECK
 (SEE DETAIL ON SHEET C4.1)
- 6 ROCK CONSTRUCTION ENTRANCE (SEE DETAIL ON SHEET C4.1)
- DANDY BAG/DANDY CURB (OR APPROVED EQUAL) (SEE DETAIL ON SHEET C4.1)





INERVICEOUSING WEST	SECTION 2 - OUTLOT 4	SECTION 2, TOWN 4, RANGE 3	UNION TOWNSHIP	VILLAGE OF SOUTH LEBANON	
	SECT	S		 	



C4.0

EROSION AND SEDIMENT CONTROLS

<u>Vegetative practices</u>

Such practices may include: temporary seeding, permanent seeding, mulching, matting, sod stabilization, vegetative buffer strips, phasing and protection of trees. The contractor shall initiate appropriate vegetative practices on all disturbed areas within seven (7) days if they are to remain dormant (undisturbed) for more than twenty—one (21) days. Permanent or temporary soil stabilization shall be applied to disturbed areas within seven (7) days after final grade is reached on any portion of the site.

Structural Practices

Structural practices shall be used to control erosion and trap sediment from all sites remaining disturbed for more than fourteen (14) days.

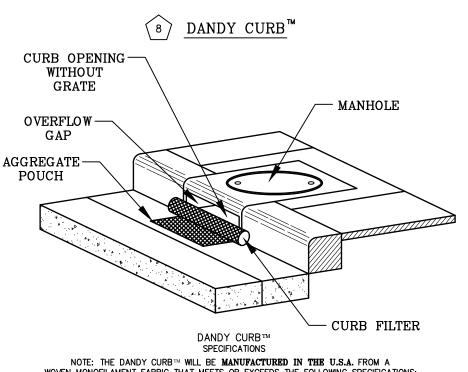
Sediment control structures shall be functional throughout earth disturbing activity. Sediment ponds and perimeter sediment barriers shall be implemented as the first step of grading and within seven days from the start of grubbing. They shall continue to function until the upslope development area is restabilized

Sheet flow runoff from denuded areas shall be intercepted by sediment barriers. Sediment barriers, such as sediment fences or diversions direction runoff to settling facilities, shall protect adjacent properties and water resources from sediment transported by sheet flow.

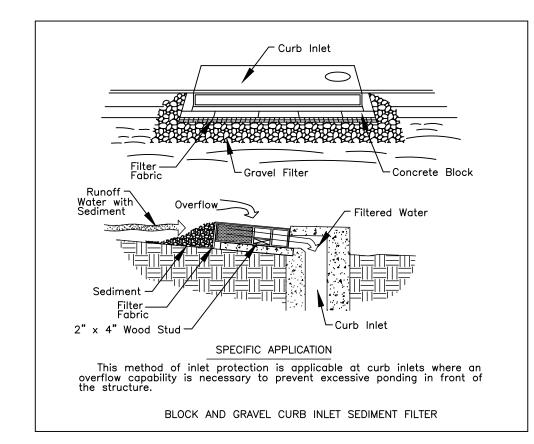
Erosion and sediment control practices used to satisfy the conditions of this plan shall meet the standards and specifications in the current edition of Water Management and Sediment Control in Urbanized Areas (Soil Conservation Service.)

No solid or liquid waste, including building materials, shall be discharged in storm water runoff. Off—site vehicle tracking of sediments shall be minimized. The plan shall ensure and demonstrate compliance and applicable State of local waste disposal, sanitary sewer or septic system regulations.

All temporary and permanent control practices shall be maintained and repaired as needed to assure continued performance of their intended function. The contractor shall be responsible for the maintenance described above.



ANDY CURB™ (SAFETY ORAN	NGE)		
Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (20
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (7
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m² (gal/min/ft²)	5907 (145)
Permittivity	ASTM D 4491	Sec ⁻¹	2.1

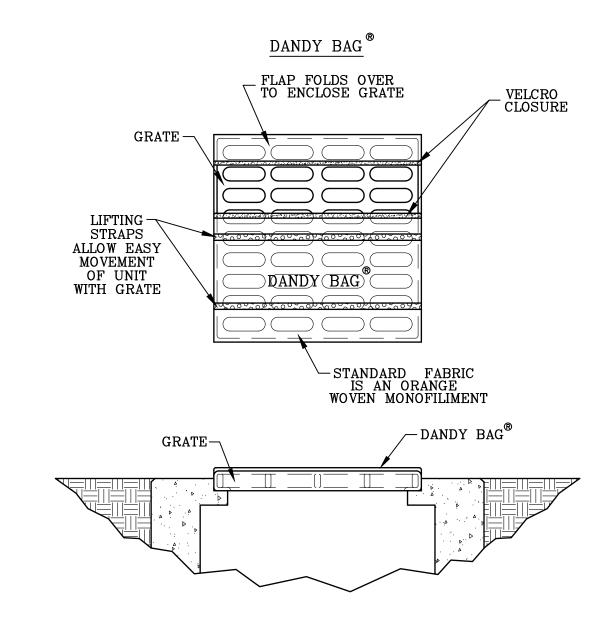


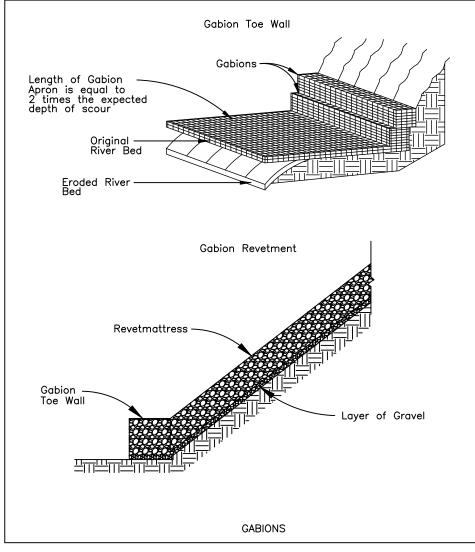
8 DANDY BAG®

Installation and Maintenance Guidelines

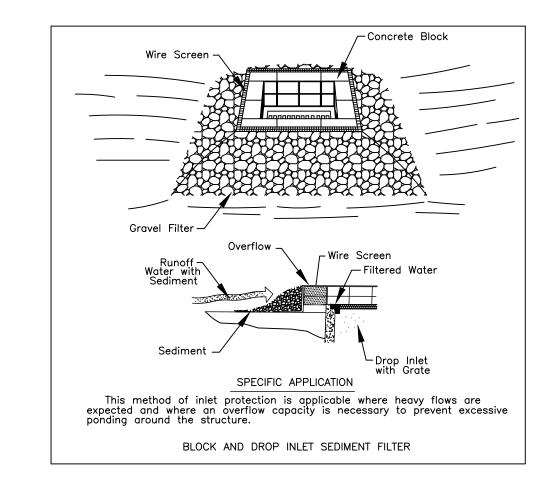
Installation: The empty Dandy Bag® should be placed over the grate as the grate stands on end. If using optional oil absorbents; place absorbent pillow in pouch, on the bottom (below-grade side) of the unit. Attach absorbent pillow to tether loop. Tuck the enclosure flap inside to completely enclose the grate. Holding the lifting devices (do not rely on lifting devices to support the entire weight of the grate), place the grate into its frame.

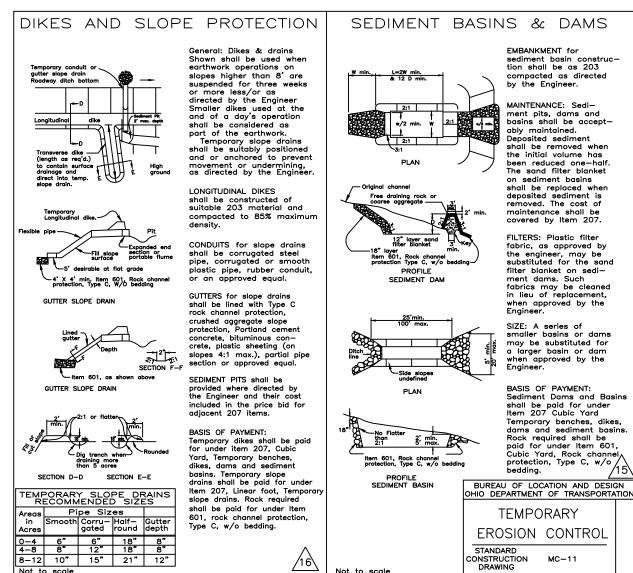
Maintenance: Remove all accumulated sediment and debris from surface and vicinity of unit after each storm event. Remove sediment that has accumulated within the containment area of the Dandy Bag® as needed. If using optional oil absorbents; remove and replace absorbent pillow when near saturation.

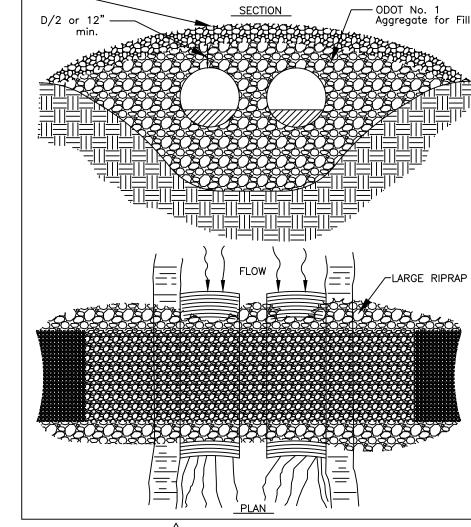




Source: Adapted from product literature of Bekaert Gabions.

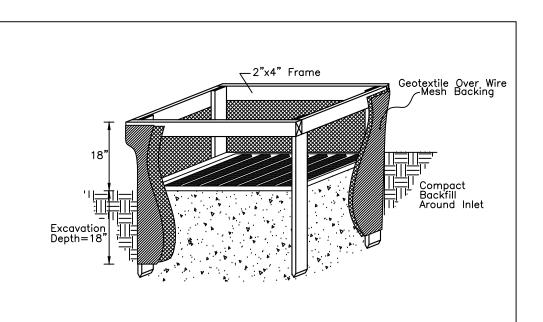






7 TEMPORARY STREAM CROSSING

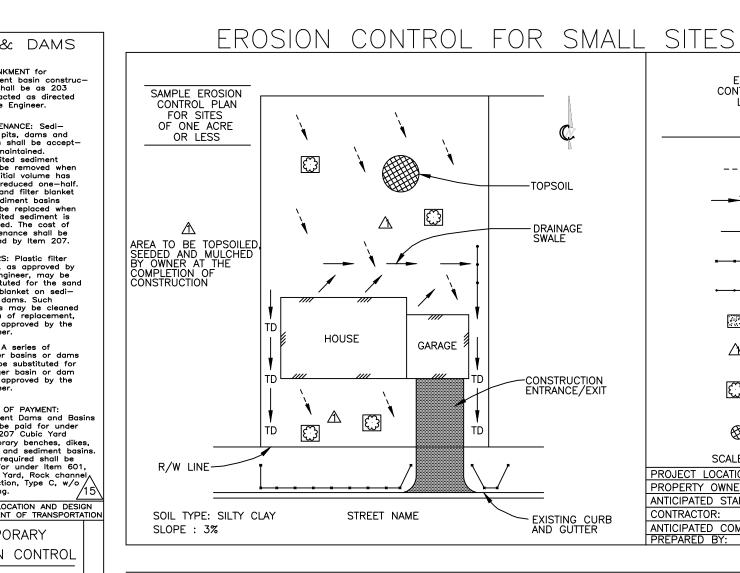
ODOT No. 57 Aggregate for Road Surface

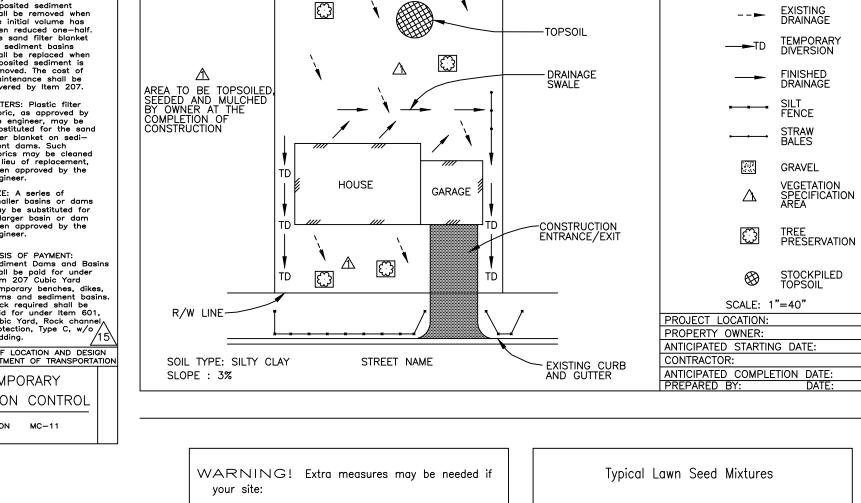


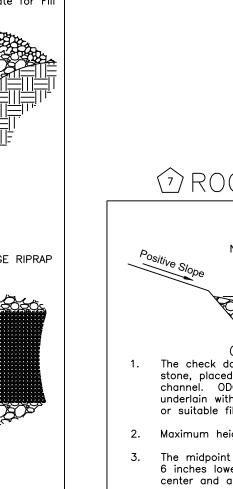
A GEOTEXTILE INLET PROTECTION

SPECIFICATIONS FOR INLET PROTECTION IN SWALES, DITCH LINES OR YARD INLETS

- 1. Inlet protection shall be constructed either before upslope land disturbance begins or before the storm drain becomes operational.
- 2. The earth around the inlet shall be excavated completely to a depth at least 18 in.
- 3. The wooden frame shall be constructed of 2-by-4-in construction-grade lumber. The 2-by-4-in posts shall be driven 1 ft into the ground at four four corners of the inlet and the top portion of 2-by-4-in frame assembled using the overlap joint shown. The top of the frame shall be at least 6 in below adjacent roads if ponded water would pose a safety hazard to traffic.
- 4. Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely to the frame.
- 5. Geotextile shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 in below the inlet notch elevation The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- 6. Backfill shall be placed around the inlet in compacted 6—in layers until the earth is even with notch elevation on ends and top elevation on sides.
- 7. A compacted earth dike or a check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression and if runoff bypassing the inlet will not flow to a settling pond. The top of earth dikes shall be at least 6 in. higher than the top of the frame
- INLET PROTECTION PAGE 125
- Source: Rainwater and Land Development, Ohio's Standards for Stormwater Management, Land Development, and Urban Stream Protection. Second Edition—1996

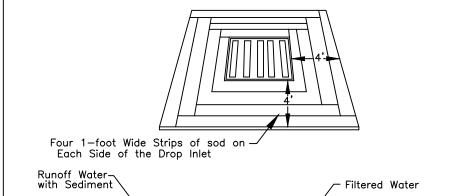


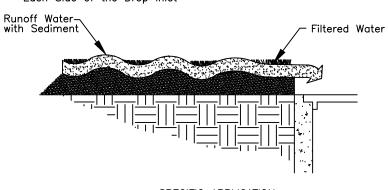




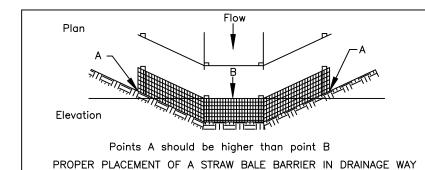
channel. ODOT Type D stone is acceptable, but should be underlain with a gravel filter consisting of ODOT No. 3 or 2. Maximum height of check dam shall not exceed 3.0 feet.

- center and away from the channel sides.
- 5. Spacing of check dams shall be in a manner such that the toe of the upstream dam is at the same elevation as the top of the downstream dam.
- the check dam to prevent flows from undercutting the structure. The apron should be 6 in. thick and its length
- than the sides and extends across entire channel.





This method of inlet protection is applicable only at the time of permanent seeding, to protect the inlet from sediment and mulch materials until permanent vegetation has become established. 12 SOD DROP INLET SEDIMENT FILTER



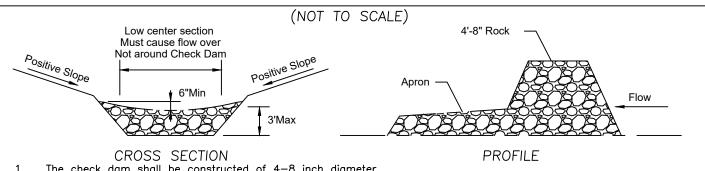
Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant

Sunny Site Shady Site Kentucky bluegrass 65% 15% Fine fescue 20% 70% Perennial ryegrass 15% 15% Seeding rate Seeding rate 3-4 (lb./1000 sq. ft.)

EROSION CONTROL PLAN

PROPERTY LINE

TROCK CHECK DAM



- Is within 300 feet of a stream or wetland

- Receives runoff from 10,000 sq. ft. or more of

- Has more than an acre of disturbed ground

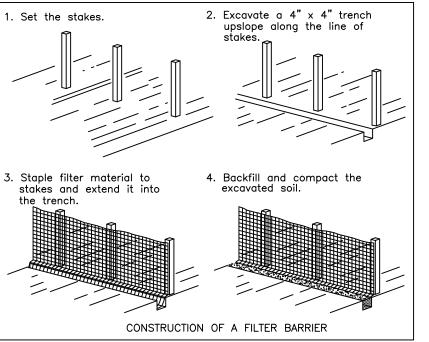
- Is within 1000 feet of a lake

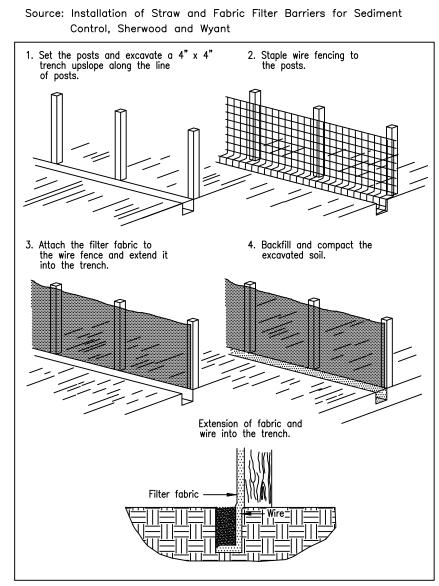
- Is steep (slopes of 12% or more)

The check dam shall be constructed of 4-8 inch diameter stone, placed so that it completely covers the width of the

- 6 inches lower than the sides in order to direct across the
- 4. The base of the check dam shall be entrenched approximately 6 inches.
- 6. A Splash Apron shall be constructed where check dams are expected to be in use for an extended period of time, a stone apron shall be constructed immediately downstream o
- two times the height of the dam. 7. Stone placement shall be performed either by hand or mechanically as long as the center of check dam is lower
- 8. Side slopes shall be a minimum of 2:1.

(D)SILT FENCE DETAILS





Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant

REVEGETATION Seed, sod or mulch bare soil as soon as

SEEDING AND MULCHING Spread topsoil. Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 19-19-19 or 10-10-10 Seed with an appropriate mix for the site

(see table.) Rake lightly to cover seed with

Mulch with straw (90 lb. or one bale per 1000 sq. ft.) Anchor mulch by punching 2 inches into the soil with a dull, weighted disk or by using netting or other measures on steep slopes, or windy areas.

1/4" of soil.

Areas within 50 feet of a stream are to be stabilized within two (2) days if area is to remain idle for more the 21 days. Any seeding done between October 1st and March 1st shall utilize dormant seeding techniques according to page 167 of the ODNR Rainwater and Land Development manual.

(2) SODDING Spread 4 to 6 inches of topsoil. Fertilize according to soil test (or apply 10lb./1000 sq. ft. of 20-10-10 or 10-10-10

Lightly water the soil. Lay sod. Tamp or roll lightly. On slopes, lay sod starting at the bottom and work toward the top. Peg each piece down in several places. Initial watering should wet soil 6 inches deep (or until water stands 1 inch deep in a straight-sided container.) Then water lightly

If construction is completed after October 31, seeding or sodding may be delayed. Applying mulch or temporary seed (such as rye or winter wheat) is recommended if weather permits. Straw bale or silt fences must be maintained until final seeding or sodding is completed in spring March 15— May 31.

every day or two for 2 weeks.

(3) PRESERVING EXISTING VEGETATION Wherever possible, preserve existing trees, shrubs, and other vegetation. To prevent root damage, do not grade, place soil piles, or park vehicles near trees marked for preservation. Place plastic mesh or snow fence barriers around trees to protect the area below their branches.

5 SILT FENCE

Put up before any other work is done. Install on downslope side(s) of site with ends extended up sideslopes a short Place parallel to the contour of the land to allow water to pond behind fence. Entrench 4 inches deep. Stake (1 stake every 8 feet for silt fence.)

Leave no gaps between sections of silt fence. Inspect and repair once a week or after every 1/2 inch rain. Remove sediment if deposits reach half the fence.

Maintain until lawn is installed.

6 SOIL PILES Located away from any downslope street, driveway, stream, lake, wetland, ditch or Temporary seed with annual rye as needed.

Surround silt fence as needed. GRAVEL DRIVE Install a single access drive using 3 to 5 inch aggregate over a geotextile material. Lay gravel 6 inches deep and 10 feet wide from the foundation to the street.

Use to prevent tracking dirt onto the road by all vehicles. Maintain throughout construction until

driveway is paved. Park all construction vehicles on the street and off of the site. SEDIMENT CLEANUP

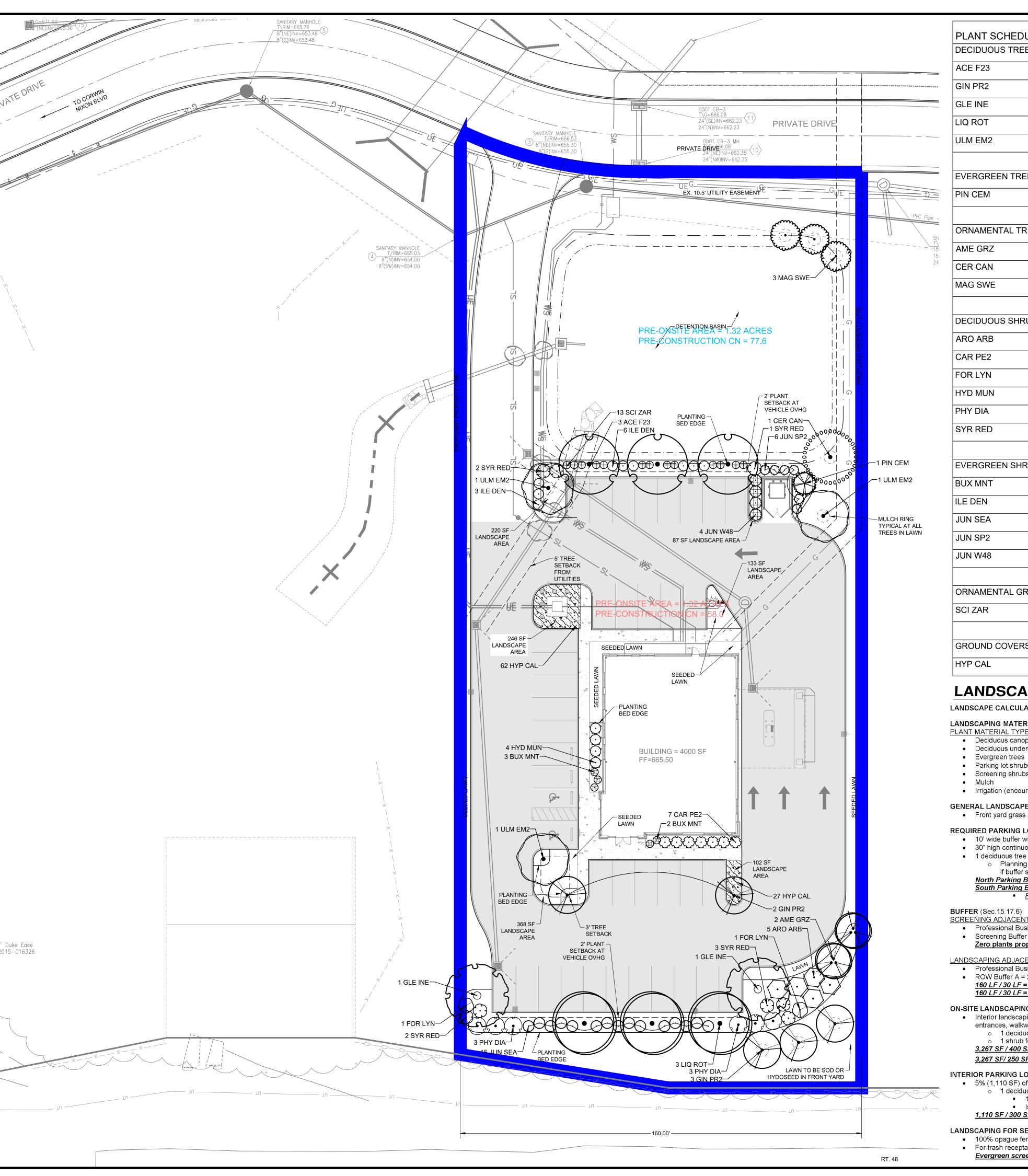
By the end of each work day, sweep or scrape up soil tracked onto the road. By the end of the next work day after a storm, clean up soil washed off—site, and check geotextile inlet protection and silt fence for damage or sediment buildup.

DOWNSPOUT EXTENDERS Not required, but highly recommended. Install as soon as gutters and downspouts are completed. Route water to a grassed or paved area. Maintain until a lawn is established.



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-0008 OUTLOT 4 CD 19041



PLANT SCHEDULE DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SI
ACE F23	3	Acer rubrum `Frank Jr.`	Redpointe Maple	B & B	2.5" Ca
GIN PR2	5	Ginkgo biloba `Princeton Sentry`	Princeton Sentry Ginkgo	B & B	2.0" Ca
GLE INE	2	Gleditsia triacanthos inermis `Skycole` TM	Skyline Thornless Honey Locust	B & B	2.5"Cal
₋IQ ROT	3	Liquidambar styraciflua `Rotundiloba` TM	Round-Lobed Sweet Gum	B & B	2.5" Ca
JLM EM2	3	Ulmus propinqua `Emerald Sunshine`	Emerald Sunshine Elm	B & B	2.5" Ca
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SI
PIN CEM	1	Pinus cembra	Swiss Stone Pine	B & B	5` Ht.
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SI
AME GRZ	2	Amelanchier x grandiflora `Autumn Brilliance`	A.B. Serviceberry	B & B	1.5" Ca
CER CAN	1	Cercis canadensis	Eastern Redbud	B & B	1.5"Cal
MAG SWE	3	Magnolia virginiana	Sweet Bay	B & B	1.5" Ca
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGH
ARO ARB	5	Aronia arbutifolia `Brilliantissima`	Brilliant Red Chokeberry/Red Chokeberry	B&B	30" Ht.
CAR PE2	7	Caryopteris x clandonensis `Petite Blue`	Petit Bleu	3 gal	18" Ht.
FOR LYN	2	Forsythia x intermedia `Lynwood Gold`	Lynwood Gold Forsythia	B&B	30" Ht.
HYD MUN	4	Hydrangea quercifolia `Munchkin`	Oakleaf Hydrangea	5 gal	18" Ht.
PHY DIA	6	Physocarpus opulifolius `Diablo`	Diablo Ninebark	B & B	30" Ht.
SYR RED	8	Syringa x `Red Pixie`	Red Pixie Lilac	5 gal	30" Ht.
	OT)	DOTANIOAL NAME		0.75	Jugious
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGH'
BUX MNT	5	Buxus microphylla insularis `Green Mountain`	Green Mountain Boxwood	B&B	24" Ht.
LE DEN	9	Ilex glabra `Densa`	Inkberry Holly	5 gal	30" Ht.
JUN SEA	15	Juniperus chinensis `Sea Green`	Sea Green Juniper	B&B	30" Ht.
JUN SP2	6	Juniperus chinensis `Spartan`	Spartan Juniper	B & B	48" Ht.
JUN W48	4	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	B & B	48" Ht.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGH
SCI ZAR	13	Scirpus tabernaemontani Zebrinus	Zebra Bulrush	10" Squat Cont.	Clump
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2
HYP CAL	89	Hypericum calycinum	Creeping St. John's Wort	1 gal	24" o.c.

LANDSCAPE CALCULATIONS

LANDSCAPE CALCULATIONS, SOUTH LEBANON, PER ARTICLE 17 LANDSCAPING & BUFFERING

MINIMUM INSTALL

Updated: 4/17/2019

LANDSCAPING MATERIALS (15.17.14) PLANT MATERIAL TYPE Deciduous canopy trees

= 2.5" caliper (15' spread min.) = 2.0" caliper Deciduous understory/ornamental = 5' height

= 24" height Parking lot shrubs

• Screening shrubs (r.o.w. & parking lot) = 30" height

 Mulch = 4" deep shredded bark mulch in planting beds Irrigation (encouraged) 1 spigot within 100' of all landscape material

GENERAL LANDSCAPE REQUIREMENTS (Sec. 15.17.4) Front yard grass areas of non-residential uses to be planted with sod or hydroseed

REQUIRED PARKING LOT SCREENING (Sec. 15.17.5) for parking lots with more than 5 parking spaces

 30" high continuous screen (mound, hedge, decorative wall or combination) 1 deciduous tree per 30 LF of required buffer o Planning Commission may wave modify or waive parking lot perimeter landscaping requirements

if buffer strip requirements are met (see Buffer) North Parking Buffer = 73 LF / 30 LF = 2.43 = 3 trees required

South Parking Buffer = 100 LF / 30 LF = 3.33 = 4 trees required, 0 proposed (meets buffer) Request PC waive south parking lot perimeter requirements due to buffer requirements

BUFFER (Sec. 15. 17.6)

- SCREENING ADJACENT TO PROPERTY LINES BETWEEN LAND USES (15.17.7) Professional Business/Office use adjacent to same = "Screening Between Prop Line Uses Buffer A"
- Screening Buffer A = 10' width, no shrubs and 1 deciduous or evergreen tree per 30 LF of buffer Zero plants proposed as the land uses are the same adjacent to property lines
- LANDSCAPING ADJACENT TO RIGHTS-OF-WAY (Sec. 15.17.8) Professional Business/Office adjacent to Interstates = Buffer A (not the same Buffer A as above)
- ROW Buffer A = 20' width, 30" min. screen height and 1 tree and 6 shrubs for every 30 LF 160 LF / 30 LF = 5.33 = 6 trees required
- 160 LF / 30 LF = 5.33 x 6 = 32 shrubs required at 30" min. height

ON-SITE LANDSCAPING (Sec. 15.17.9.2) (non-residential)

- Interior landscaping areas of min 5% (3,267 sf) of the total lot area (65,340 sf). Grouped near the building entrances, walkways and along service areas.
- o 1 deciduous, evergreen or ornamental tree for every 400 SF of required interior landscaping 1 shrub for every 250 SF of required interior landscaping

3,267 SF / 400 SF = 8.17 = 9 trees required

3,267 SF/ 250 SF = 13.07 = 14 shrubs required

INTERIOR PARKING LOT LANDSCAPING (Sec. 15.17.10) (for parking lots with 5 parking spaces or more) • 5% (1,110 SF) of the total parking lot area (22,191 SF) shall be landscaped

o 1 deciduous tree for every 300 SF of required interior parking lot landscaping area 1 of those trees to be placed in each island

Islands to be 10' min. width

1,110 SF / 300 SF = 3.7 = 4 deciduous trees required LANDSCAPING FOR SERVICE STRUCTURES (Sec. 15.17.11)

• 100% opague fence wall, planting or mound required, 1' higher than height of structure, but not over 10' • For trash receptacles, 6' ht. min, or 1' higher than structure, whatever is greater AND evergreen plants

Evergreen screen required

GENERAL NOTES

- A. SEE SHEET L2.0 FOR PLANTING NOTES & DETAILS.
- TOPO NOT SHOWN FOR CLARITY.
- C. INSTALL REROOT RIBBED ROOT BARRIER BY WWW.GREENBLUE.COM OR EQUIVALENT, ALONG ALL CONCRETE EDGES WITHIN 8' OF NEW TREE PLANTING. REROOT DEPTH TO EXTEND THE FULL DEPTH OF ADJACENT CONCRETE.
- D. BURLAP TO BE PARTIALLY REMOVED FROM ROOTBALLS
- AND TWINE REMOVED ENTIRELY. SEE NOTE SHEET L2.0. MULCH SHOULD NOT TOUCH TREE TRUNK AND VOLCANO

MULCHING IS PROHIBITED. SEE NOTES SHEET L2.0.

LEGEND

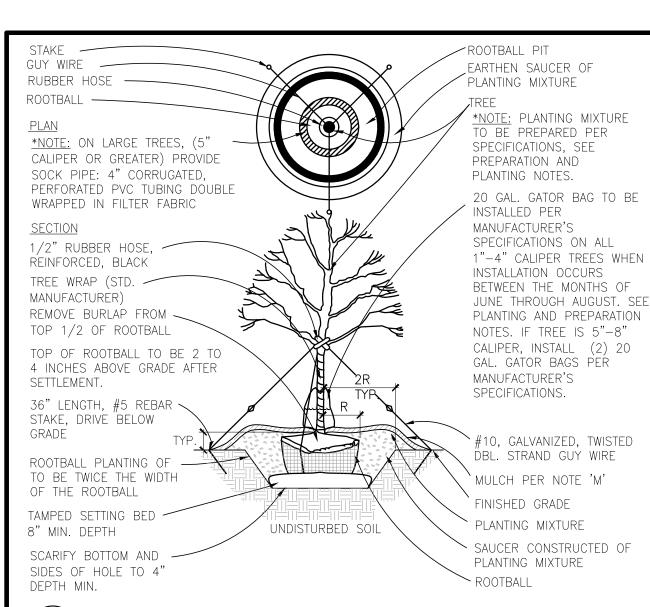
PARKING LOT AREA 22,191 SQ. FT.

ERS CROSCTION 2 -

State Plane NAD83 (2011)

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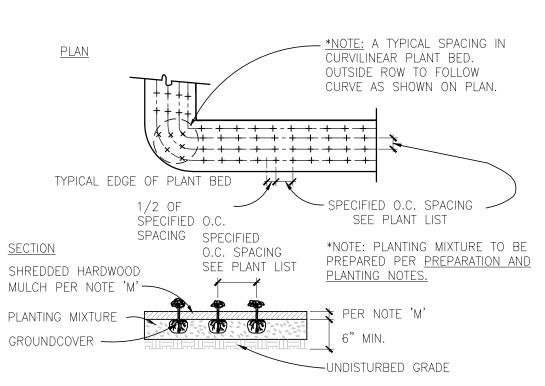
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TYP. TREE PLANTING DETAIL

 $^\prime$ SCALE: NOT TO SCALE

 $^\prime$ SCALE: NOT TO SCALE



GROUNDCOVER PLANTING DETAILS **SCALE: NOT TO SCALE**

Tamp soil adjacent to

root barriers to stabilize

depth of adjacent curb.

(See specs sheet L1.0).

Linear root barrier matching

PYRAMIDAL EVERGREEN *NOTE: PLAN SIMILAR TO TREE TYPICAL TREE PLAN STAKING FOR TREE (B LESS THAN 8' TALL TIE STAKE TO *NOTE: ATTACH GUY WIRE — TRUNK WITH #9 AT 3/4 OF THE TREE GALVANIZED WIRE & BLACK HOSE *NOTE: TREES SMALLER THAN 8' SHOULD BE CROSS STAKED, SEE DETAIL B. STAKING FOR TRFF 8' TALL AND GREATER - PYRAMIDAL EVERGREEN OTE: PLANTING PIT REQUIREMENTS SIMILAR TO TYPICAL UNDISTURBED SOIL TREE, SEE

- PREVAILING WINDS

EVERGREEN TREE DETAIL

SCALE: NOT TO SCALE

GUY WIRE RUBBER HOSE EARTHEN SAUCER OF PLANTING MIXTURE *NOTE: ON LARGE TREES, (5" CALIPER OR GREATER) PROVIDE SOCK PIPE: 4" CORRUGATED, ONLY TREES ON 3:1 SLOPES PERFORATED PVC TUBING OR WINDY LOCATIONS SHALL DOUBLE WRAPPED IN BE GUYED. CONTRACTOR TO ASSURE THAT TREES REMAIN FILTER FABRIC VERTICAL <u>SECTION</u> 1/2" RUBBER HOSE, #10. GALVANIZED. TWISTED DBL. STRAND REINFORCED, BLACK GUY WIRE MULCH PER NOTE 'M' TREE WRAP ---(STD. MANUFACTURER) 4" PLANTING MIXTURE-REMOVE BURLAP FROM SEE PREPARATION AND TOP 1/2 OF ROOTBALL <u>PLANTING NOTES</u> TOP OF ROOTBALL TO BE 2 TO 4 INCHES ABOVE GRADE SAUCER CONSTRUCTED OF AFTER SETTLEMENT. TOPSOIL - <u>SEE GENERAL</u> 36" LENGTH, #5 REBAR STAKE, DRIVE BELOW GRADE PAVED SURFACE TAMPED SETTING BED 8" MIN. DEPTH ROOTBALL PLANTING SHALL BE REMOVE ALL BASE UNDISTURBED SOIL TWICE THE WIDTH OF THE MATERIAL AND SCARIFY ROOTBALL BOTTOM AND SIDES OF HOLE TO 4" DEPTH MIN.

TYP. TREE ISLAND PLANTING DETAIL

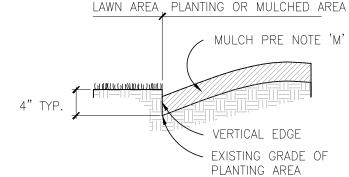
PLAN VIEW PLAN VIEW Top of root barrier 1" above finished grade. 2" below adjacent linear root barrier length matches length of curb (See specifications).

> 1- Root barriers shall be installed per manufacturer's specifications and recommendations 2- Root barriers shall be installed when root ball is located within 8' of pavement

> > ROOT BARRIER

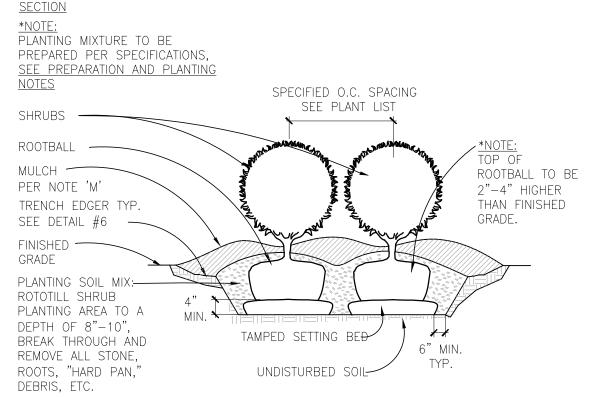
SCALE: NOT TO SCALE

1. EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS AND SHALL CREATE SMOOTH AND EVEN LINES AS INDICATED ON PLANS. 2. EDGE DETAIL SHALL BE USED AT ALL LAWN EDGES AND AT EDGES OF MULCHED AREAS FOR CONTAINMENT.



SCALE: NOT TO SCALE

SHRUB BED EDGE DETAIL



SHRUB PLANTING DETAIL **SCALE: NOT TO SCALE**

PREPARATION AND PLANTING

NOTIFY LANDSCAPE ARCHITECT OF WORK COMMENCEMENT AND SCHEDULE. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. LOCAL UTILITY PROTECTION SERVICES AS NOTED ON THE DRAWINGS. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, OTHER FACILITIES, LAWNS, AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS. PROVIDE EROSION-CONTROL MEASURES TO PREVENT SOIL EROSION OR DISPLACEMENT AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES

LANDSCAPE CONTRACTOR SHALL LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND BED EDGES FOR ALL EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S, OWNER AND/OR THE OWNER'S REPRESENTATIVE WRITTEN ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED PER SITE CONDITIONS.

TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS. G. ALL PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS - LOOSEN SUBGRADE TO A DEPTH OF 6 - 7". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

- SPREAD COMPOST AT A DEPTH OF 4" AND PEAT MOSS AT A DEPTH OF 1". - TILL WITH LOOSENED SUBGRADE MIXING THOROUGHLY. - GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE FOR A UNIFORM

FINISH GRADES - EDGE BEDS 3" TO 4" DEEP (SEE DETAILS ON THIS SHEET). H. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS

FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET

SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB REFER TO TYPICAL PLANTING DETAILS ON THIS SHEET FOR PLANT INSTALLATION.

IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD. CONTRACTOR TO REMOVE STAKES & WIRE. K. PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE (PREEN OR EQUIVALENT) PER

IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN. AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION. FOR DURATION OF PROJECT. PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS.

MANUFACTURER'S RECOMMENDATIONS

OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING. - REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF

OWNER'S PROPERTY M. ALL SHRUB PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 4". ALL ANNUAL, PERENNIAL, AND/OR GROUNDCOVER PLANTING BEDS ARE TO BE MULCHED AT A DEPTH OF 2".

N. ALL NEW TREE RINGS SHALL BE FIVE FEET IN DIAMETER AND MULCHED PER NOTE 'M' DO NOT PILE MULCH UP AROUND THE TREE BARK.

O. ALL DECIDUOUS TREES SHALL BE WRAPPED WITH STANDARD MANUFACTURER'S TREE WRAP TO PREVENT WINTER DAMAGE WHICH SHALL BE REMOVED AFTER THE FIRST WINTER BY THE LANDSCAPE CONTRACTOR.

P. ALL PLANT MATERIAL SHALL BE PRUNED AND/OR SHAPED IN ACCORDANCE WITH STANDARD HORTICULTURE PRACTICES TO RETAIN THE NATURAL CHARACTER OF THE PLANT. ALL INJURED, DAMAGED, OR CROSSED BRANCHES SHALL BE REMOVED. DO NOT REMOVE

Q. LANDSCAPE CONTRACTOR SHALL INSTALL GATOR BAGS, PER MANUFACTURER'S

SPECIFICATIONS WITH ALL NON-IRRIGATED TREES. R. LANDSCAPE CONTRACTOR SHALL INSTRUCT OWNER OR OWNER'S REPRESENTATIVE ON WATERING NEEDS OF INSTALLED PLANTINGS

WARRANTY

A. CONTRACTOR SHALL PROVIDE OWNER WITH A MINIMUM ONE YEAR WRITTEN WARRANTY FOR LABOR AND MATERIALS

CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL

WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FROM DATE OF ACCEPTANCE FOR TREES AND SHRUBS, GROUND COVERS, AND OTHER EXTERIOR PLANTS. WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT. EXCEP FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH

REQUIREMENTS. WARRANTY FOR IRRIGATION SERVICE, PLUMBING, & DRAINAGE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR AND WILL INCLUDE START-UP, WINTERIZATION, AND SECOND SEASON START-UP. WARRANTY SHALL INCLUDE ALL LABOR, MATERIAL, TOOLS, AND EQUIPMENT AS NECESSARY TO PROVIDE A FUNCTIONING SYSTEM, FREE FROM DEFECTS AND ADJUSTED PROPERLY FOR APPROPRIATE WATER DELIVERY TO ALL PLANT MATERIAL.

TRAFFIC & SAFETY

A. REFER TO BID DOCUMENTS AND COMPLY WITH ALL STATE & LOCAL REQUIREMENTS REGARDING APPROVED WORK TIMES, SCHEDULING OF INSTALLATION, AND ALL OTHER REQUIREMENTS.

SODDING

A. TURFGRASS SOD SHALL BE OF GOOD QUALITY, FREE OF WEEDS, DISEASE AND INSECTS

AND OF GOOD COLOR AND DENSITY B. INDIVIDUAL PIECES OF TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5 PERCENT

C. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY FROM A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. D. LANDSCAPE CONTRACTOR SHALL SOD ALL SPECIFIED AREAS. THE FINAL GRADE AND

TOPSOIL WITHIN +/- .10 FEET WILL BE IN PLACE FOR SOD CONTRACTOR. TILL AREA TO BE SODDED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.

AFTER ALL GRADING HAS BEEN COMPLETED, THE SOIL SHALL BE IRRIGATED WITHIN 12-24 HOURS PRIOR TO LAYING THE TURFGRASS SOD. TURFGRASS SOD SHOULD NOT BE LAID ON SOIL THAT IS DRY AND POWDERY. G. THE FIRST ROW OF TURFGRASS SOD SHALL BE LAID IN A STRAIGHT LINE, WITH SUBSEQUENT ROWS PLACED PARALLEL TO, AND TIGHTLY AGAINST, EACH OTHER. LATERAL

JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. CARE SHALL BE EXERCISED TO INSURE THAT THE TURF IS NOT STRETCHED OR OVERLAPPED, AND ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE AIR-DRYING OF THE ROOTS. H. ON SLOPES ARE WHERE EROSION MAY BE A PROBLEM, TURFGRASS SOD SHALL BE LAID

WITH STAGGERED JOINTS AND SECURED BY PEGGING THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING TURFGRASS SOD IMMEDIATELY DURING AND AFTER INSTALLATION TO PREVENT DRYING. IT SHALL THEN BE THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW TURFGRASS SOD PAD AND SOIL IMMEDIATELY BELOW THE TURFGRASS SOD ARE THOROUGHLY WET (USUALLY 1 INCH OF WATER IS NEEDED). THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ADEQUATE WATER AVAILABLE AT THE SITE PRIOR TO

AND DURING INSTALLATION OF THE TURFGRASS SOD. LANDSCAPE CONTRACTOR IS TO SET GRADE TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND TO DETENTION BASINS.

K. UNLESS OTHERWISE SPECIFIED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ACCEPTED SODDED TURFGRASS AREAS UNTIL THE EFFECTIVE DATE FOR TURF MAINTENANCE OPERATIONS BEGINS. THE EFFECTIVE DATE SHALL BE SPECIFIED IN WRITTEN NOTICE FROM THE GENERAL CONTRACTOR.

IRRIGATIONS SYSTEMS

A. GENERAL CONTRACTOR SHALL PROVIDED AN IRRIGATION SYSTEM (IF APPLICABLE VERIFY WITH CLIENT), PLAN SHALL PROVIDED FULL SITE COVERAGE ON THE PROPERTY. B. COMPLETE DESIGN DRAWINGS & EQUIPMENT TO BE SUBMITTED TO OWNER FOR REVIEW.

*IRRIGATION SYSTEM DESIGN / BUILD NOTES: 1. IRRIGATION SYSTEM SHALL HAVE A REMOVABLE EXTERIOR BACK-FLOW PREVENTER WITH FAKE ROCK COVER IN GRASS AREA OUTSIDE OF METER PIT AT POINT OF CONNECTION. 2. IRRIGATION HEADS(DRIPLINE IN PLANTING BEDS; COMPLETE ROTOR SPRINKLER IN LAWN).

3. RAIN BIRD ESP OR HUNTER I-CORE CONTROLLER LOCATED IN MECH ROOM WITH RAIN SENSOR. 4. SLEEVES ARE REQUIRED UNDER ALL PAVEMENT / SIDEWALK FOR SYSTEM, COORDINATE

WITH GENERAL CONTRACTOR. 5. IRRIGATION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LAYOUT APPROVAL **GENERAL LANDSCAPE NOTES**

A. THE CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY REVIEW THESE DOCUMENTS AND FULLY UNDERSTAND THE NATURE AND SCOPE OF WORK NEEDED TO ACHIEVE THE FINISHED PRODUCT INTENDED BY THE OWNER. IN ADDITION, THE CONTRACTOR SHALL AT ONCE REPORT TO THE LANDSCAPE ARCHITECT, INACCURACIES OR INCONSISTENCIES DISCOVERED. FAILURE TO REASONABLY RECOGNIZE OR NOTIFY THE LANDSCAPE ARCHITECT OF SUCH ITEMS SHALL RELEASE THE LANDSCAPE ARCHITECT AND OWNER OF ALL LIABILITY. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.

B. PROTECT ALL EXISTING VEGETATION TO REMAIN AS PER PLANS AND SPECIFICATIONS. C. PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO COMPLETE THE WORK, LOCATING ALL UNDERGROUND UTILITIES, AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING INSTALLATION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC.. WHICH MAY OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION.

D. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO COMPLETE THE WORK E. LANDSCAPE CONTRACTOR MUST CERTIFY THAT ITS SAFETY PROGRAM MEETS REGULATORY

REQUIREMENTS AT A MINIMUM. CONTRACTOR TO PROVIDE DOCUMENTATION OF THE OSHA RECORD KEEPING SUMMARY. F. LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS, ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME

SHRUBS IMMEDIATELY FROM PROJECT SITE. G. IF EXISTING ECOLOGY CAUSES ADJUSTMENTS OF LANDSCAPE PLANS TO FIT THE SITE CONDITIONS, A STAKE OUT BY LANDSCAPE CONTRACTOR AND ADJUSTMENTS BY LANDSCAPE ARCHITECT SHALL BE REQUIRED PRIOR TO INSTALLATION.

DURING PROGRESS OF WORK. LANDSCAPE CONTRACTOR SHALL REMOVE REJECTED TREES OR

H. THE OWNER AND/OR THE OWNER'S REPRESENTATIVE WILL APPROVE STAKED LOCATIONS OF ALL MATERIAL PRIOR TO INSTALLATION, OR AS DEEMED NECESSARY BY OWNER/OWNER'S REP. I. ALL PLANTING AREAS SHOWN ON PLANS SHALL BE TO WITHIN 2" OF FINAL GRADE BEFORE

LANDSCAPE CONTRACTOR COMMENCES INSTALLATION. J. FOR LOCATION AND DESCRIPTION OF PROPOSED SITE UTILITIES, STORM STRUCTURES, EASEMENTS, ETC., REFER TO THE SITE PLAN AND CIVIL ENGINEERING DRAWINGS.

K. ALL PLANT MATERIAL MUST BE INSTALLED ACCORDING TO THE APPROVED LANDSCAPING PLAN BY NO LATER THAN THE NEXT PLANTING SEASON OR WITHIN 6 MONTHS FROM THE COMPLETION OF ALL SITE CONSTRUCTION.

L. PLANT QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES. ANY DISCREPANCY BETWEEN THE PLANTING LIST AND THE PLAN SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS AND/OR CHANGES SHALL BE REQUESTED IN WRITING TO THE OWNER OR OWNER'S REPRESENTATIVE AND BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE LOCAL MUNICIPALITY PRIOR TO INSTALLATION.

M. THE CONTRACTOR SHALL PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."

N. THE CONTRACTOR SHALL FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS,

AND DISFIGUREMENT O. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS. P. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN,

SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING. Q. THE CONTRACTOR SHALL LABEL ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH THE

R. TOPSOIL SHALL BE ASTM D 5268, pH RANGE OF 5.5 TO 7, A MINIMUM OF 4 PERCENT ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH. STANDARD TOPSOIL PLANTING MATERIAL SHALL CONSIST OF 60% NATIVE SOIL, 10% PEAT HUMUS, AND 30% COMPOST.

S. COMPOST SHALL BE WELL-COMPOSTED, STABILE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH ONE INCH SIEVE: SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M: NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO

T. FERTILIZER SHALL BE SLOW—RELEASE, GRANULAR OR PELLETS CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN

U. MUI CH TO BE FREE FROM DELETERIOUS MATERIALS AND DISEASE AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, DOUBLE-SHREDDED HARDWOOD, DARK BROWN IN COLOR, UNLESS NOTED OTHERWISE. CRUSHED ROCK AND PEA GRAVEL OR SIMILAR MATERIALS ARE NOT ACCEPTABLE MULCH/GROUNDCOVER. ALL LANDSCAPE ISLANDS SHALL BE MULCHED BY THE LANDSCAPE

CONTRACTOR UNLESS OTHERWISE STATED IN THE LANDSCAPE PLANS. V. PLANT TAGS SHALL REMAIN ON INSTALLED PLANT MATERIAL UNTIL THE WORK HAS BEEN APPROVED BY LOCAL INSPECTOR AND/OR THE OWNER OR OWNERS REPRESENTATIVE.

W. LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS WITHOUT ADVERSELY AFFECTING SITE DRAINAGE. GRADES BEHIND CURBS FOR AREAS RECEIVING MULCH SHALL BE 3 INCHES BELOW TOP OF CURB & 2 INCHES BELOW TOP OF CURB FOR SOD. X. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING, INCLUDING, BUT NOT LIMITED TO, WATERING, SPRAYING, MULCHING, FERTILIZING, ETC., ALL PLANTING AREAS AND

LAWN UNTIL THE WORK IS ACCEPTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. Y. ISLAND AND PLANTER GRADES (IF APPLICABLE) SHALL BE MOUNDED IN THE CENTER SLOPING DOWNWARD FROM THE MIDDLE OUTWARD AT A MINIMUM 2% AND A MAXIMUM 4%. Z. ALL PLANT MATERIAL INSTALLATION TO BE COORDINATED WITH IRRIGATION CONTRACTOR. ACTIVATE IRRIGATION SYSTEM UPON COMPLETION OF ALL LAWN AREAS. ALL IRRIGATION COMPONENTS SHALL BE OF THE SAME MANUFACTURER & INSTALLED PER MANUFACTURER

SPECIFICATIONS AA.NO TREES SHALL BE PLANTED WITHIN 10'-0" OF FIREHYDRANTS.

SEEDING

A. LANDSCAPE CONTRACTOR SHALL SEED ALL DISTURBED AREAS. THE FINAL GRADE AND TOPSOIL WITHIN +/- .10 FEET WILL BE IN PLACE FOR SEEDING CONTRACTOR.

B. CONTRACTOR SHALL APPLY CELLULOSE FIBER MULCH AT A MINIMUM RATE OF 1500 LBS./ACRE AND FERTILIZERS: BEST 6-20-20 OR BEST 15-15-15 OR APPROVED EQUAL APPLIED AT RATE APPROPRIATE FOR PRODUCT. ORGANIC TACKIFIER SHALL BE APPLIED AT RATE OF 70 LBS./ACRE. HYDROSEED SEED MIX SHALL BE APPLIED AT THE 2,000 LBS./ACRE. C. CONTRACTOR SHALL WATER ALL PLANT AREAS THOROUGHLY TO SATURATE UPPER LAYERS OF SOIL PRIOR TO THE HYDROSEEDING OPERATION. ALLOW THE PLANTING AREA SOIL SURFACE TO

DRY OUT FOR ONE DAY ONLY PRIOR TO THE HYDROSEEDING APPLICATION. D. CONTRACTOR SHALL APPLY THE HYDROSEEDING IN THE FORM OF A SLURRY CONSISTING OF ORGANIC SOIL AMENDMENTS, COMMERCIAL FERTILIZER, AND ANY OTHER CHEMICALS THAT ARE CALLED OUT. WHEN HYDRAULICALLY SPRAYED ONTO THE SOIL, THE MULCH SHALL FORM A BLOTTER-LIKE MATERIAL. SPRAY THE AREA WITH A UNIFORM VISIBLE COAT, USING THE DARK COLOR OF THE CELLULOSE FIBER AS A VISUAL GUIDE. THE SLURRY SHALL BE APPLIED IN A DOWNWARD DRILLING MOTION VIA A FAN STREAM NOZZLE. CONTRACTOR SHALL INSURE

THAT ALL OF THE SLURRY COMPONENTS ENTER AND MIX WITH THE SOIL E. IF SLURRY COMPONENTS ARE LEFT FOR MORE THAN TWO HOURS IN THE MACHINE, ADD 50% MORE OF THE ORIGINALLY SPECIFIED SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED WITHIN THE TWO HOURS AFTER MIXING. ADD 75% MORE OF THE ORIGINAL SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED EIGHT (8) HOURS AFTER MIXING. ALL MIXTURES MORE THAN EIGHT (8) HOURS OLD, SHALL BE DISPOSED, OFFSITE, AT THE CONTRACTOR'S EXPENSE.

F. CONTRACTOR SHALL REMOVE ALL SLURRY SPRAYED ONTO HARDSCAPE AREAS INCLUDING CONCRETE WALKS, FENCES, WALLS, BUILDINGS, ETC. AT THE CONTRACTOR'S EXPENSE. G. CONTRACTOR SHALL SAVE ALL SEED AND FERTILIZER TAGS AND FIBER MULCH BAGS FOR THE

LANDSCAPE ARCHITECT TO VERIFY COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

A. ALL WEEDS AND EXISTING VEGETATION MUST BE ELIMINATED PRIOR TO HYDROSEEDING OR DRILL SEEDING ANY NATIVE SEED MIX.

B. INSTALLATION SHALL BE PERFORMED IN LATE FALL - EARLY WINTER OR SPRING. IF SITE IS PREPARED AT ANY OTHER TIME OF THE YEAR, STABILIZE WITH THE FOLLOWING SEED MIX PER ACRE: 64 LBS SEED OATS(AVENA SATIVA)/25 LBS ANNUAL RYE GRASS (LOLIUM MULTIFLORUM) C. IF VEGETATION EXISTS ON SITE, APPLY A GLYPHOSATE HERBICIDE AT LEAST THREE DAYS PRIOR TO INSTALLATION ON ALL ACTIVELY GROWING VEGETATION. NEVER APPLY FERTILIZER TO THE

D. IF DRILL SEEDING, INSTALL SEED WHEN SOIL IS SUFFICIENTLY DRY SO THAT SOIL DOES NOT STICK TO THE PACKER WHEELS ON THE DRILL. E. ENSURE THE DRILL OR HYDROSEEDER IS PROPERLY CALIBRATED TO SOW THE SPECIFIED AMOUNT OF SEED OVER THE SPECIFIED AREA. ENSURE COMPLETE COVERAGE OF THE SPECIFIED AREA.

F. MOW AT A HEIGHT OF 4 - 6 INCHES WHEN THE OATS SET SEED HEADS. MOW AT A HEIGHT OF 4 - 6 INCHES ONCE A MONTH OR WHENEVER WEED GROWTH REACHES 10 INCHES FOR THE REMAINDER OF THE FIRST SEASON. G. IF COOL SEASON WEED GROWTH IS HEAVY IN THE SPRING OF THE SECOND SEASON, MOW

ONCE IN LATE MAY OF THE SECOND SEASON.

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19-0008 L

04/17/20

VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission

FROM: Jerry Haddix, Village Administrator

RE: Case 19-12P, Rezoning of 5.001 acres on Turtlecreek Road

DATE: April 25, 2019

On the agenda for April 30th meeting is Case #19-12P, is rezoning request initiated by the Village Council to rezone the property along Turtlecreek Road (Sidwell# 12-01-102-001) consisting of 5.001 acres, owned by Oeder & Sons Garage Inc., from B-2 – General Business District to MEP – Mineral Extraction & Processing District.

Background

The property located along Turtlecreek Road, as shown on the attached map, is the location of the water wells for the former Milacron facility on Mason-Morrow-Millgrove Road. In early 2018, the developer of the former Milacron facility donated said 5.001 acres to the Village. After review of the property, it was determined that a substantial portion of the property was located in the floodway of Turtle Creek. The Village subsequently solicited bids for the sale of said property. Oeder's & Sons was the successful bidder and took ownership of the property in February, 2019, with the condition that the Village would consider rezoning the property to MEP. On March 7, 2019, the Village Council adopted Resolution No. 2019-6 (see attached), to initiate the rezoning of this property from B-2 to MEP.

Code Analysis

Article 7 of the Village Zoning Code lists the procedures for Amendment or District Changes to the Village's Zoning Code.

Zoning Process

The Planning Commission shall transmit its recommendation to the Village Council within sixty (60) days of the receipt of the rezoning application. The Planning Commission may recommend that the amendment be granted as submitted, recommend modifications, or recommend denial.

Recommendation

These rezoning changes are consistent with the existing surrounding land uses, especially given that the property, in its entirety, is located in either the floodway or 100-year floodplain. Staff recommends that the Planning Commission recommend approval of this rezoning, as presented.

Attachments

Village Council Resolution 2019-6 Property Map of Sidwell# 12-01-102-001

VILLAGE OF SOUTH LEBANON, OHIO RESOLUTION NO. 2019-6

A RESOLUTION TO INITIATE A ZONING MAP AMENDMENT FOR A CERTAIN PROPERTY LOCATED ON TURTLECREEK ROAD (PARCEL# 12-01-102-001) CONSISTING OF 5.001 ACRES FROM B-2 [GENERAL BUSINESS DISTRICT] TO MEP [MINERAL EXTRACTION AND PROCESSING DISTRICT]

WHEREAS, the current use of a certain property on Turtlecreek Road described in Exhibit A, as attached, is currently vacant with the current Village zoning designation shown as B-2 (General Business District); and,

WHEREAS, the current uses surrounding said property, including Village and unincorporated areas, are mineral extraction and processing, heavy construction facilities and single family residential in nature; and

WHEREAS, the property owner has requested that the Village Council initiate a zoning map amendment for said property from B-2 (General Business District) to MEP (Mineral Extraction and Processing District); and

WHEREAS, per Section 15.7.3 (1) of the Village Zoning Code, Village Council, by adoption of a resolution, may initiate an amendment to the Zoning Code.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Village of South Lebanon, Ohio, at least a majority of all members elected thereto concurring:

- <u>Section 1</u>. That the Council hereby initiates a zoning map amendment for a certain property on Turtlecreek Road (Parcel# 12-01-102-001) from B-2 [General Business District] to MEP [Mineral Extraction and Processing District].
- <u>Section 2.</u> That the Village Administrator is directed to forward this request to the Village Planning Commission.
- <u>Section 3</u>. That the recitals contained within the Whereas Clauses set forth above are incorporated by reference herein.
- <u>Section 4.</u> That it is found and determined that all formal actions of the Council concerning and relating to the adoption of this Resolution were adopted in an open meeting of Council in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

Adopted this, day of MM, 2019. Attest, MM (M) (M) (M) (M) (M) (M) (M) (M) (M)	D Smuth
Nicole Armstrong, Fiscal Officer James D. Sr	nith, Mayor
Rules Suspended: // 2019 (if applicable)	Effective Date – / /2019
Vote Yeas Nays	
First Reading — 1/2019 Second Reading — 1/2019 Third Reading — 1/2019 Vote - 5 Yeas Nays	Effective Date – / /2019
Prepared by and approved as to form: PAUL R. REVELSON VILLAGE SOLICITOR SOUTH LEBANION, OHIO By:	
Date: 3/7/2019	×

EXHIBIT A LEGAL DESCRIPTION

Situated in Union Township, Warren County, Ohio, and being a part of Sections 1 and 2, Town 4, Range 3, and bounded and described as follows:

Beginning at an iron pin at the Northwest corner of said Section 1 and running thence, South 48° 06' East, 38.33 feet to a spike in the centerline of Turtlecreek Road (County Road No. 72) at a Westerly corner of the herein Grantor's 80.000 Acre Tract, as recorded in Deed Book 371, Page 299, of the Deed Records of said County, and being the real point of beginning for this conveyance: Running thence, from the real beginning point, with the boundary of the herein Grantor's 80.000 Acre Tract on the following courses: (1) North 53° 04' 45" East (passing an iron pin at 28.41 feet) a distance of 315.06 feet to an iron pin; (2) South 64° 23' 00" East, 167.83 feet to an iron pin; (3) South 32° 37' 15" East, 343.72 feet to an iron pin; (4) South 51° 22' 20" East, 83.28 feet to an iron pin; thence, by a new division line, South 56° 39' 10" West (passing an iron pin at 397.39 feet) a distance of 422.39 feet to a spike in the centerline of said Turtlecreek Road and in a Westerly line of the herein Grantor's 80.000 Acre Tract; thence, with said Road centerline and Grantor's Westerly line, North 33° 20' 50" West, 547.05 feet to the place of beginning, containing Five and One Thousandth (5.001) Acres, subject to all legal highways. In the above described 5.001 Acre Tract, there are 1.200-Acres, more or less, in Section 2 and 3.801 Acres, more or less, in Section 1.

In addition to the conveyance of the foregoing described real estate, the herein Grantor also hereby conveys to Grantees, their heirs and assigns an easement over the following described 33-foot wide Right-of-way: Beginning at the Southerly corner of the above described 5.001 Acre Tract and running on the following courses: (1) North 56° 39' 10" East, 33.00 feet to a point; (2) South 33° 20' 50" East, 170.42 feet to a point; (3) South 22° 43' 30" East, 600.17 feet to a point in the centerline of the Mason-Morrow-Millgrove Road (County Road No. 38) and in the herein Grantor's Southerly line; (4) thence, with said Road centerline and Grantor's Southerly line, South 71° 29' 20" West, 33.09 feet to a spike at the herein Grantor's Southwesterly corner; thence, with the centerline of said Turtlecreek Road and the herein Grantor's Westerly line on the following courses: (1) North 22° 43' 30" West, 594.67 feet to a spike; (2) North 33° 20' 50" West, 167.35 feet to the place of beginning, for the purpose of laying, maintaining, operating, repairing, replacing and removal of a water main.

This description was taken from a new survey prepared by Hasselbring, Duane & Thompson, Engineers and Surveyors, November 9, 1967.

Prior Deed Reference: Official Record Volume 391, Page 269 of the Warren County Land Records.

Sidwell: 12-01-102-001



WARREN COUNTY

2018-001349

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1 inch = 400 feet Turtlecreek Road Property Cadastral Lines - Corporate Line Parcel Line Hardware ROW Unknown Width Line -- Subdivision Lat Line The provider makes no warranty or representation with respect to this information, its quality or suitability for a particular purpose. Township and Range Line Line Type - Farm Lot Line This information is provided ASIS, and the requester assumes the entire risk as to its qualify and suitability. The provider will not be Auditors Tract Line — Overpass Line School Line = "Tract Line liable for direct, inclidental, or consequential damages resulting from any defect in the information.

The provider shall have no liability for any other information, Programs or data used with or combined with the requested information, including the cost of recovering information, programs or data. Civil Township Line Subdivision Limit Line Section Line - VMS Line - Vacated Road Line