

# PLANNING COMMISSION AGENDA



**Planning Commission Meeting**  
**Wednesday, July 19, 2017 at 6:00 p.m.**

**Village Administration Building**  
**99 High Street**  
**South Lebanon, Ohio 45065**

	Agenda Item
1.	<b>Call to Order</b>
2.	<b>Pledge of Allegiance</b>
3.	<b>Roll Call</b>
4.	<b>Open Forum</b>
5.	<b>Review and Approval of Minutes</b> A. Minutes of March 28, 2017
6.	<b>Public Hearing – None</b>
7.	<b>Old Business</b> A. None
8.	<b>New Business</b> A. Case 17-07P: Application for Site Plan Approval for Primrose School, 719 Corwin Nixon Boulevard
9.	<b>Communications</b>
10.	<b>Adjournment</b>

Members of the public may address the Planning Commission during the Open Forum segment of the agenda and shall be limited to five minutes each. After the speaker concludes remarks, the Planning Commission may comment or ask questions at that time. The Chairperson may at his or her discretion restrict duplicate testimony on a particular subject.





Village of South Lebanon  
99 N. High St. South Lebanon, Ohio 45065  
(513)494-2296 Fax:(513)464-1656

[www.southlebanonohio.org](http://www.southlebanonohio.org)

**Planning Commission Meeting**  
**MEETING MINUTES**  
**March 28, 2017**

**Members Present:**

Tom Hunsche  
Dennis Rees  
Bill Madison  
Jim Smith

**Members Absent:**

Darrick Zucco

**Staff:**

Jerry Haddix,  
**Administrator**  
Brianna Yarbrough,  
**Clerk**

1. Call to order at 5:30 PM
2. Pledge of Allegiance
- 3.
4. Roll Call
5. Open Forum
6. Review and Approval of Minutes of February 1, 2017. After the minutes were reviewed, a motion to approve was made by Tom Hunsche and was seconded by Denis Rees. A vote was taken: All YEAS
7. Public Hearing: None
8. Old Business: None
9. New Business:
  - a) Case 17-04P: Application for Approval of the Final Development Plan and Construction Drawings for Wynstead Section 4 Subdivision. Application was submitted by Grand Communities, LTD (Fischer Homes) on February 9, 2017. Fischer Homes submitted the FDP for Section 4 of Wynstead Subdivision Consisting pf 42 single family lots comprising 7.824 acres. This is a continuation of the Wynstead development. This section will complete Castle Drive between Emerald Drive and Windsor Court. Bayer Becker, the Developer's engineer, has made corrections from Choice One Engineering and the Warren County Water Department. Awaiting comments from the Hamilton Township Fire Department. Due to the consistency of



the FDP with the Preliminary Development Plan, staff recommends that the Planning Commission adopt a motion to approve the Final Development plan and Construction Drawings with the following conditions:

- 1) Enter into a Development Agreement with the Village and fulfill bonding requirements as required by the Village Solicitor in accordance with the Village Zoning Regulations;
- 2) Review and approve the “Declaration of Covenants and Restrictions” by the Village Solicitor; and
- 3) Approval the Construction Drawings by the Hamilton Township Fire Department

A motion to approve the Final Development Plan & Construction Drawings for Wynstead Section 4 was made by Tom Hunsche and was seconded by Dennis Rees. A vote was taken: 4 YEAS, Tom Hunsche voted NAY.

- b) Case 17-05P: Application for approval of the Final Record Plat for the Woodknoll Section 4 Subdivision. Application was submitted by McCarty Associates, LLC, on behalf of Shepherds Crossing Developments, LLC. On June 27, 2016, the Village Planning Commission approved the preliminary plat for said Property. The property is comprised of 5.483 acres between Mary Lane Extension and Sunset Drive. This plat will create 12 single family lots and one open space lot. The present zoning designation is R-3 Planned Unit Development (PUD) which was part of the original Woodknoll development. The Final Record Plat has been sent to the Village’s engineer on the development, Choice One Engineering, as well as the Warren County Tax Map Department. Staff recommends that the Planning Commission adopt a motion to approve the Final Record Plat and authorize Chairman Zucco to sign the Mylar with the following Conditions:

- 1) Comply with all comments from the Village Engineer, Warren County Tax Map Department or any other reviewing agency
- 2) Provide the statements pursuant to Section 15.20.10 of Village Subdivision Regulations.
- 3) Per Village Subdivision Regulations: developer is to enter into a Development Agreement with the Village Council for approval of Record Plat.

A motion to approve the Final Record Plat for the Woodknoll Section 4 Subdivision was made by Tom Hunsche and seconded by Bill Madison. A vote was taken: all YEAS.

- c) Case 17-06P: Application for approval of the Final Record Plat for the Shephard’s Crossing Section 2 Subdivision. Application was submitted by McCarty Associates, LLC, on behalf of Shepherd’s Crossing Development, LLC. On June 27, 2016, the Village Planning Commission approved the preliminary plat for said property, which, at that time, was known as Woodknoll Section 5A. Due to the access solely coming from the Shepherd’s Crossing subdivision, the Developer has decided to name it after the connecting side. This plat will create 17 single family lots. The present zoning designation is R-3 Planned Unit Development (PUD) which was part of the original Woodknoll development. The Final Record Plat has been sent to Choice One Engineering, as well as the Warren County Tax Map Department for review. Staff recommends that the Planning Commission adopt a motion to approve the Final Record Plat and authorize Chairman Zucco to sign the Mylar with the following conditions:

- 1) Comply with all comments from the Village Engineer, Warren County Tax Map Department or any other reviewing agency;
- 2) Provide the statements pursuant to Section 15.20.10 of Village Subdivision Regulations; and



- 3) Per Village Subdivision Regulations: developer to enter into a Development Agreement with the Village Prior to Village Council approval of Record Plat.

A motion to approve the Final Record Plat for the Shepherd's Crossing Section 2 Subdivision was made by Bill Madison and seconded by Dennis Rees. A vote was taken: All YEAS.

10. Communications: None

11. Jim Smith made a motion to adjourn. Motion was seconded by Bill Madison. A vote was taken: All YEAS.

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Darrick Zucco – Chairman

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Brianna Yarbrough - Clerk



## **VILLAGE OF SOUTH LEBANON MEMORANDUM**

**TO:** Planning Commission  
**FROM:** Jerry Haddix, Village Administrator  
**RE:** Case 17-07P, Site Plan Review for Primrose School of South Lebanon  
**DATE:** July 17, 2017

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On the agenda for the July 19<sup>th</sup> meeting is an application for approval of the site plan and landscape design for the Primrose School of South Lebanon to be located at 719 Corwin Nixon Boulevard located behind Speedway and is Lot One (1) of the Rivers Crossing West Section One Subdivision (the “Project”) submitted by Community Civil Engineers, the Project Engineer for the Project (the “Applicant”).

### **Background**

The Project that is the subject of the application is located on 1.66 acres adjacent to Speedway to the south. The property is currently owned by Rivers Crossing Power, LLC. The present zoning classification is B-2 General Business District. The proposed Project consists of a 12,300 s.f early learning center/day care with access provided by a private access easement from Corwin Nixon Boulevard along the west side of Speedway. In addition to the building, there would be 16,641 s.f. of playground area which would be divided by age groups.

Due to the geometry of the lot (right triangle) and surrounding geography, this lot presents many challenges to site layout, including utility easements along the State Route 48 side. The Applicant has attempted with relative success to fulfill all of the Village’s site plan requirements with this non-standard lot.

The Applicant received a Conditional Use Permit from the Village Board of Zoning Appeals for this Project on May 30, 2017. The Applicant also received approval for an offsite sign that could be located at their entrance on Corwin Nixon Blvd.

The Union Township Fire Department has not submitted any written comments to date.

Due to an oversight on my part, our engineer just received the stormwater management plan and is currently reviewing it.

### **Zoning Code Analysis**

Upon review of the plans, it has been determined that the drawings generally satisfy the Zoning Regulations and Design Guidelines and Standards with the exceptions listed in the attached letter and accompanying site plan approval checklist.



## **Zoning Process**

Pursuant to Article 18 of the Village Zoning Regulations, the development of any new use or construction of any new structures shall require site plan approval prior to construction and/or occupancy. At the first regular meeting at which a site plan proposal is considered, the Commission shall first determine whether to accept the plan for processing. If accepted for processing, the Commission shall review the site plan in relation to applicable standards and regulations, and in relation to the intent and purpose of the Village Zoning Regulations and Design Guidelines and Standards. The Commission shall consider the comments and recommendations from the Village Administrator, the Village Engineer, public safety officials and other reviewing agencies.

If the Commission determines that revisions are necessary to bring the site plan into compliance with applicable standards and regulations, the applicant shall be given the opportunity to submit a revised site plan. The Commission shall review the revised site plan and application materials within 30 days after the Village received a complete revised site plan application.

The Commission shall make a determination on a site plan based on the requirements and standards in the Zoning Regulations and Design Guidelines and Standards. The Commission is authorized to grant approval, grant approval subject to conditions, or reject a site plan. If the Commission chooses to grant approval subject to conditions, the Commission may waive its right to review the revised plan, and instead authorize the Zoning Administrator, or his designee, to review and recommend approval of the resubmitted plans if all required conditions have been addressed.

If construction is not started within 18 months of final approval of the site plan, the site plan approval becomes null and void and a new application for site plan review shall be required.

## **Recommendation**

Staff recommends that the Planning Commission grant its approval of the site plan and landscape plan for the Primrose School of South Lebanon with the following conditions:

Prior to issuance of a zoning permit, the applicant must resubmit the site plan and provide the following information to the Zoning Administrator:

1. Addressing the comments in the attached Site Plan Approval Checklist to the satisfaction of the Village Administrator and Choice One Engineering;
2. Address any review comments relative to the stormwater management plan,
3. Meet the requirements of the Union Township Fire Department;
4. Signage will be reviewed separately by the Zoning Administrator at a later date

## **Attachments**

Planning Commission Application

Site Plan and Landscape Plan

Village Engineer Checklist



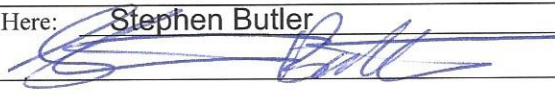
# VILLAGE OF SOUTH LEBANON PLANNING COMMISSION APPLICATION

## 1. Application Type: (check the appropriate box) (all plans must be folded when submitted)

<input type="checkbox"/>	Draft Plan-Discussion Only	<input type="checkbox"/>	Preliminary PUD
<input checked="" type="checkbox"/>	Site Plan	<input type="checkbox"/>	Final PUD
<input checked="" type="checkbox"/>	Landscape Plan	<input type="checkbox"/>	Rezoning
<input checked="" type="checkbox"/>	Construction Drawings. (Please complete Fee Schedule form on Page 2)	<input type="checkbox"/>	Lot Split
<input type="checkbox"/>	Preliminary Plat (Please complete Fee Schedule form on Page 2)	<input type="checkbox"/>	Conditional Use
<input type="checkbox"/>	Final Plat or Replat	<input type="checkbox"/>	Special Meeting
<input type="checkbox"/>	Right-of-Way Dedication Plat	<input type="checkbox"/>	Other:

(See Page 3 for complete Fee Schedule and Submittal Requirement Information)

## 2. Development Information:

<b>Development/Business Name:</b> Primrose of South Lebanon											
<b>Type of Business/Project Description:</b> Early Childhood Education/Day care											
<b>Location:</b> 719 Corwin-Nixon Blvd	<b>Size of Building:</b> 12,500sf +/-										
<b>Current Zoning:</b> B-2	<b>Rezone to:</b> N/A										
<b>Total Acreage:</b> 1.66 Ac	<b>Acres to be Rezoned:</b> N/A										
<b>Number of Employees:</b> 22	<b>Number of Fleet Vehicles:</b> N/A										
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"><b>Current Owner of the Property</b></td> <td style="width: 50%;"><b>Project Contact (Architect, Engineer, Planner)</b></td> </tr> <tr> <td><b>Name:</b> Rivers Crossing Power, LLC c/o IRG Realty Advisors, LLC</td> <td><b>Name:</b> Community Civil Engineers</td> </tr> <tr> <td><b>Address:</b> 4020 Kinross Lakes Parkway, Suite 200</td> <td><b>Address:</b> 2440 Dayton Xenia Road, Suite B</td> </tr> <tr> <td><b>City:</b> Richfield      <b>State:</b> OH      <b>Zip:</b> 44286</td> <td><b>City:</b> Beavercreek      <b>State:</b> Oh      <b>Zip:</b> 45434</td> </tr> <tr> <td><b>Telephone:</b> 330-659-4060      <b>Fax:</b></td> <td><b>Telephone:</b> 937.490.9460      <b>Fax:</b></td> </tr> </table>		<b>Current Owner of the Property</b>	<b>Project Contact (Architect, Engineer, Planner)</b>	<b>Name:</b> Rivers Crossing Power, LLC c/o IRG Realty Advisors, LLC	<b>Name:</b> Community Civil Engineers	<b>Address:</b> 4020 Kinross Lakes Parkway, Suite 200	<b>Address:</b> 2440 Dayton Xenia Road, Suite B	<b>City:</b> Richfield <b>State:</b> OH <b>Zip:</b> 44286	<b>City:</b> Beavercreek <b>State:</b> Oh <b>Zip:</b> 45434	<b>Telephone:</b> 330-659-4060 <b>Fax:</b>	<b>Telephone:</b> 937.490.9460 <b>Fax:</b>
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<b>Telephone:</b> 330-659-4060 <b>Fax:</b>	<b>Telephone:</b> 937.490.9460 <b>Fax:</b>										
<b>Applicant(s):</b> Same as Engineer											
<b>Address:</b>											
<b>City:</b>	<b>State:</b> <b>Zip:</b>										
<b>Telephone:</b>	<b>Fax:</b>										
<b>Please Print Applicant's Name Here:</b> <u>Stephen Butler</u>											
<b>* Applicant's Signature:</b> 											

\* Applicant is responsible for payment of all fees (See Fee Schedule and Footnotes on Pages 3 and 4 respectively.)

## TO BE COMPLETED BY THE VILLAGE OF SOUTH LEBANON

Application Number: \_\_\_\_\_ Date of Planning Commission Meeting: \_\_\_\_\_  
 Fee Paid: \_\_\_\_\_ Drawn: \_\_\_\_\_ Check #: \_\_\_\_\_ Date: \_\_\_\_\_ Initial: \_\_\_\_\_  
 Legal Notices Advertised: \_\_\_\_\_ Mailed to Surrounding Property Owners: \_\_\_\_\_



### 3. Rezoning and Preliminary PUD Plan Requests

**Surrounding Property Owners:** Please list the names and addresses of all **Owners of Real Property** within 300 feet of any part of the property as such names and addresses appear on the most recent tax duplicate on 2 sets of mailing labels. (See submittal requirements on page 3).

### 4. Signatures Required

*By signing this application, I attest under penalty of law that all the information given above is correct to the best of my knowledge.*

Please Print Applicant's Name: Stephen Butler

Applicant's Signature:  Date: 6/16/17

Property Owner's Signature:  Date: 6/15/17

### 5. Fee Determination for Construction Drawings and Preliminary Plat Submittals

Please create a detailed breakdown of the estimated infrastructure breakdown cost for the project and attach it to this application. For Construction Drawings complete Item 1 and for Preliminary Plats complete Item 2.

Total Infrastructure Cost \$ 260,000.00 (A)

#### 1 – Construction Drawing Fee Breakdown

1.25% of Total Infrastructure Cost\* (Line A x 0.0125) \$ 3,250.00 (B)

1.50% of Total Infrastructure Cost\*\* (Line A x 0.015) + \$ 3,900.00 (C)

Application Fee + \$ 150.00 (D)

**Total Construction Drawing Fee (Line B + C + D)** \$ 7,300.00 (E)

#### 2 – Preliminary Plat Fee Breakdown:

0.25% of Total Infrastructure Cost\* (Line A x 0.0025) \$ \_\_\_\_\_ (F)

Application Fee + \$ 150.00 (G)

**Total Preliminary Plat Fee (Line F + G)** \$ \_\_\_\_\_ (H)

**Total Paid with Application/Submittals (Line E+H)** \$ \_\_\_\_\_

\* Due upon submittal

\*\* Due prior to construction





**Date**

July 13, 2017

**Attention**

Jerry Haddix  
Village Administrator

**Address**

99 N. High Street  
South Lebanon, OH 45065

**Subject**

Primrose School Site Plan  
Review #1  
Village of South Lebanon, OH

## Dear Mr. Haddix:

Below and attached are our comments after reviewing the site plan and storm/detention calculations for the Primrose School for the first time. Choice One recommends the revision of the plans to account for these comments and resubmittal to us for a final review prior to approval. An electronic resubmission of these items would be acceptable to Choice One.

- See attached site plan requirements checklist for additional comments.

**Page C2.0**

- ALTA survey notes reference that the property is in the 500 year floodplain but not the 100 year floodplain. No Village of South Lebanon floodplain development permit should be needed.

**Page C3.0**

- Move "#3" Pentagon bubble over closer to where existing manhole needs adjusted.

**Page C4.0**

- Add new hatch to legend that explains what the diagonal playground hatch indicates
- Typo in site notes note #4.
- The building foundation appears to stick into the 30' utility easement. Is it possible to shift the building to the north, even if it is only 6"?
- As an FYI, the sidewalk and Ameristar fence are within the 30' utility easement as well and may need to be removed if the sanitary sewer is maintained or replaced.
- There is a flag pole and light pole on the northeast part of the site within the 30' utility easement as well that are less than 7' from the existing sanitary sewer. Can these be relocated slightly to avoid conflicts in the future? Can the light pole be moved somewhere around that parking area so that it is west of the sanitary sewer?
- Bubble 27 indicates a bike rack is in the middle of the parking stall nearest the front entrance. Is this label just in the wrong spot?

**Page C5.0**

- Label invert of detention outlet on utility plan.

West Central Ohio  
440 E. Hoewisher Rd.  
Sidney, OH 45365  
937.497.0200 Phone

S. Ohio/N. Kentucky  
203 W. Loveland Ave.  
Loveland, OH 45140  
513.239.8554 Phone

Eastern Indiana  
607 N. Meridian St.  
Portland, IN 47371  
260.766.2500 Phone





**Page C6.0**

- Label finished floor elevation of the building on the grading plan.

**Page PM1.0**

- Foot candles over 1.0 spill onto Speedway's lot. Please shield lights from spilling over property line.

**Page L.3**

- Text overlap on the "Multi-stem tree planting and staking detail".

**Page C9.0 and Storm/Detention**

- Please submit calculations for how the detention system was sized. Currently only the storm piping from the catch basins has supporting calculations. Choice One will need to see pre vs. post calcs and what the release rates are for the outlet.
- The tailwater elevation in the CDSS calcs should be the 100 year water elevation in the underground detention system.
- Required design year for storm conduits is 25 year, not 10 year. Please revise.

**Page C11.0**

- Change all references of Warren County to the Village of South Lebanon. The Village follows the County's standards but the Village is who needs contacted for inspections, taps, etc.

**Page C12.0**

- Prime coat is not required or desired between the 304-aggregate base and the asphalt layers for the standard and heavy duty asphalt pavement section.

**Ohio EPA**

- Submit to the Village a copy of the Ohio EPA Notice of Intent and also inform the Village of when it was submitted and when it was approved.

**ODOT**

- Submit MR-505 Right-of-Way permit to Ohio Department of Transportation for clearing and fence removal work in LA R/W of S.R. 48. Provide Village with copy of approved permit.

If you have any questions, please contact our office.

Sincerely,

A handwritten signature in blue ink that reads "Nicholas J. Selhorst". The signature is stylized with a large, looped 'S' at the end.

Nicholas J. Selhorst, P.E.





**VILLAGE OF SOUTH LEBANON**  
**Site Plan Approval Checklist**

**Development Name:** Primrose School  
**Reviewed By:** Nick Selhorst—Choice One Engineering

**Date Received** 6/21/17  
**Date Reviewed** 7/13/17

**All items below are required for site plan approval from the Village Engineer**

	<b>Approved</b>	<b>Comments</b>
<b>1. Required Information</b> Sec 15.18.20		
a. Appropriate Scale	<input checked="" type="checkbox"/>	
b. Sec 15.18.20.2 (a-n)	<input type="checkbox"/>	Note variances requested and secured on the site plan title sheet
c. Sec 15.18.20.3 (a-x)	<input type="checkbox"/>	Foot candles over 1.0 spill onto Speedway property.
d. Sec 15.18.20.4 (a-g)	<input type="checkbox"/>	Building foundation within 30' utility easement
e. Sec 15.18.20.5 (a-f)	<input type="checkbox"/>	Need detention pre vs. post calculations and outlet rates
f. Sec 15.18.20.6 (a-l)	<input checked="" type="checkbox"/>	n/a
g. Sec 15.18.20.7 (a-b)	<input type="checkbox"/>	Estimated number of employees needed
h. Sec 15.18.20.8	<input checked="" type="checkbox"/>	
i. Sec 15.18.20.9	<input checked="" type="checkbox"/>	
<b>2. Drainage Plan</b> Sec 15.18.21.12		
Floodway/Floodplain Impacts	<input checked="" type="checkbox"/>	
Detention and Retention Basin Calculations	<input type="checkbox"/>	Missing detention pre vs. post calculations, drainage map, and outlet rates
Overflow Routing on and off-site	<input checked="" type="checkbox"/>	
Storm Sewer	<input type="checkbox"/>	25 year design storm per Warren Co. standards
<b>3. Utility Connection Plan</b> Sec 15.18.21.15		
a. Main Extension Plan	<input checked="" type="checkbox"/>	
b. Lateral Service Plan	<input checked="" type="checkbox"/>	
<b>4. Access Control Plan</b> Sec 15.18.21.8-11,20-21		
a. Driveway Widths and Locations	<input checked="" type="checkbox"/>	
b. Emergency Vehicle Access	<input checked="" type="checkbox"/>	
c. Pedestrian Access	<input checked="" type="checkbox"/>	
d. Coordination with Adjacent Sites	<input checked="" type="checkbox"/>	
e. Barrier-free Access	<input checked="" type="checkbox"/>	
<b>5. Off-Street Parking</b> Sec 15.12		
a. Sec 15.12.2 (1-12)	<input checked="" type="checkbox"/>	
b. Sec 15.12.3 and 15.12.7	<input checked="" type="checkbox"/>	
c. Sec 15.12.4	<input checked="" type="checkbox"/>	
d. Sec 15.12.5	<input checked="" type="checkbox"/>	
e. Sec 15.12.6	<input checked="" type="checkbox"/>	
f. Sec 15.12.8	<input checked="" type="checkbox"/>	
g. Sec 15.12.9	<input checked="" type="checkbox"/>	
h. Sec 15.12.10	<input checked="" type="checkbox"/>	
i. Sec 15.12.11 (1-4)	<input checked="" type="checkbox"/>	
<b>6. Erosion Control</b> Sec 15.18.21.13		
a. Erosion Control Plan	<input checked="" type="checkbox"/>	





**VILLAGE OF SOUTH LEBANON**  
**Site Plan Approval Checklist**

**Development Name:** Primrose School  
**Reviewed By:** Nick Selhorst–Choice One Engineering

**Date Received** 6/21/17  
**Date Reviewed** 7/13/17

7. Lighting Plan	Sec 15.18.21.14		
a. Compliance with Sec 15.18.21.14		<input type="checkbox"/>	Foot candles over 1.0 spill onto Speedway property
8. Appearance	Sec 15.18.21.3		
a. Compliance with Sec 15.18.21.3		<input checked="" type="checkbox"/>	
9. Landscape Plan	Sec 15.17		
a. Sec 15.17.4 (a-b)		<input checked="" type="checkbox"/>	
b. Sec 15.17.5.1 (a-d)		<input checked="" type="checkbox"/>	
c. Sec 15.17.6 (1-3)		<input checked="" type="checkbox"/>	
d. Sec 15.17.7		<input checked="" type="checkbox"/>	
e. Sec 15.17.8		<input checked="" type="checkbox"/>	
f. Sec 15.17.9.1		<input checked="" type="checkbox"/>	
g. Sec 15.17.9.2 (a-c)		<input checked="" type="checkbox"/>	
h. Sec 15.17.10 (1-4)		<input checked="" type="checkbox"/>	
i. Sec 15.17.11 (1-2)		<input checked="" type="checkbox"/>	
10. Screening	Sec 15.18.21.16		
a. Privacy		<input checked="" type="checkbox"/>	
b. Off-Street Parking		<input checked="" type="checkbox"/>	
c. Loading Areas		<input checked="" type="checkbox"/>	
d. Dumpster Enclosure		<input checked="" type="checkbox"/>	
11. All Other Items			
General Comments	Please revise and resubmit the plans for a final review		



- 1) ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND CONFORM WITH THE VILLAGE OF SOUTH LEBANON STANDARDS AND SPECIFICATIONS FOUND AT <http://southlebanonohio.org/design-and-construction-specifications/> ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER IN CHARGE.
- 2) ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE VILLAGE OF SOUTH LEBANON STANDARDS.
- 3) ALL TRENCH EXCAVATION WITHIN FIVE FEET OF THE EDGE OF AN EXISTING OR PROPOSED PAVEMENT SHALL BE IN ACCORDANCE WITH OHIO DOT ITEM 611 CONDUIT, TYPE B. PIPE TRENCHES OUTSIDE OF THE FIVE FOOT LIMIT OF THE EDGE OF AN EXISTING OR PROPOSED PAVEMENT SHALL BE IN ACCORDANCE WITH OHIO DOT ITEM 611 CONDUIT, TYPE C.
- 4) ALL COMPONENTS OF ACCESS FOR HANDICAP INCLUDING SIDEWALK, RAMPS, PARKING AND BUILDING AND PLAYGROUND ACCESS SHALL CONFORM TO THE LATEST ADA REQUIREMENTS
- 5) ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED, REMOVED OR CONNECTED TO THE STORM SEWER SYSTEM
- 6) CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE OHIO DEPT OF TRANSPORTATION STD CONST DWG BP-7.1 TYPE 1.
- 7) ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHOULD NOTIFY THE FOLLOWING AGENCIES, TO OBTAIN ACCURATE FIELD LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES:

- THE OWNER OF THE UNDERGROUND UTILITY SHALL WITHIN 48 HOURS, EXCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS, AFTER NOTICE IS RECEIVED, STAKE, MARK OR OTHERWISE DESIGNATE THE LOCATION OF THE UNDERGROUND UTILITY FACILITIES IN THE APPROXIMATE DEPTH AT WHICH THEY WERE INSTALLED. THE MARKING OR LOCATING SHALL BE COORDINATED TO STAY APPROXIMATELY TWO DAYS AHEAD OF THE PLANNED CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORKFORCE.
- 8) THE CONTRACTOR SHOULD NOTE THAT NOT ALL UTILITY AGENCIES ARE MEMBERS OF THE OHIO UTILITY PROTECTION SERVICE, AND WILL NEED TO BE NOTIFIED DIRECTLY.
- 9) ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 30 DAYS SHALL BE SEEDD WITHIN 7 DAYS.
- 10) ANY VARIANCE BETWEEN THESE PLANS AND WHAT IS FOUND IN THE FIELD OR DURING CONSTRUCTION SHOULD BE ADDRESSED TO THE ENGINEER IN CHARGE OF THE PROJECT.
- 11) ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 12) TRAFFIC CONTROL ON ALL PUBLIC ROADS IS REQUIRED TO CONFORM TO "THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
- 13) SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
- 14) WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE PRICE BID FOR THE PERTINENT ITEM.
- 15) THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING PERFORMING ALL WORK IN RIGHT OF WAY AND ON-SITE. CONTACT THE BUILDING DEPT. FOR A LIST. VILLAGE OF SOUTH LEBANON STANDARD DRAWINGS ARE TO BE CONSIDERED PART OF THESE PLANS
- 17) IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
- 18) THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES.
- 19) CONTRACTOR SHALL MAINTAIN INSPECTION AND MAINTENANCE LOGS OF EROSION CONTROL DEVICES IN CONFORMANCE WITH OHIO EPA RULES AND REGULATIONS.
- 20) CONTRACTOR SHALL PREPARE AN IRRIGATION PLAN AND SUBMIT TO THE ARCHITECT PRIOR TO INSTALLATION.

A map of the study area showing the location of the Site in South Lebanon. The map includes Lebanon, South Lebanon, and the Site. Major roads shown are US 42, US 22, I-71, State Route 48, Stubbs Mill Rd., and Wilmington Rd. A north arrow is present in the top left corner.

This topographic map shows the Brownsboro, Georgia area. Key features include:
 

- Topography:** Contour lines indicating elevation, with peaks reaching up to 100 feet.
- Water Features:** Brownsboro Creek and Turtle Creek are shown flowing through the landscape.
- Infrastructure:** A major road runs diagonally from the bottom left towards the top right. An interchange is marked near the bottom center.
- Landmarks:** Brownsboro Limestone Airport is located in the upper right quadrant.
- Project Site:** A red arrow points to a specific location labeled 'PROJECT SITE' near the interchange.
- Other Labels:** 'SOUTH' is written at the bottom, and 'UNION' is written in large letters on the right side.
- Map Elements:** A north arrow is in the top right corner. A grid system is overlaid on the map.



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ALT Architecture Inc.  
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937 427 2770 voice  
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info@altarchitecture.com

COMMUNITY CIVIL ENGINEERS, LLC  
2440 DAYTON XENIA ROAD, STE B  
BEAVERCREEK, OHIO 45434  
TEL. 937.490.9460

REVISIONS

PREPARED FOR:



**PRIMROSE SCHOOLS**  
3660 CEDARCREST ROAD  
ACWORTH, GA 30101  
TEL. 770.529.4100  
FAX 770.874.0210



# TITLE SHEET

**PRIMROSE SCHOOL  
OF SOUTH LEBANON**



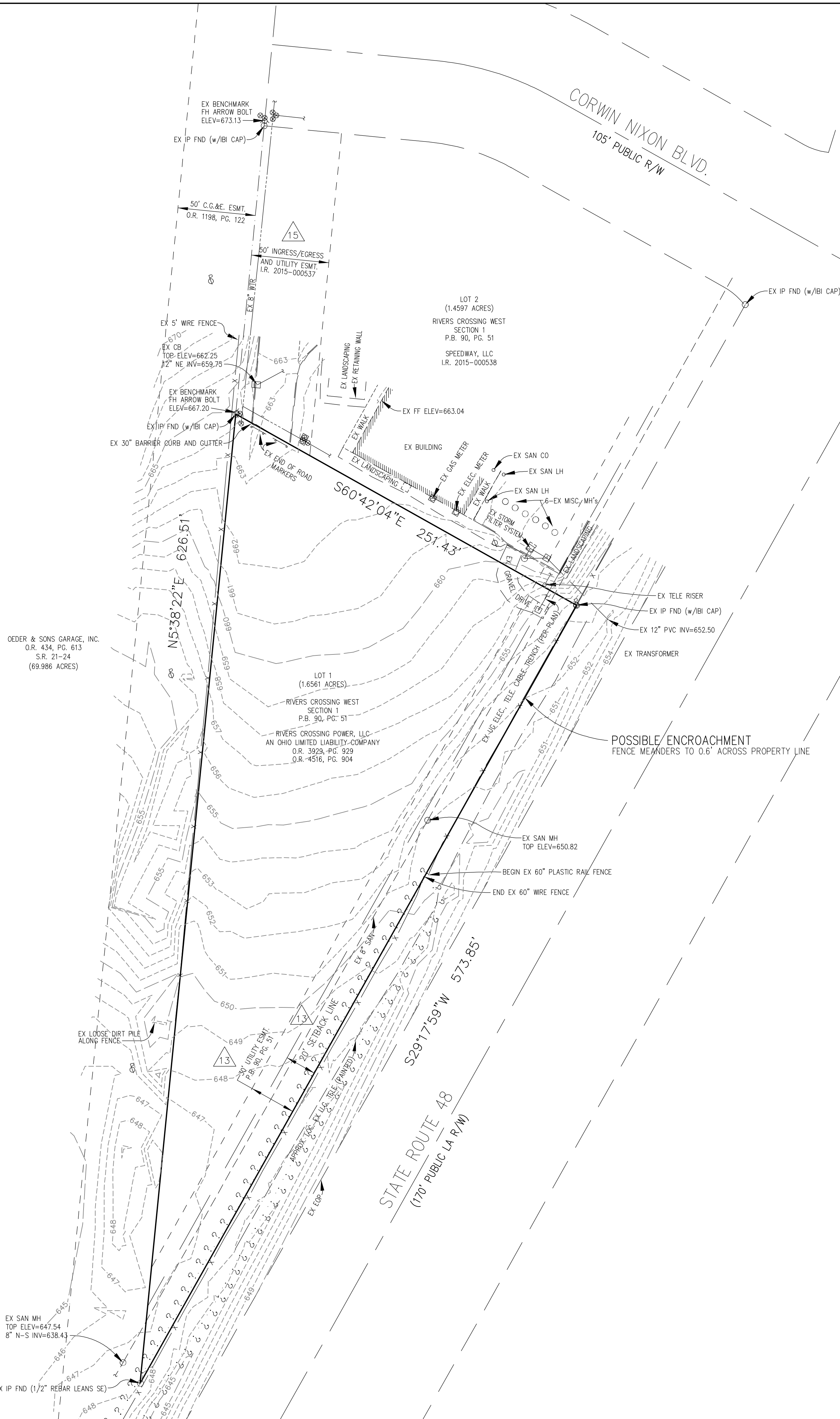
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SMR	06/16/2017

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JOB #:	16-285

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SURVEY SYMBOLS LEGEND:

- EX CROSS NOTCH FOUND
- EX 5/8\"/>

NOTE:  
THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THE PLAN HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, BUT THE ENGINEER DOES NOT GUARANTEE THEIR ACURACY OR COMPLETENESS. THE CONTRACTOR SHOULD VERIFY LOCATIONS WITH THE UTILITY COMPANIES AND/OR THE OHIO UTILITIES PROTECTION SERVICE AT 1-800-362-2764 NOT LESS THAN 48 HOURS BEFORE STARTING ANY DEMOLITION OR EXCAVATION ACTIVITIES.

DESCRIPTION:  
SITUATED IN SECTION 2, TOWN 4, RANGE 3, VILLAGE OF SOUTH LEBANON, UNION TOWNSHIP, WARREN COUNTY, OHIO, AND BEING ALL OF LOT 1 OF RIVERS CROSSING WEST, SECTION 1 AS RECORDED IN PLAT BOOK 90, PAGE 51, OF THE WARREN COUNTY RECORDER'S OFFICE.

PARCEL NO. 1202351006

SCHEDULE BII EXCEPTIONS:  
STEWART TITLE GUARANTY COMPANY COMMITMENT NO. 17RB0153-7 EFFECTIVE DATE APRIL 05, 2017, TO BE CONSIDERED A PART OF THIS SURVEY.

13. BUILDING SETBACKS, EASEMENTS AND OTHER MATTERS AS SHOWN ON THE SUBDIVISION PLAT SET FORTH IN PLAT BOOK 90, PAGE 51, INCLUDING BUT NOT LIMITED TO:

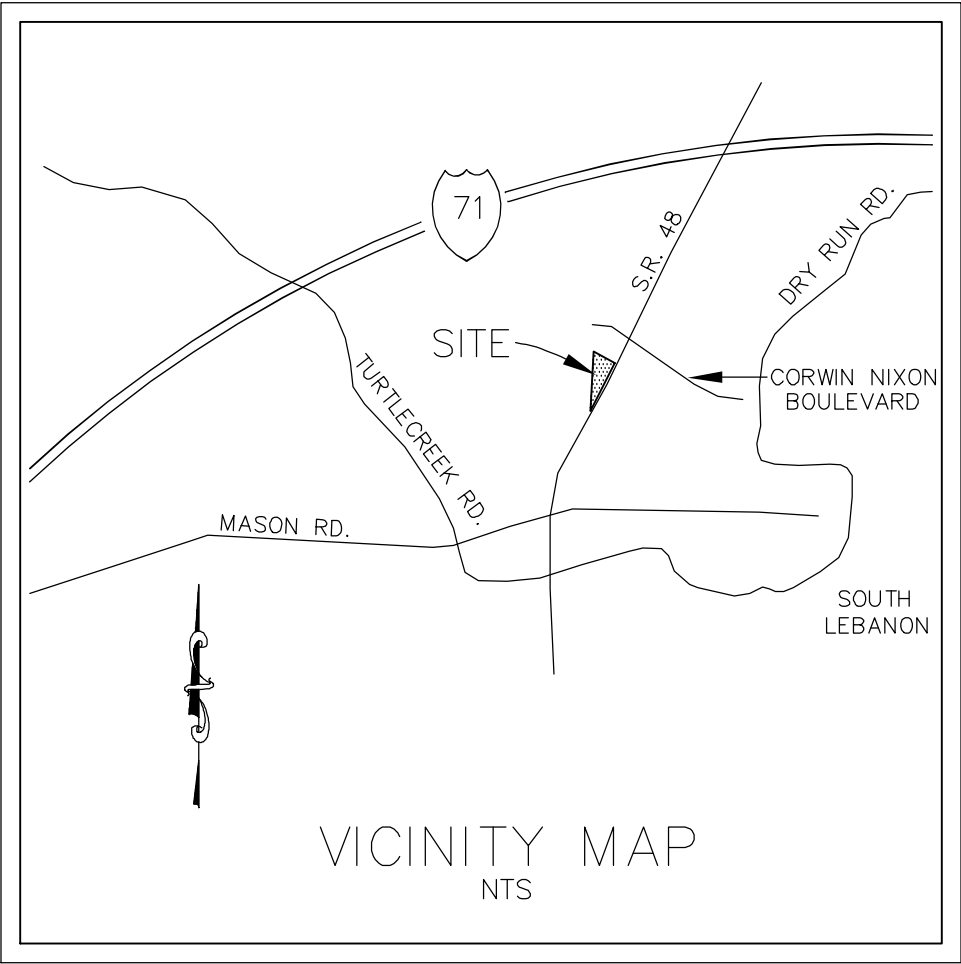
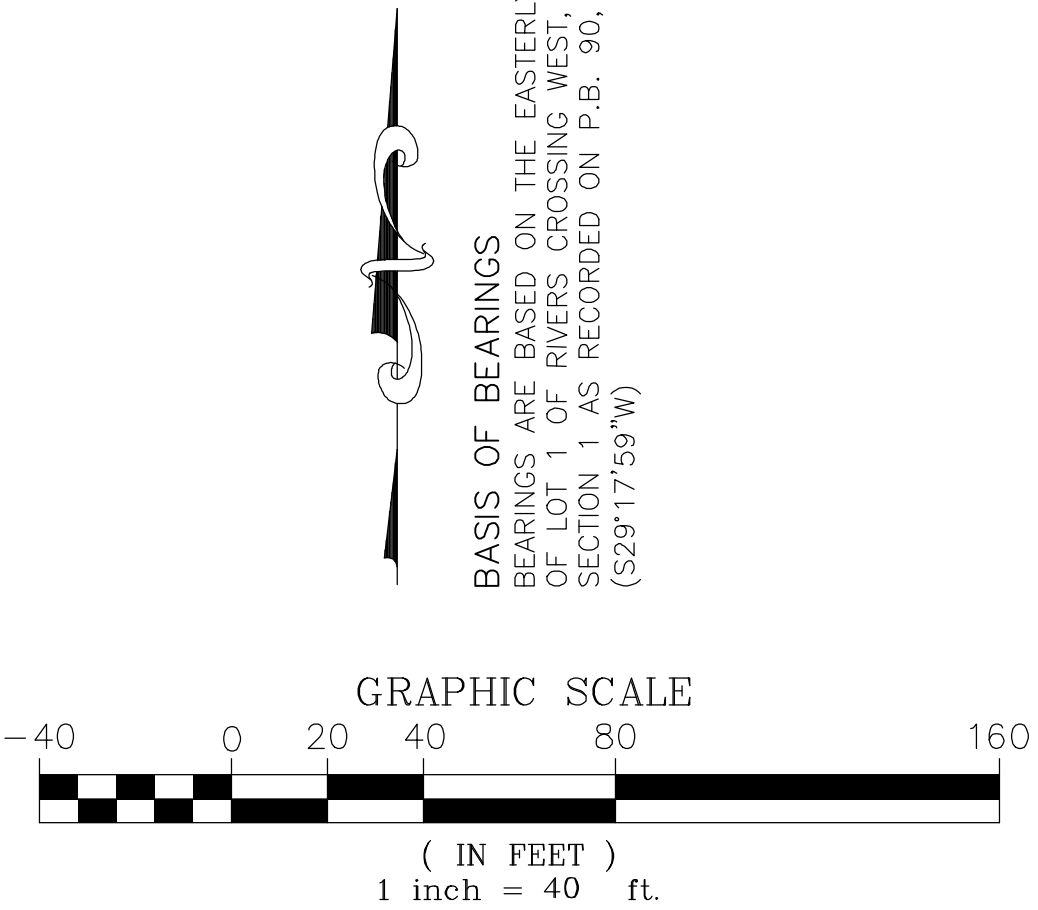
- (a) A PUBLIC UTILITY EASEMENT OVER THE EASTERLY 30 FEET OF THE PREMISES.
- (b) A 20 FOOT SETBACK FROM STATE ROUTE 48. (AFFECTS, PLOTTED)

14. EASEMENT IN FAVOR OF THE CINCINNATI GAS & ELECTRIC COMPANY FOR AN ELECTRIC SERVICE LINE IN AN INDEFINITE LOCATION OVER THE PARENT TRACTS DATED FEBRUARY 14, 1948 AND RECORDED IN DEED BOOK 179, PAGE 544, WARREN COUNTY, OHIO RECORDER'S RECORDS. (NOT PLOTTED, CAN NOT BE DETERMINED)

15. TERMS AND CONDITIONS OF THE CROSS EASEMENT AGREEMENT BY AND BETWEEN RIVERS CROSSING POWER, LLC AND OEDER AND SONS GARAGE INCORPORATED DATED MARCH 17, 2008 AND RECORDED IN OFFICIAL RECORD BOOK 4844, PAGE 665, WARREN COUNTY, OHIO RECORDER'S RECORDS. (AFFECTS, PLOTTED)

16. ACCESS GRANT BY AND BETWEEN STATE OF OHIO AND RIVER'S CROSSING POWER, LLC DATED JUNE 26, 2014 AND RECORDED IN DOCUMENT NO. 2014-018129, WARREN COUNTY, OHIO RECORDER'S RECORDS. (DOES NOT AFFECT, NOT PLOTTED, NEW POINT OF ACCESS AT CORWIN NIXON BOULEVARD, ELIMINATED POINT OF ACCESS NORTH OF CORWIN NIXON BOULEVARD.)

17. TERMS, CONDITIONS AND EASEMENTS CONTAINED IN THE DECLARATION OF PRIVATE ACCESS AND UTILITY EASEMENT BY AND BETWEEN RIVER'S CROSSING POWER, LLC AND THE VILLAGE OF SOUTH LEBANON DATED JANUARY 29, 2014 AND RECORDED IN DOCUMENT NO. 2015-000537, WARREN COUNTY, OHIO RECORDER'S RECORDS. (EASEMENTS BY RIVERS OFFSITE NOT PLOTTED, EASEMENTS BY OEDER TERMINATED MARCH 1, 2011 OR AT COMPLETION OF IMPROVEMENTS)



- NOTES:
- THE ADDRESS OF THE SUBJECT TRACT IS:  
719 CORWIN NIXON BLVD.  
SOUTH LEBANON, OH 45065
  - SITE APPEARS ON FEMA MAP NO. 39113C0164E WITH AN EFFECTIVE DATE OF JANUARY 6, 2005 AND IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
  - SITE IS ZONED: PLANNED DEVELOPMENT DISTRICT, PD-109 (UNDERLYING DISTRICT, MR-5, MATURE SINGLE-FAMILY). SEE ORDINANCE NO. 31534-16 TO AMEND THE AREA 1 (EDGEWOOD SITE) AREA DEVELOPMENT REQUIREMENTS OF PLANNED DEVELOPMENT PD-109, PASSED BY THE COMMISSION AND SIGNED BY MAYOR, NOVEMBER 16, 2016. (SEE ZONING INFORMATION NOTE)
  - THERE ARE NO BUILDINGS ON THE SUBJECT TRACT.
  - THERE ARE CURRENTLY NO PARKING SPACES ON THE SUBJECT TRACT.
  - THERE ARE NO OBSERVED PARTY WALLS ON THE SUBJECT TRACT.
  - THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
  - THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK REPAIRS ON THE SUBJECT TRACT.
  - THERE IS NO OBSERVED EVIDENCE OF WETLAND DELINEATION MARKERS ON THE SUBJECT TRACT.

CERTIFICATION:

TO PRIMROSE SCHOOL FRANCHISING COMPANY, A GEORGIA CORPORATION AND STEWART TITLE GUARANTY COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 11, 13, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 27, 2017.

VANATTA ENGINEERING

JEFFREY A. VAN ATTA  
PROFESSIONAL OHIO REGISTERED  
SURVEYOR #7354

DATE

2 WORKING DAYS  
BEFORE YOU DIG  
CALL TOLL FREE 800-362-2764  
OHIO UTILITIES PROTECTION SERVICE



ALTA/NSPS LAND TITLE SURVEY  
RIVERS CROSSING WEST  
SECTION 1 - LOT 1  
LOCATED IN  
SECTION 2, TOWN 4, RANGE 3  
UNION TOWNSHIP, VILLAGE OF SOUTH LEBANON, WARREN COUNTY, OHIO

DATE: MARCH, 2017

SCALE: 1"=30'

PROJECT No. 5908

C2.0

NO.	DATE	REVISION

VANATTA ENGINEERING INC  
570 Congress Park Dr • Dayton, OH 45469  
Phone: 937.438.5560  
Fax: 937.438.5545



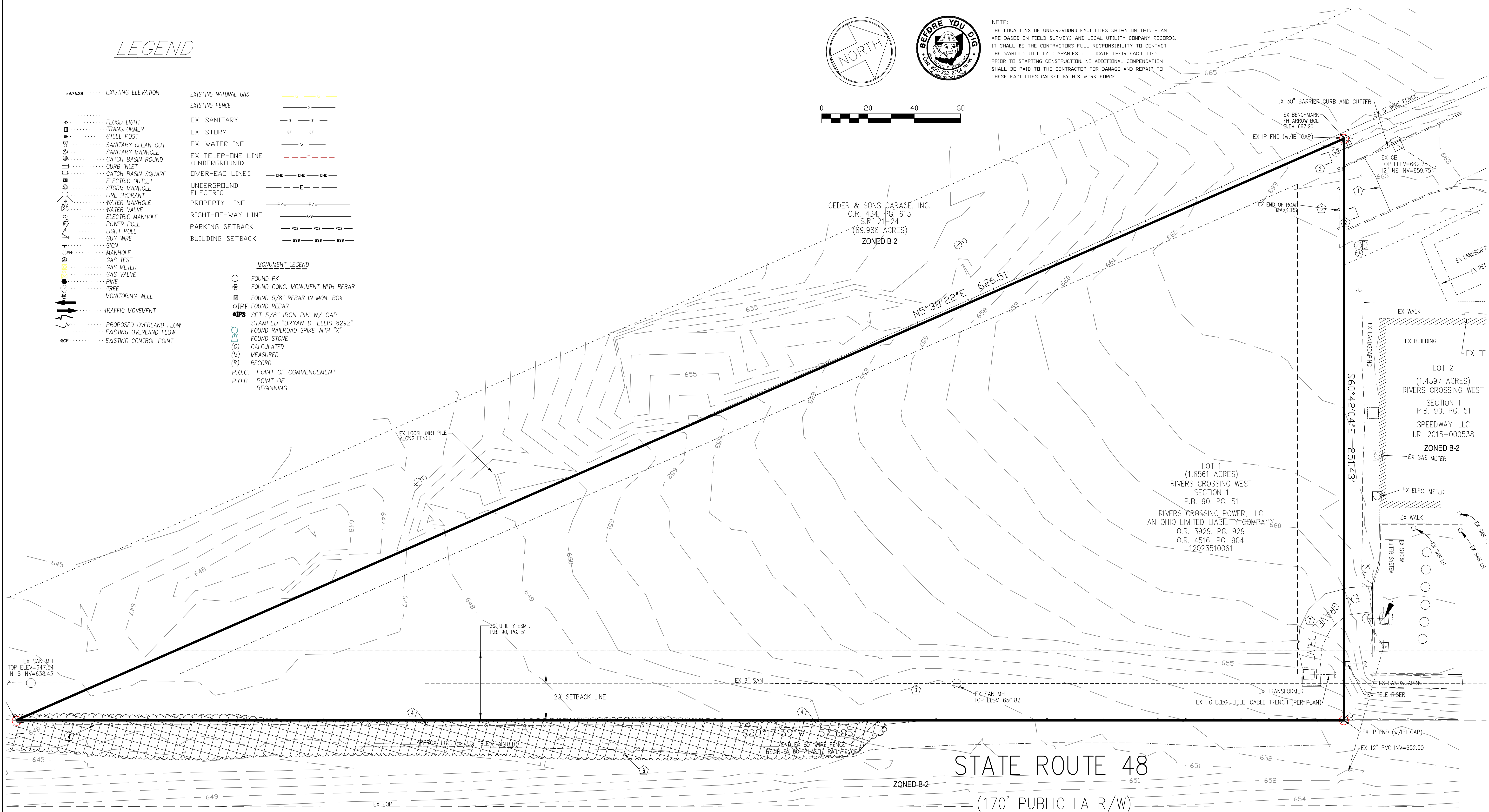
LEGEND



NOTE:  
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.



- 676.38 ..... EXISTING ELEVATION
- FLOOD LIGHT  
TRANSFORMER  
STEEL POST  
SANITARY CLEAN OUT  
SANITARY MANHOLE  
CATCH BASIN ROUND  
CATCH BASIN SQUARE  
ELECTRIC OUTLET  
STORM MANHOLE  
FIRE HYDRANT  
WATER MANHOLE  
WATER VALVE  
ELECTRIC MANHOLE  
POWER POLE  
LIGHT POLE  
GUY WIRE  
SIGN  
MANHOLE  
GAS TEST  
GAS METER  
GAS VALVE  
PINE  
TREE  
MONITORING WELL  
TRAFFIC MOVEMENT
- PROPOSED OVERLAND FLOW  
EXISTING OVERLAND FLOW  
EXISTING CONTROL POINT
- EXISTING NATURAL GAS  
EXISTING FENCE  
EX. SANITARY  
EX. STORM  
EX. WATERLINE  
EX TELEPHONE LINE (UNDERGROUND)  
OVERHEAD LINES  
UNDERGROUND ELECTRIC  
PROPERTY LINE  
RIGHT-OF-WAY LINE  
PARKING SETBACK  
BUILDING SETBACK
- MONUMENT LEGEND  
○ FOUND PK  
\* FOUND CONC. MONUMENT WITH REBAR  
□ FOUND 5/8" REBAR IN MON. BOX  
○ FOUND REBAR  
○ IPS SET 5/8" IRON PIN W/ CAP  
STAMPED "BRYAN D. ELLIS 8292"  
FOUND RAILROAD SPIKE WITH "X"  
○ FOUND STONE  
(C) CALCULATED  
(M) MEASURED  
(R) RECORD  
P.O.C. POINT OF COMMENCEMENT  
P.O.B. POINT OF BEGINNING

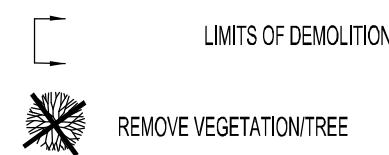


SITE DATA

TOTAL SITE INCLUDING R/W - 1.6561 ACRES  
CURRENT USE: VACANT LOT  
ZONED B-2

DEMOLITION LEGEND

- 1 SAWCUT EXISTING PAVEMENT & CURB  
2 REMOVE CURB  
3 ADJUST MANHOLE  
4 REMOVE 60' WIRE FENCE  
5 REMOVE ASPHALT  
6 REMOVE BRUSH AND TREES  
7 REMOVE GRAVEL



STATE ROUTE 48

(170' PUBLIC LA R/W)

EXISTING PLAN NOTES:

- 1) CONTRACTOR SHALL COORDINATE LOCATING OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK.
- 2) NOTE: SOME UTILITIES MAYBE CONSIDERED TO BE PRIVATE AND WILL NOT BE LOCATED BY CALLING OUPS.
- 3) AFTER THE INSTALLATION OF UTILITIES THE GROUND SHALL BE RETURNED TO ITS ORIGINAL CONDITION
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF WASTE MATERIAL LEGALLY.
- 5) DUE TO LACK OF RECORDS AVAILABLE ASSUMPTIONS HAVE HAD TO BE MADE ON THE LOCATION OF SOME UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARISE.
- 6) CONTRACTOR SHALL CALL OUPS PRIOR TO BREAKING GROUND, AND NON MEMBER UTILITY COMPANIES DIRECTLY
- 7) CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS APPLICABLE TO ALLOW DEVOLUTON AND WORK IN RIGHT-OF-WAY
- 8) CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO BREAKING GROUND.
- 9) CONTRACTOR SHALL REMOVE CONCRETE WALK AND CURB FROM JOINT TO JOINT.
- 10) BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY VAN ATTA ENGINEERING, INC

BENCHMARK #1

SANITARY MANHOLE LOCATED NEAR SOUTH PROPERTY CORNER.  
INVERT ELEVATION - 638.43

BENCHMARK #2

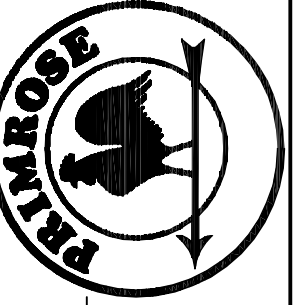
EXISTING FIRE HYDRANT LOCATED ON NORTHWEST PROPERTY CORNER  
OF SPEEDWAY PROPERTY, ARROW BOLT ELEVATION - 673.13

BENCHMARK #3

EXISTING FIRE HYDRANT LOCATED NEAR NORTHWEST PROPERTY CORNER  
ARROW BOLT ELEVATION - 667.20

REVISIONS

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		



PREPARED FOR:  
**PRIMROSE SCHOOLS**  
3660 CEDARCREST ROAD  
ACHORTH, GA 30101  
TEL: 770.529.4100  
FAX 770.874.0210

**Community Civil Engineers, LLC**  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45434  
TEL: 937.490.9460 FAX 937.428.9798

EXISTING FEATURES  
**PRIMROSE SCHOOL  
OF SOUTH LEBANON**  
719 CORMACK-NIXON BLVD  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3



DESIGN: DATE: 06/16/2017

DRAWN:

CHECK: **C3.0**

JOB #: 16-285

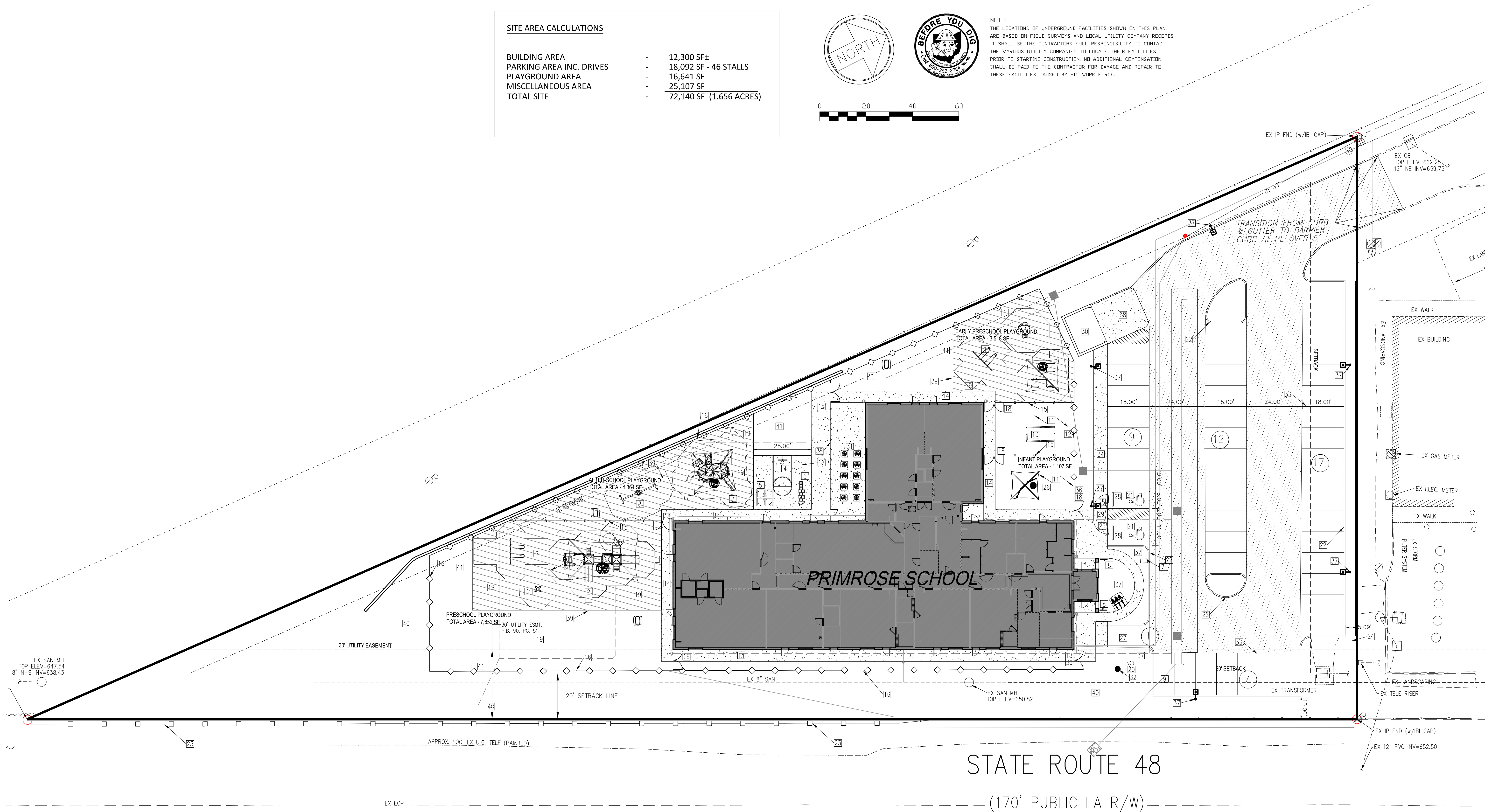


SITE AREA CALCULATIONS

BUILDING AREA	-	12,300 SF±
PARKING AREA INC. DRIVES	-	18,092 SF - 46 STALLS
PLAYGROUND AREA	-	16,641 SF
MISCELLANEOUS AREA	-	25,107 SF
TOTAL SITE	-	72,140 SF (1.656 ACRES)

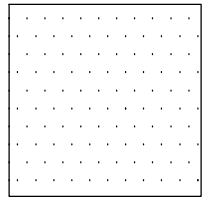


NOTE:  
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

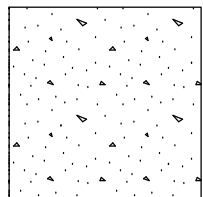


SITE NOTES

- 1) DIMENSIONS GIVEN ARE TO FACE OF BUILDING OR BACK OF CURB UNLESS OTHERWISE NOTED.
- 2) HANDICAP RAMPS SHALL MEET CURRENT ADA REGULATIONS. DETECTABLE WARNINGS SHALL BE INSTALLED PER ADA REGULATIONS.
- 3) CONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR FOUNDATION PLAN AND DIMENSIONS.
- 4) ALL WALKS AND SLABS AT ENTRY/EXIT DOORS SHALL BE FLUSH UP TO A MAX. OF 1/2" BELOW THE THRESHOLD WITH A 1.0% SLOPE AWAY FROM THE BUILDING FOR A MIN. OF 5'.
- 5) ALL ASPHALT JOINTS WITH CONCRETE OR ASPHALT SHALL BE SEALED WITH HOT AC.



HEAVY DUTY PAVEMENT  
(SEE SITE DETAIL SHEET)



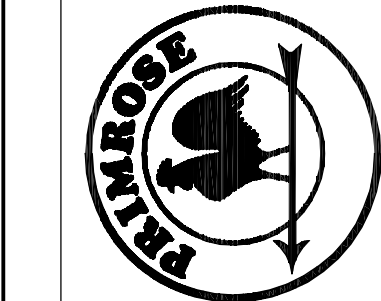
NEW CONCRETE

- KEYNOTES:
- 1) EARLY PRESCHOOL PLAYGROUND EQUIPMENT
  - 2) PRESCHOOL PLAYGROUND EQUIPMENT
  - 3) AFTER SCHOOL PLAYGROUND EQUIPMENT
  - 4) BASKETBALL GOAL AND STRIPING
  - 5) 4 SQUARE PAINTED
  - 6) HOPSCOTCH PAINTED
  - 7) MAILBOX
  - 8) SMOKEFREE SIGN
  - 9) PRIMROSE VAN PARKING
  - 10) BUCKLE UP SIGN
  - 11) IRRIGATED SOD - PRIMROSE PATCH AND INFANT PLAYGROUND
  - 12) PRIMROSE PATCH SIGN
  - 13) PRIMROSE PATCH (6'x12')
  - 14) 5'W SIDEWALK
  - 15) 4' CHAINLINK FENCE (TYPICAL INTERIOR)
  - 16) 6' BLACK AMERISTAR FENCE (TYPICAL EXTERIOR)
  - 17) 25'X25' CONCRETE PAD (SEE DETAIL SHEET FOR SECTION)
  - 18) 8'W DOUBLE BLACK GATE TO MATCH FENCE MATERIAL
  - 19) WOOD CHIP FALL MATERIAL, ALT#1 RUBBER CHIPS ALT#2 ARTIFICIAL TURF
  - 20) FLAGPOLE UP-LIGHT
  - 21) INTERNATIONAL HANDICAP SYMBOL (BLUE) & STRIPING
  - 22) ODOT TYPE 6 BARRIER CURB

- 23) 5' POST AND 3 RAIL VINYL FENCE TO MATCH EX.
- 24) MONUMENT SIGN
- 25) CURB RAMP
- 26) 12'x12' SUNSPORTS SUNSHADE FOREST GREEN/BEIGE LOGO
- 27) BIKE RACK
- 28) PARKING BLOCK
- 29) HC PARKING SIGNAGE
- 30) MASONRY TRASH ENCLOSURE
- 31) CONDENSING UNITS BEHIND 4'H SOLID VINYL FENCE
- 32) FLAGPOLE
- 33) STRIPING (4" WHITE)
- 34) 6.0' INTEGRAL CURB WALK
- 35) 4' VINYL FENCE W/3'W GATE
- 36) PANIC DEVICE
- 37) LIGHT POLE
- 38) 6" SLOPED CONCRETE TRUCK APRON
- 39) FALLZONE BOUNDARY
- 40) IRRIGATED SOD
- 41) IRRIGATED SOD ALT#2 ARTIFICIAL TURF

REVISIONS

6	5	4	3	2	1



PREPARED FOR:  
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**SITE PLAN**  
**PRIMROSE SCHOOL**  
**OF SOUTH LEBANON**  
719 CORMAN-NIXON BLVD  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3



DESIGN:	DATE:
SMR	06/16/2017
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JOB #:	
16-285	

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UTILITY NOTES:

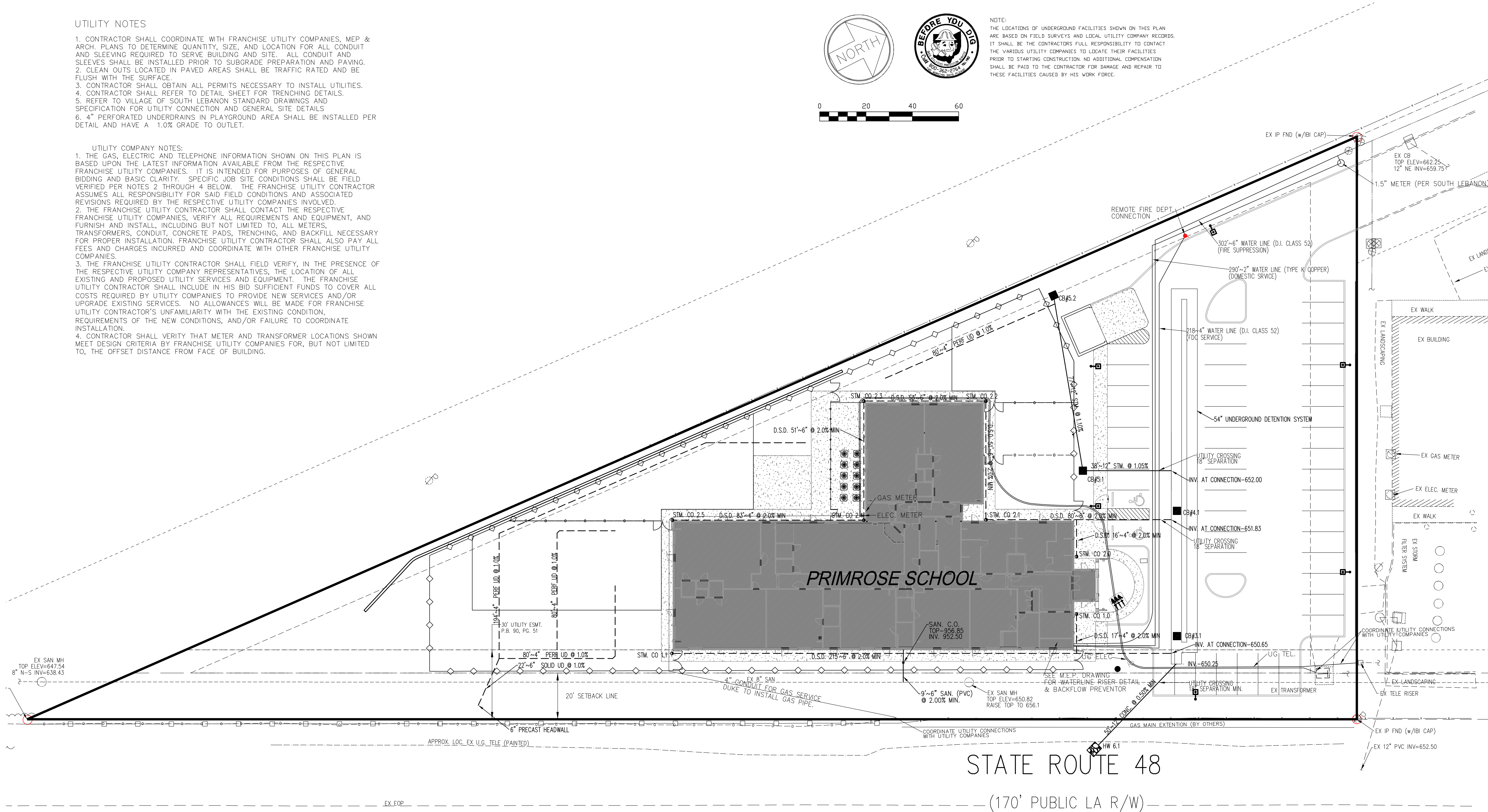
1. CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES, MEP & ARCH. PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
2. CLEAN OUTS LOCATED IN PAVED AREAS SHALL BE TRAFFIC RATED AND BE FLUSH WITH THE SURFACE.
3. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO INSTALL UTILITIES.
4. CONTRACTOR SHALL REFER TO DETAIL SHEET FOR TRENCHING DETAILS.
5. REFER TO VILLAGE OF SOUTH LEBANON STANDARD DRAWINGS AND SPECIFICATION FOR UTILITY CONNECTION AND GENERAL SITE DETAILS
6. 4" PERFORATED UNDERDRAINS IN PLAYGROUND AREA SHALL BE INSTALLED PER DETAIL AND HAVE A 1.0% GRADE TO OUTLET.

UTILITY COMPANY NOTES:

1. THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
2. THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
3. THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE FRANCHISE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR FRANCHISE UTILITY CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
4. CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY FRANCHISE UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.



NOTE:  
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.



STATE ROUTE 48

(170' PUBLIC LA R/W)

IRRIGATION NOTE:

1. CONTRACTOR SHALL HAVE AN IRRIGATION INSTALLER PREPARE AN IRRIGATION PLAN
2. CONTRACTOR SHALL COORDINATE LOCATION OF IRRIGATION METER WITH VILLAGE OF SOUTH LEBANON UTILITY DEPT., AND INCORPORATE INTO IRRIGATION PLAN DESIGN.

STORM SEWER NOTES:

1. ALL STORM SEWERS IN OR ENTERING RIGHT OF WAY SHALL BE CONCRETE CL/IV.
2. CATCH BASINS IN PAVED AREAS SHALL HAVE FINGER DRAINS, SEE DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL CURB UNDERDRAINS AND CONNECT TO STORM SYSTEM.

ELECTRIC NOTES:

1. CONTRACTOR SHALL PROVIDE AND INSTALL ALL CONDUIT FOR PRIMARY ELECTRIC CABLE. DUKE ENERGY WILL PULL THE WIRES. CONTRACTOR TO COORDINATE WITH DUKE ENERGY SIZE OF CONDUIT REQUIRED.
2. ELECTRIC SHALL BE CONNECTED TO THE EXISTING PAD MOUNTED TRANSFORMER.

WATER SERVICE NOTES:

1. CONTRACTOR SHALL MAINTAIN 4.5' COVER OVER THE WATER LINE.
2. CONTRACTOR SHALL MAINTAIN 18" MIN. CLEARANCE AROUND OTHER UTILITIES.
3. CONTRACTOR SHALL USE MECHANICAL JOINTS AND FIELD LOK GASKETS TO RESTRAIN WATERLINE.
4. CONTRACTOR SHALL INSTALL LINE PER SOUTH LEBANON WATER RULES AND REGULATIONS, SEE NOTE SHEET.
5. SEE MEP PLANS FOR METER, DOUBLE CHECK VALVES AND BACKFLOW PREVENTION DEVICE LOCATIONS.

GAS NOTES

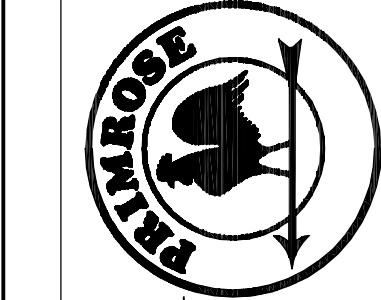
1. CONTRACTOR SHALL OPEN CUT A DITCH AND PROVIDE 4-INCH CONDUIT FROM METER TO PROPERTY LINE.
2. CONTRACTOR SHALL CONTACT DUKE ENERGY AND COORDINATE SERVICE. A OHIO DOT RIGHT OF WAY PERMIT WILL BE REQUIRED.
3. CONTRACTOR SHALL VERIFY LOCATION OF GAS METER PRIOR TO EXCAVATING SERVICE DITCH.

STORM SCHEDULE

STM. CO 1.0 TOP - 656.95 INV. 654.00	STM. CO 2.3 TOP - 656.95 INV. 653.16	STM. CB 3.1 TOP - 656.00 INTEGRATED WITH U.G. DETENTION
STM. CO 1.1 TOP - 656.95 INV. 654.95	STM. CO 2.4 TOP - 656.95 INV. 653.67	STM. CB 4.1 TOP - 656.00 INTEGRATED WITH U.G. DETENTION
STM. CO 2.0 TOP - 656.95 INV. 954.95	STM. CO 2.5 TOP - 656.95 INV. 654.50	STM. CB 5.1 (000T 2-2B) TOP - 656.20 INV. 652.40
STM. CO 2.1 TOP - 656.95 INV. 654.95		STM. CB 5.2 (000T 2-2B) TOP - 656.25 INV. 653.25
STM. CO 2.2 TOP - 656.95 INV. 652.63		STM. HW 6.1 (000T HW 2.2) INV. 650.00

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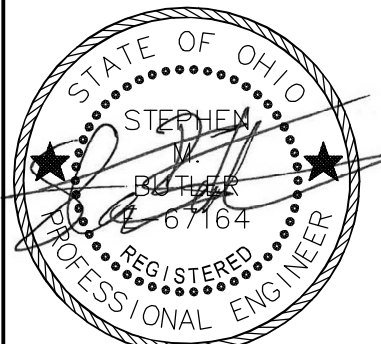
**PRIMROSE SCHOOLS**  
3660 CEDARCREST ROAD  
ACHORTH, GA 30101  
TEL: 770.529.4100  
FAX: 770.874.0210

PREPARED FOR:

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**Community Civil Engineers, LLC**  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45434  
TEL: 937.490.9460 FAX: 937.428.9798

UTILITY PLAN

**PRIMROSE SCHOOL  
OF SOUTH LEBANON**  
719 CORMAN-NIXON BLVD  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3



DESIGN: SMR DATE: 06/16/2017

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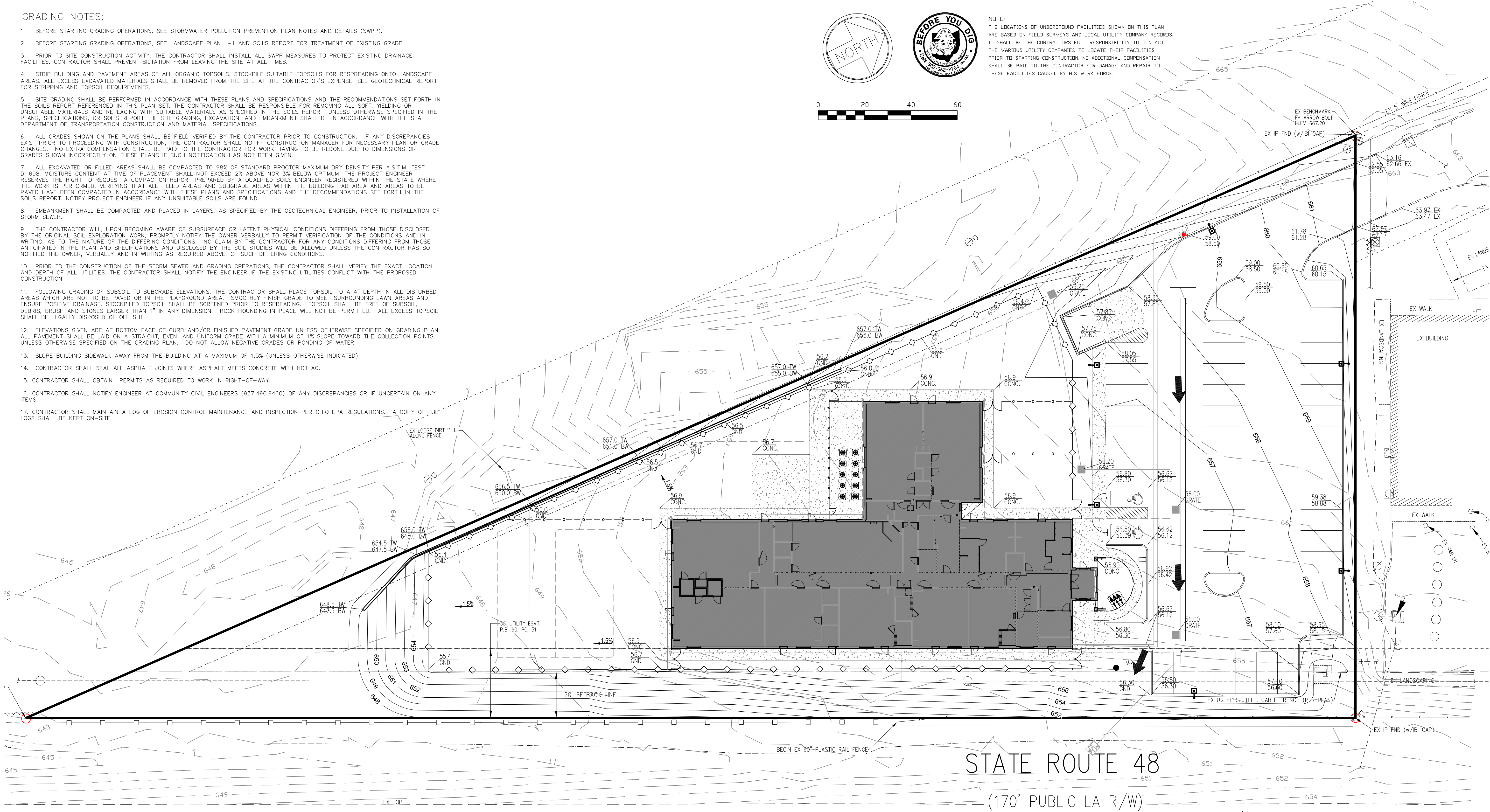


GRADING NOTES:

- BEFORE STARTING GRADING OPERATIONS, SEE STORMWATER POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPP).
- BEFORE STARTING GRADING OPERATIONS, SEE LANDSCAPE PLAN L-1 AND SOILS REPORT FOR TREATMENT OF EXISTING GRADE.
- PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.
- STRIP BUILDING AND PAVEMENT AREAS OF ALL ORGANIC TOPSOILS, STOCKPILE SUITABLE TOPSOILS FOR RESPREADING ONTO LANDSCAPE AREAS. ALL EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE. SEE GEOTECHNICAL REPORT FOR STRIPPING AND TOPSOIL REQUIREMENTS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR SOILS REPORT THE SITE GRADING, EXCAVATION, AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
- ALL GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER A.S.T.M. TEST D-698. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. THE PROJECT ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. NOTIFY PROJECT ENGINEER IF ANY UNSUITABLE SOILS ARE FOUND.
- EMBANKMENT SHALL BE COMPACTED AND PLACED IN LAYERS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, PRIOR TO INSTALLATION OF STORM SEWER.
- THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
- PRIOR TO THE CONSTRUCTION OF THE STORM SEWER AND GRADING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE EXISTING UTILITIES CONFLICT WITH THE PROPOSED CONSTRUCTION.
- FOLLOWING GRADING OF SUBSOIL TO SUBGRADE ELEVATIONS, THE CONTRACTOR SHALL PLACE TOPSOIL TO A 4" DEPTH IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED OR IN THE PLAYGROUND AREA. SMOOTHLY FINISH GRADE TO MEET SURROUNDING LAWN AREAS AND ENSURE POSITIVE DRAINAGE. STOCKPILED TOPSOIL SHALL BE SCREENED PRIOR TO RESPREADING. TOPSOIL SHALL BE FREE OF SUBSOIL, DEBRIS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION. ROCK HOUNDING IN PLACE WILL NOT BE PERMITTED. ALL EXCESS TOPSOIL SHALL BE LEGALLY DISPOSED OF OFF SITE.
- ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRAIGHT, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.
- SLOPE BUILDING SIDEWALK AWAY FROM THE BUILDING AT A MAXIMUM OF 1.5% (UNLESS OTHERWISE INDICATED)
- CONTRACTOR SHALL SEAL ALL ASPHALT JOINTS WHERE ASPHALT MEETS CONCRETE WITH HOT AC.
- CONTRACTOR SHALL OBTAIN PERMITS AS REQUIRED TO WORK IN RIGHT-OF-WAY.
- CONTRACTOR SHALL NOTIFY ENGINEER AT COMMUNITY CIVIL ENGINEERS (937.490.9460) OF ANY DISCREPANCIES OR IF UNCERTAIN ON ANY ITEMS.
- CONTRACTOR SHALL MAINTAIN A LOG OF EROSION CONTROL MAINTENANCE AND INSPECTION PER OHIO EPA REGULATIONS. A COPY OF THE LOGS SHALL BE KEPT ON-SITE.



NOTE:  
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

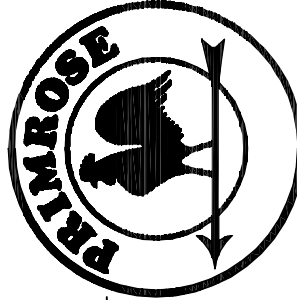


GRADING LEGEND:

- + 663.05 EXISTING GRADE
- 63.00 TOP OF CURB
- 62.50 PAVEMENT GRADE
- 61.00 SPOT GRADES ON PAVEMENT/CONC/EOP
- PVMT
- OVERLAND DRAINAGE FLOW DIRECTION
- 100 YEAR FLOOD ROUTING
- WORK LIMIT
- PVMT PAVEMENT
- CONC. CONCRETE
- HP HIGH POINT
- GND GROUND
- B/WALK BACK OF SIDEWALK
- B/C BACK OF CURB
- INV. INVERT
- TW TOP OF WALL
- BW BOTTOM OF WALL

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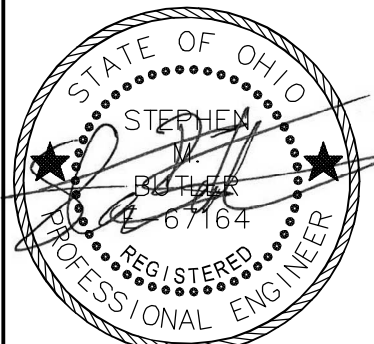


**PRIMROSE SCHOOLS**  
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**GRADING PLAN**  
**PRIMROSE SCHOOL**  
**OF SOUTH LEBANON**



DESIGN: DATE: 06/16/2017

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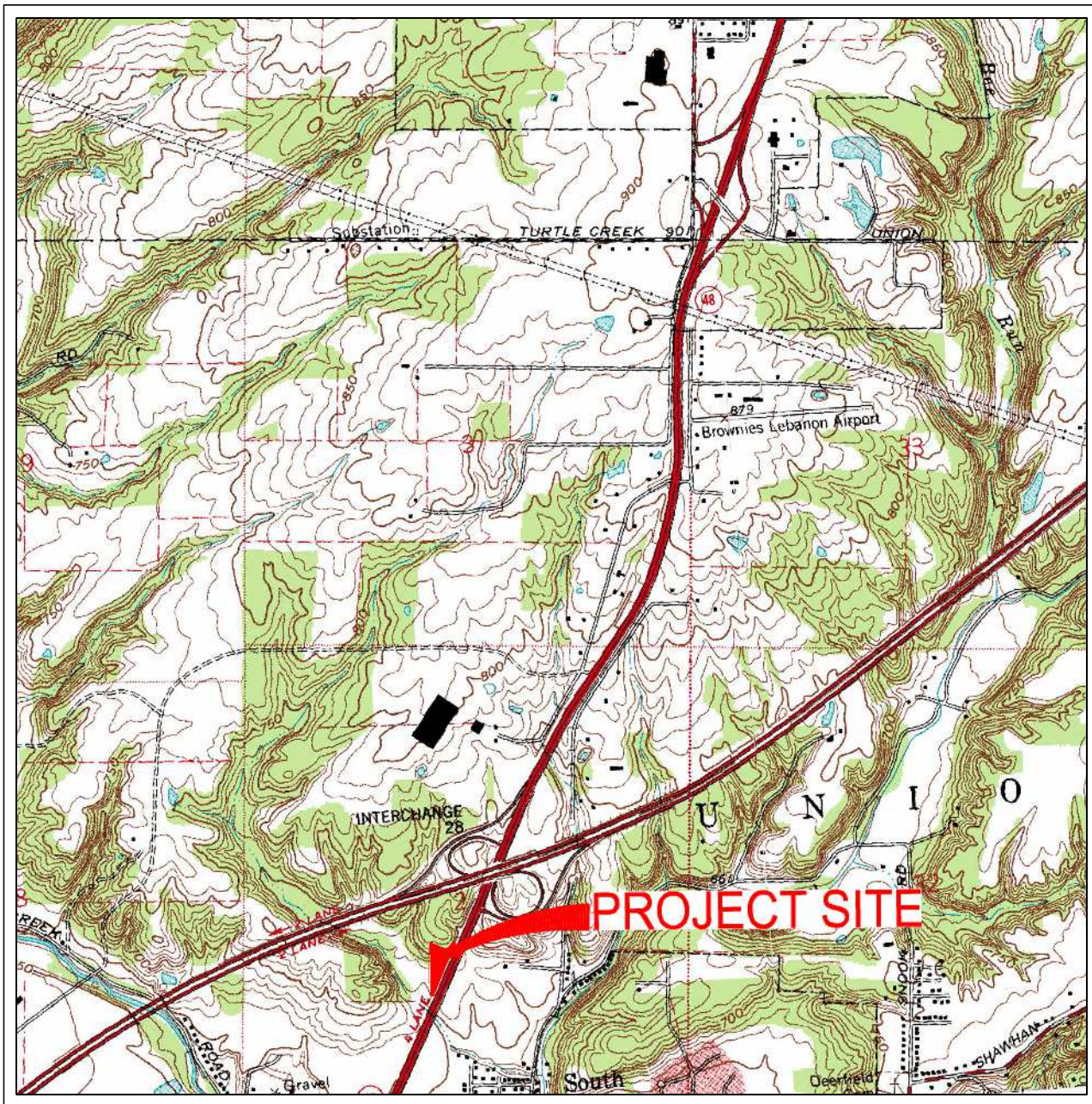
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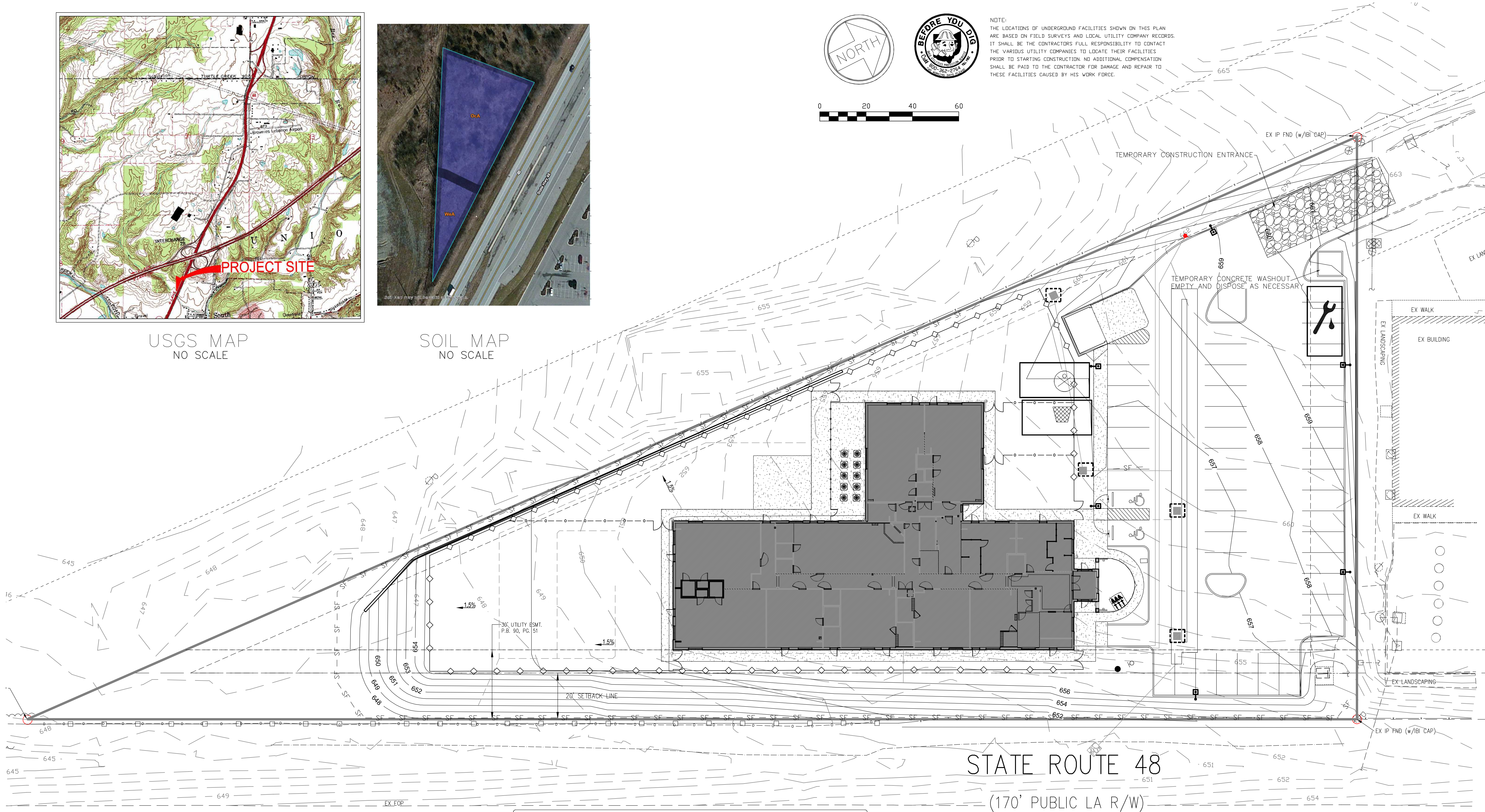
USGS MAP  
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SOIL MAP  
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NOTE:  
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STATE ROUTE 48

(170' PUBLIC LA R/W)

#### SITE DATA

##### 1.PROJECT DESCRIPTION:

CONSTRUCTION TO BE COVERED UNDER THIS PERMIT INCLUDES PAVING, EARTHWORK, STORM , BUILDING CONSTRUCTION & OTHER UTILITY SERVICES

2.TOTAL AREA: 1.65 AC +/-  
AREA WITHIN LIMITS OF CONSTRUCTION: 1.4+/- ACRES

3.RUNOFF COEFFICIENTS:  
PRE-CONSTRUCTION: C= 0.35  
POST CONSTRUCTION: C=0.63  
APPROX. 48% IMPERVIOUS (0.78 ACRES)

4.EXISTING SOILS ARE PREDOMINANTLY CLASSIFIED AS OCKLEY SILT LOAM (1.1 ACRES) 0 TO 2 PERCENT SLOPES. SOIL GROUP B & WEA SILT LOAM (WeA GROUP B

5.SCHEDULE: CONSTRUCTION IS EXPECTED TO COMMENCE ON OR ABOUT FALL OF 2017, WITH THE IMPLEMENTATION OF EROSION CONTROLS TO BE THE FIRST PHASE.

6.STORM WATER DISCHARGES TO A ON-SITE DETENTION BASIN ON THE NORTH SIDE OF THE BUILDING. THE DETENTION BASIN DISCHARGES INTO THE DITCH ALONG S.R. 48.

7. PREVIOUS USE  
THE SITE WAS PREVIOUSLEY UNUSED AND COVERED IN BRUSH AND SCRUB.

#### POST CONSTRUCTION WATER QUALITY

THE SITE DRAINAGE CONNECTS TO A DETENTION BASIN. THE SITE UTILIZES GRASSY SWALES FOR THE POST CONSTRUCTION WATER QUALITY BMP.

#### SWPPP NOTES:

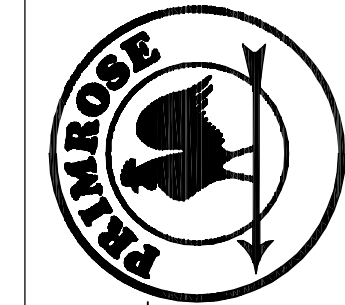
- SEE STORMWATER POLLUTION PREVENTION PLAN NOTES AND DETAILS (SWPPP) PRIOR TO SITE CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL INSTALL ALL SWPPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.
- KEEP MUD AND DEBRIS OFF SURROUNDING STREETS.
- MAINTAIN EROSION CONTROL LOG ONSITE PER OHIO EPA RULES.

#### SWPPP LEGEND

- SF SILT FENCE
- INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE
- FUELING AND MAINTENANCE AREA
- CONSTRUCTION SOLID WASTE DUMPSTER STAGING AREA
- USED OR UNUSED HAZARDOUS MATERIAL RECYCLING LOCATION

#### REVISIONS

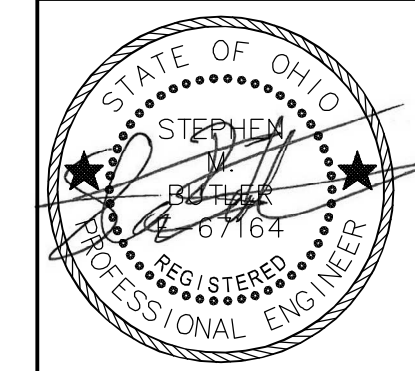
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PREPARED FOR:  
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**SWPPP**  
**PRIMROSE SCHOOL**  
**OF SOUTH LEBANON**  
719 CORMAN-NIXON BLVD  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3



DESIGN: DATE: 06/16/2017  
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- A Timing of Sediment--Trapping Practices  
Sediment control practices shall be functional throughout earth--disturbing activity.
- Settling facilities, perimeter controls, and other practices intended to trap sediment shall be implemented as the first step of grading and within seven (7) days from the start of earth disturbing activities. They shall continue to function until the upslope development area is restabilized.
- B Stabilization of Denuded Areas.  
Denuded areas shall have soil stabilization applied within seven days if they are to remain dormant for more than fourteen (14) days. Permanent or temporary soil stabilization shall be applied to denuded areas within seven (7) days after final grade is reached on any portion of the site, and shall also be applied within seven (7) days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than forty--five (45) days.
- C Settling Facilities.  
Concentrated stormwater runoff from denuded areas shall pass through a sediment--settling facility.
- The facility's storage capacity shall be sixty--seven (67) cubic yards per acre of drainage area.
- D Sediment Barriers  
Sheet flow runoff from denuded areas shall be filtered or diverted to a settling facility.
- Sediment barriers such as sediment fence or diversions to settling facilities shall protect adjacent properties and water resources from sediment transported by sheet flow.
- E Storm Sewer Inlet Protection.  
All storm sewer inlets which accept water runoff from the development area shall be protected so that sediment--laden water from soils that are not permanently stabilized will not enter the storm sewer system without first being filtered or otherwise treated to remove sediment, unless the storm sewer system drains to a settling facility.
- F Working In or Crossing Streams.
- 1 Streams including bed and banks shall be restabilized immediately after in--channel work is completed, interrupted, or stopped.
- To the extent practicable, construction vehicles shall be kept out of streams. Where in--channel work is necessary, precautions shall be taken to stabilize the work area during construction to minimize erosion.
- 2 If a live (wet) stream must be crossed by construction vehicles regularly during construction, a temporary stream crossing shall be provided.
- G Construction Access Routes.
- Measures shall be taken to prevent soil transport onto surfaces where runoff is not checked by sediment controls, or onto public roads.
- H Sloughing and dumping.
- 1 No soil, rock, debris, or any other material shall be dumped or placed into a water resource or into such proximity that it may readily slough, slip, or erode into a water resource unless such dumping or placing is authorized by the approving agency, and, when applicable, the U.S. Army Corps of Engineers, for such purposes as, but not limited to, construction bridges, culverts, and erosion control structures.
- 2 Unstable soils prone to slipping or landsliding shall not be graded, excavated, filled or have roads imposed upon them unless the work is done in accordance with a qualified professional engineer's recommendations to correct, eliminate, or adequately address the problems.
- I Cut and Fill Slopes.  
Cut and fill slopes shall be designed and constructed in a manner which will minimize erosion. Consideration shall be given to the length and steepness of the slope, soil type, upslope drainage area, groundwater conditions, and slope stabilization.
- J Stabilization of Outfalls and Channels.  
Outfalls and constructed or modified channels shall be designed and constructed to withstand the expected velocity of flow from a post--development, ten--year frequency storm or critical year storm whichever is greater without eroding.
- K Establishment of permanent Vegetation.  
A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized.
- Permanent vegetation shall not be considered established until ground cover is achieved which, in the opinion of the approving agency, provides adequate cover and is mature enough to control soil erosion satisfactorily and to survive adverse weather conditions.
- L Disposition of Temporary Practices.  
All temporary erosion and sediment control practices shall be disposed of within thirty (30) days after final site stabilization is achieved or after the temporary practices are no longer needed, unless otherwise authorized by the approving agency. Trapped sediment shall be permanently stabilized to prevent further erosion.
- M Maintenance.  
All temporary and permanent erosion and sediment control practices shall be designed and constructed to minimize maintenance requirements. They shall be maintained and repaired as needed to assure continued performance of their intended function. The person or entity responsible for the continued maintenance of permanent erosion controls shall be identified to the satisfaction of the approving agency.

## SEEDING SCHEDULE

STABILIZATION PRACTICE:	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING	A	o	/	/	/	/	/	o				
DORMANT SEEDING	B										B	
TEMPORARY SEEDING	A	o	/	/	/	/	o					
SOD	E	o	o	o	/	/	/	/	/	o		
MULCHING	F											
A =	KENTUCKY BLUEGRASS @ 90 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 30 LBS./ACRE PLUS 2 TONS OF STRAW MULCH/ACRE											
B =	KENTUCKY BLUEGRASS @ 135 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 45 LBS./ACRE PLUS 2 TONS/ACRE STRAW MULCH											
C =	SPRING OATS 100 LBS./ACRE											
D =	WHEAT OR RYE 150 LBS./ACRE											
E =	SOD											
F =	STRAW MULCH (2 TONS/ACRE)											
o /   / o	IRRIGATION NEEDED DURING JUNE AND JULY											
o o	IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD											

## INSPECTION SCHEDULE

**DIVERSION AND STRUCTURAL MEASURES** -- WILL BE INSPECTED AT SEVEN (7) DAY INTERVALS OR AFTER EVERY RAIN STORM PRODUCING RUNOFF.

**SEDIMENT AND PONDS** -- WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.

**VEGETATIVE PLANTING** -- SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.

**REPAIRS** -- ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN SEVEN (7) DAYS.

**MOWING** -- DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.

**FERTILIZATION** -- SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE INSPECTED AND FERTILIZED AS NECESSARY.

## SEDIMENT AND EROSION CONTROL FOR COMPLIANCE WITH OEPA'S INDIVIDUAL LOT PERMIT FOR CONSTRUCTION

### PRESERVING EXISTING VEGETATION

Whenever possible, preserve existing trees, shrubs and other vegetation.  
To prevent root damage, do not grade, place soil piles, or park vehicles near trees marked for preservation.

### STRAW BALE OR SILT FENCE

Put up before any other work is done.  
Install on downslope side(s) of site with ends extended up sideslopes a short distance.  
Place parallel to the contour of the land to allow water to pond behind fence.  
Entrench 6 inches deep (see back page).  
Stake (2 stakes per bale or 1 stake every 3 feet for silt fence).  
Leave no gaps between bales or sections of silt fence.  
Inspect and repair once a week and after every 1/2 inch rain.  
Remove sediment if deposits reach half the fence or straw bale height.  
Maintain until a lawn is established.

### SOIL PILES

Located away from any downslope street, driveway, stream, lake wetland, ditch or drainageway.  
Temporary seed such as annual rye is recommended for topsoil piles.  
Surround with straw bales or silt fence.

### GRAVEL DRIVE

Install a single access drive using 3 to 5 inch aggregate over a geotextile material.  
Lay gravel 6 inches deep and 10 feet wide from the foundation to the street.  
Use to prevent tracking dirt onto the road by all vehicles.  
Maintain throughout construction until driveway is paved.  
Park all construction vehicles on the street and off of the site.

### SEDIMENT CLEANUP

By the end of each work day, sweep or scrape up soil tracked onto the road.  
By the end of the next work day after a storm, clean up soil washed off--site, and check straw bales and silt fence for damage or sediment buildup.

### DOWNSPOUT EXTENDERS

Not required, but highly recommended.  
Install as soon as gutters and downspouts are completed.  
Route water to a grassed area.  
Maintain until a lawn is established.

### REVEGETATION

Disturbed soils shall be stabilized as quick as practicable with temporary vegetation an/or mulching to protect exposed critical areas during development.  
Temporary mulch is to be applied at the rate of 2--3 bales of straw per 1000 sq. ft.

### SEEDING AND MULCHING

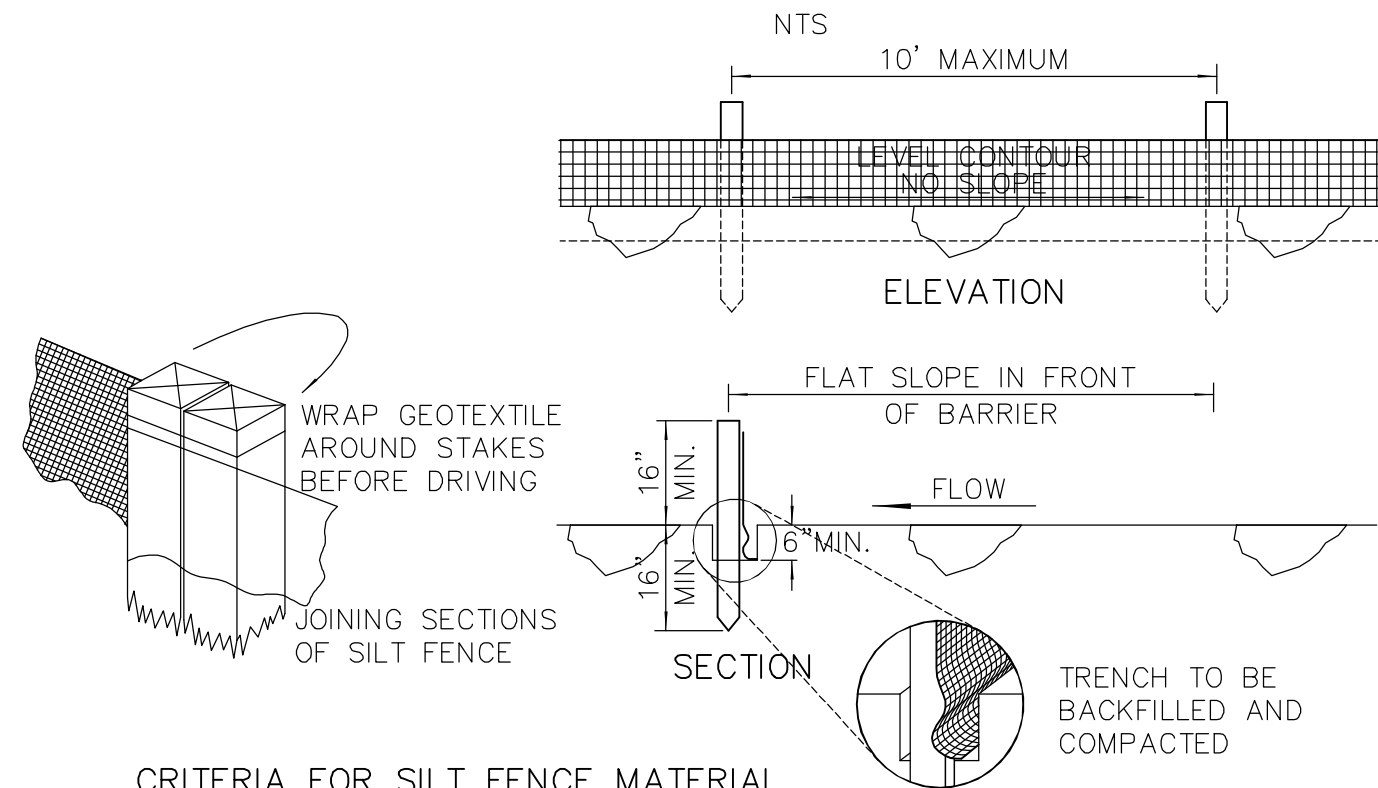
Spread 4 to 6 inches of topsoil.  
Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20--10--10 or 10--10--10 fertilizer).  
Seed with an appropriate mix for the site (see table).  
Rake lightly to cover seed with 1/4" of soil. Roll lightly.  
Mulch with straw (2--3 bales per 1000 sq. ft.) from March 15 to August 31.  
Anchor mulch by punching 2 inches into the soil with a dull, weighted disk or by using netting or other measures on steep slopes and windy areas.

### SODDING

Spread 4 to 6 inches of topsoil.  
Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20--10--10 or 10--10--10 fertilizer).  
Lightly water the soil.  
Lay sod. Tamp or roll lightly.  
On slopes, lay sod starting at the bottom and work toward the top. Peg each piece down in several places.  
Initial watering should wet soil 6 inches deep (or until water stands 1 inch deep in a straight--sided container). Then water lightly every day or two for 2 weeks.

If construction is completed after August 31, seeding or sodding may be delayed. Applying mulch or temporary seed (such as rye or winter wheat) is required from September 1 to March 15. Straw bales or silt fences must be maintained until final seeding is completed in spring March 15 -- May 31.

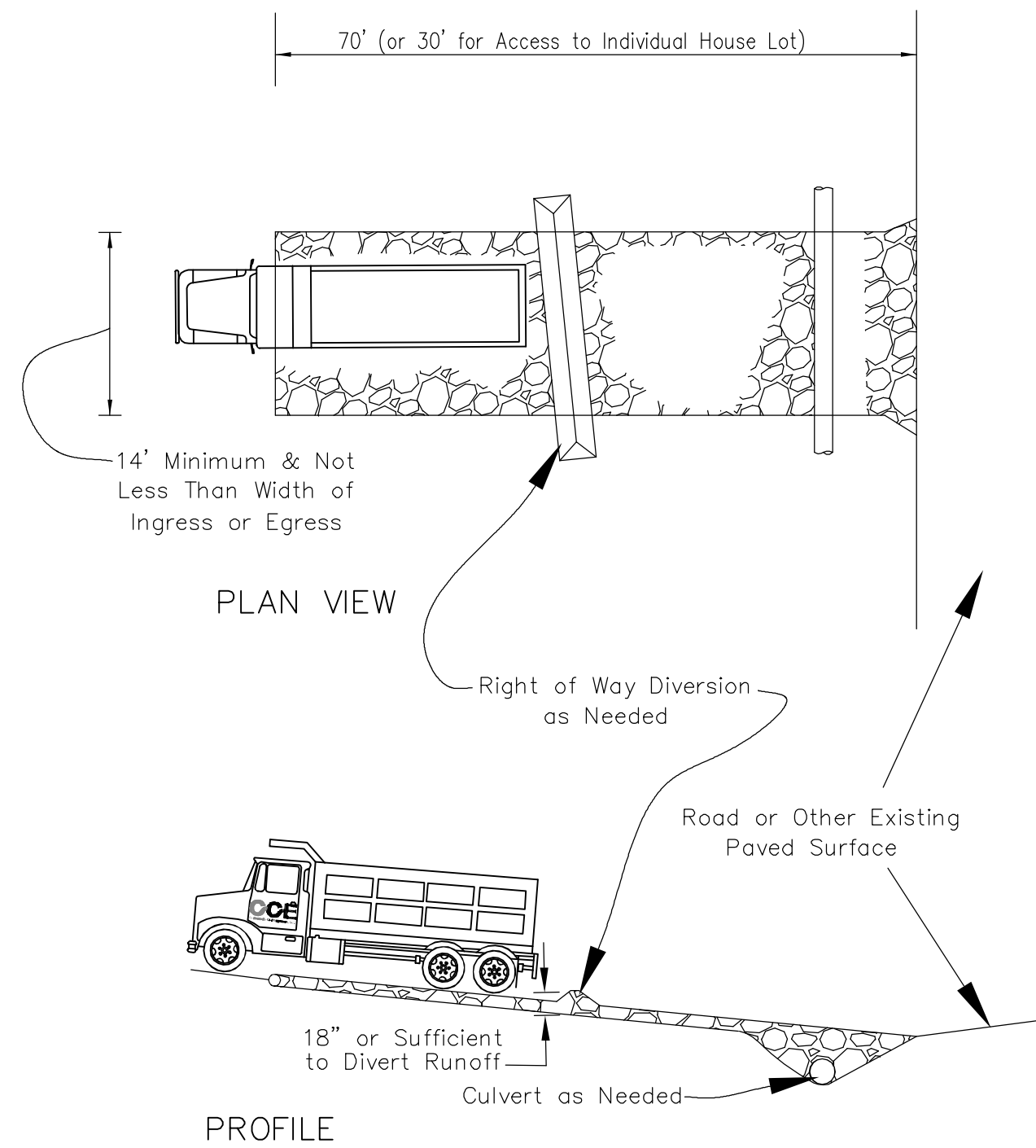
## CONSTRUCTION OF A FILTER BARRIER (SILT FENCE)



### CRITERIA FOR SILT FENCE MATERIAL

- FENCE POSTS -- THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2 BY 2--INCH HARDWOOD OF SOUND QUALITY. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FEET.
- SILT FENCE SHALL BE ODOT TYPE C GEOTEXTILE FABRIC OR AS DESCRIBED BY THE CHART BELOW;

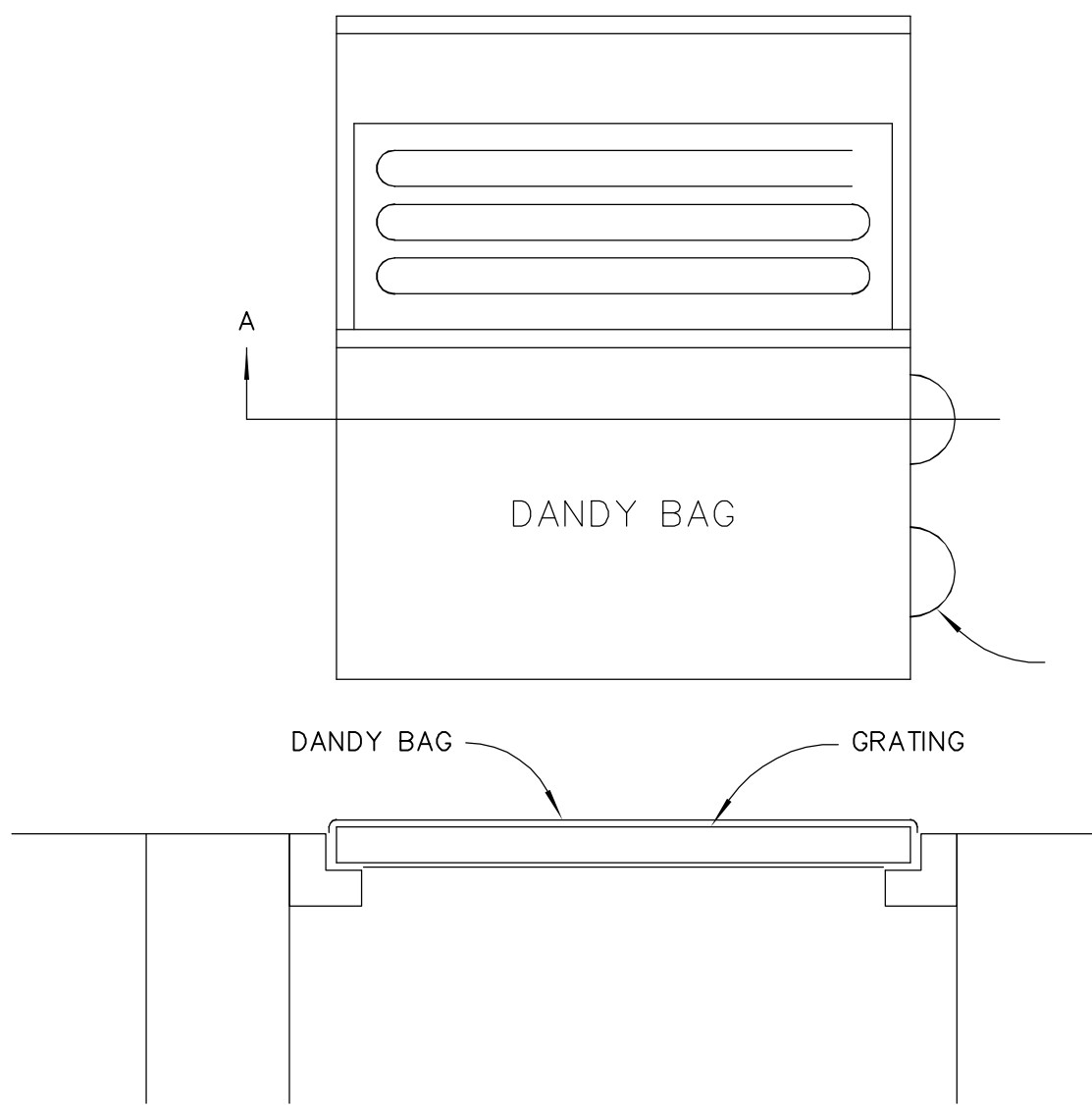
MINIMUM TENSILE STRENGTH.....	120 LBS.
MAXIMUM ELONGATION AT 60 LBS. ....	50%
MINIMUM PUNCTURE STRENGTH.....	50 LBS.
MINIMUM TEAR STRENGTH.....	40 LBS.
MINIMUM BURST STRENGTH.....	200 PSI
APPARENT OPENING SIZE.....	≤ 0.84 MM
MINIMUM PERMITTIVITY.....	1 X 10 SEC.
ULTRAVIOLET EXPOSURE STRENGTH RETENTION.....	70%



- STONE SIZE SHALL BE ODOT #2 (1.5--2.5 INCH)
- STONE LAYER SHALL BE 6" THINK FOR LIGHT DUTY OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
- GEOTEXTILE FABRIC SHALL BE LAID OVER ENTIRE AREA PRIOR TO PLACING STONE. FABRIC SHALL BE ROT PROOF AND HAVE A MINIMUM TENSILE STRENGTH OF 200LBS
- REFER TO "RAINWATER AND LAND DEVELOPMENT MANUAL" 2006 EDITION FOR ALL SPECIFICATIONS. VISIT "WWW.DNR.STATE.OH.US" FOR MANUAL

## TEMPORARY CONSTRUCTION ENTRANCE DETAIL

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FT. (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, CABLE LAYING MACHINE, OR OTHER SUITABLE DEVICE, WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6--INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
- SEAMS BETWEEN SECTION OF SILT SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
- MAINTENANCE -- SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.



### SECTION A--A

INSTALLATION : STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG WILL NOT FIT PROPERLY. HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE : AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

## DANDY BAG NTS

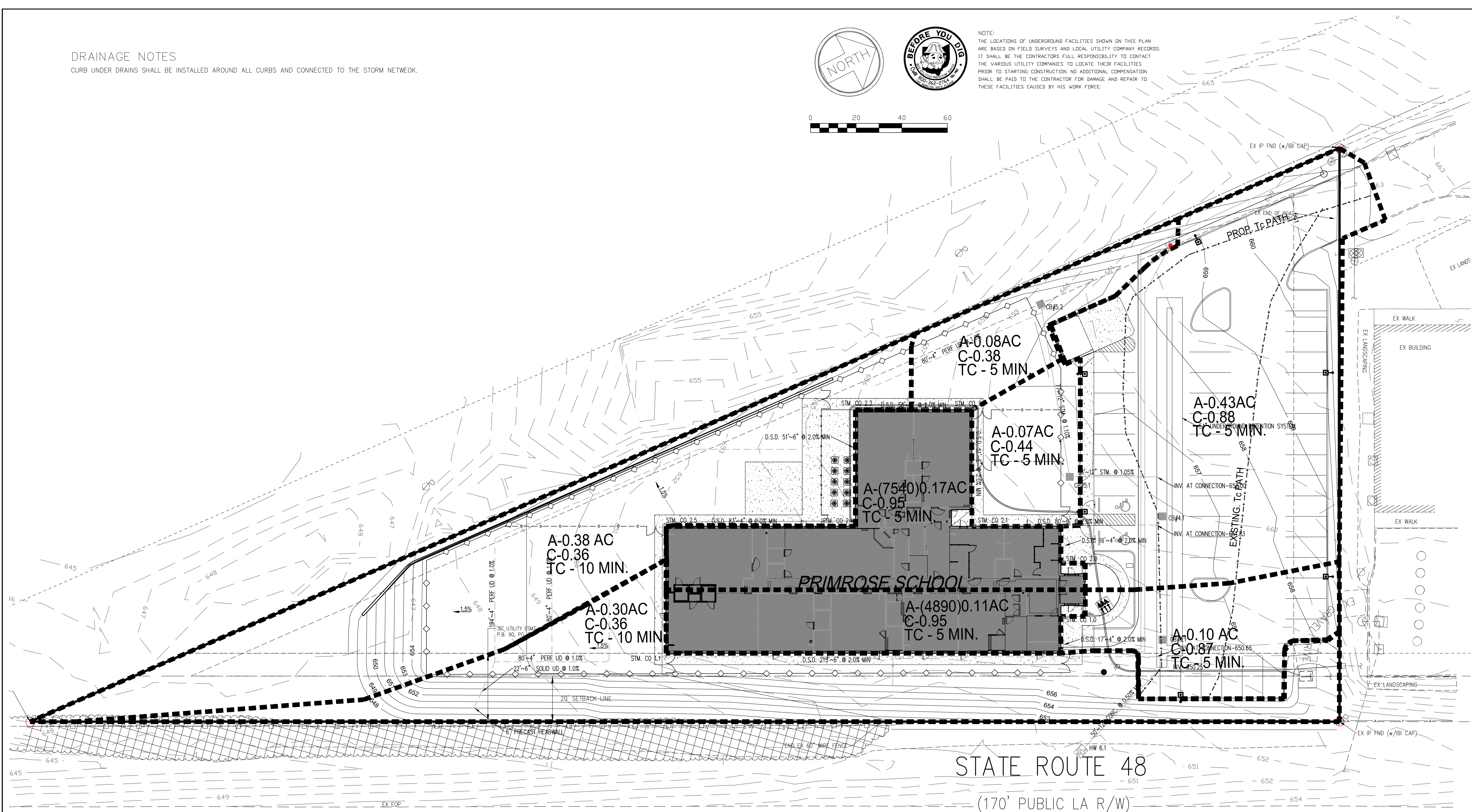
REVISIONS	6	5	4	3	2	1
PREPARED FOR:	PRIMROSE SCHOOLS					
DESIGN:	3660 CEDARCREST ROAD ACMORTH, GA 30101 TEL. 770.529.4100 FAX 770.874.0210					
DRAWN:	Community Civil Engineers, LLC 2440 DAYTON--XENIA ROAD, SUITE B BEAVERCREEK, OHIO 45434 TEL. 937.490.9460 FAX 937.428.9798					
CHECK:	SWPPP DETAILS					
JOB #:	PRIMROSE SCHOOL OF SOUTH LEBANON					
16--285	719 CORWIN--NIXON BLVD. VILLAGE OF SOUTH LEBANON WARREN COUNTY, OHIO 45065 SECTION 2, TOWN 4, RANGE 3					
DATE:	03/18/2016					
C8.0	STATE OF OHIO REGISTERED PROFESSIONAL ENGINEER STEPHEN J. BROWN No. 67164					



CURB UNDER DRAINS SHALL BE INSTALLED AROUND ALL CURBS AND CONNECTED TO THE STORM NETWORK.



NOTE:  
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN  
ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS.  
IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT  
THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES  
PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION  
SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO  
THESE FACILITIES CAUSED BY HIS WORK FORCE.



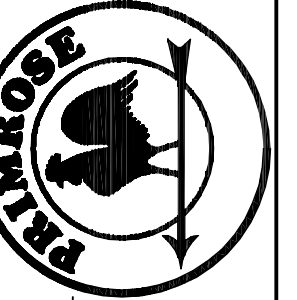
**PID :**                      **Date :**                      **Project :** Primrose South Lebanon                      **Location :** 719 Corwin Nixon Road  
**Description :** Storm Run 5                      **Designer :** Stephen Butler

<b>Rainfall Area:</b> D	<b>Just Full Capacity Frequency (yrs.):</b> 10	<b>Hydraulic Gradient Frequency (yrs.):</b> 100
<b>Minimum Pipe Size :</b> 12.00	<b>Tailwater Elevation (ft.):</b> 0.00	

JUNCTION		STATION	Δ AREA	Δ CA	BEGIN	RAINFALL	DISCHARGE		PIPE		F/L PIPE	MEAN	JUST FULL	FRICT	HYGR EL.	COVER	COVER	COVER	INLET TYPE		
From	To	From	Δ AREA (acres)	Δ CA (in.)	TIME (min.)	INTENSITY (in/hr.)	(10 yrs.) (100)	(10 yrs.) (100)	(cfs.) (100)	DIAM. (in.)	LENGTH (ft.)	SLOPE (ft./ft.)	VEL (fps.)	CAPACITY (cfs.)	SLOPE (ft./ft.)	IN / OUT	IN / OUT	MINUS HY GR	MINUS CROWN	MANNING'S 'n'	
52	51		0.08 0.08	0.03 0.03	10.00	5.39	8.08	0.2	0.2	12	77.0	0.0110	653.25 652.40	2.88	4.75	0.0000	653.41 653.01	656.25 656.20	2.84	2.00	CB 0.011
51	50		0.07 0.15	0.03 0.06	10.48	5.30	8.03	0.3	0.5	12	38.0	0.0105	652.40 652.00	3.26	4.65	0.0001	652.65 652.65	656.20 656.00	3.55	2.80	CB 0.011

REVISIONS

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3	
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PRIMROSE SCHOOLS  
3660 CEDARCREST ROAD

ACWORTH, GA 30101  
TEL. 770.529.4100  
FAX 770.874.0210

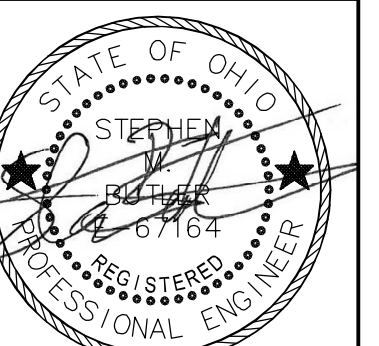
PREPARED FOR:



**Community Civil Engineers, LLC**  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45434  
TEL. 937.490.9460 FAX 937.426.9798

**DRAINAGE MAP**  
**PRIMROSE SCHOOL**  
**OF SOUTH LEBANON**  
719 CORWIN-NIXON BLVD.  
VILLAGE OF SOUTH LEBANON

719 CORWIN-NIXON BLVD.  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3



DESIGN:	DATE:
MB	06/16/2017

CHECK:	<b>C9.0</b>
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18 8:  
6-285







WATER		
1. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 4'-6".		
1.A. ALL WATER SERVICE LATERALS SHALL HAVE A MINIMUM COVER OF 42".		
2. ALL WATER MAINS SHALL BE DUCTILE IRON CONFORMING WITH AWWA SPEC. C-151 CLASS 52 IN SIZES 4"-16" AND PSI CLASS 350 FOR 20" AND ABOVE.		
3. COMPACT FITTINGS ARE PERMITTED.		
4. ALL WATER VALVES MUST OPEN LEFT. ALL VALVE BOX LIDS MUST BE CAST/STAMPED "WCWD" IN 1 1/2" LETTERS AND BE NEENAH NF-19130002 OR EQUAL. ALL VALVE EXTENSIONS TO HAVE SET SCREWS.		
5. A CONCRETE SLAB MUST BE PROVIDED AT FINAL GRADE AROUND ALL MAIN VALVE BOXES. THE SLABS MUST BE EIGHTEEN INCHES (18") SQUARE /CIRCLE AND NINE INCHES (9") THICK.		
6. WATER AND SEWER LINES SHALL HAVE A MINIMUM OF TEN FEET (10') HORIZONTAL SEPARATION AND/ OR TWO FEET (2') VERTICAL SEPARATION.		
7. NO GATE VALVE, METER PIT, BLOW OFF OR CORPORATION STOP SHALL BE LOCATED UNDER OR WITHIN THREE FEET (3') OF DRIVEWAYS, ROADWAYS OR SIDEWALKS.		
8. NO DRIVEWAY SHALL BE INSTALLED WITHIN FIVE FEET (5') OF A FIRE HYDRANT.		
9. A MINIMUM OF THREE FEET (3') IS REQUIRED BETWEEN CORPORATION STOPS. NO TAP SHALL BE MADE WITHIN THREE (3') OF A BELL.		
10. THE LOCATION OF WATER SERVICE LATERALS MUST BE STAMPED IN THE CURB AT THE TIME THE CURB IS PLACED TO PERMANENTLY INDICATE THE LOCATION OF SAID LATERALS.		
11. THE LOCATION OF ALL WATER SERVICE LATERALS MUST BE PROVIDED ON THE AS-BUILT PLANS.		
12. CONTRACTOR SHALL SUBMIT AS-BUILT PLANS OF SANITARY AND WATER LATERALS TO THE OWNER.		
13. ALL WATER MAINS CROSSING UNDER STORM DRAINS SHALL BE BACK-FILLED WITH GRANULAR MATERIAL, O.D.O.T. ITEM 310.02, BETWEEN MAINS AND DRAINS.		
APPROVED/REVISED JUNE, 2012	WARREN COUNTY STANDARD DETAILS DEPARTMENT OF WATER & SEWER	STANDARD NUMBER <b>WG-1</b>

WATER		
14. EACH SERVICE LATERAL MUST BE A CONTINUOUS PIECE OF PIPE FROM THE CORP STOP TO THE METER. COUPLINGS SHALL NOT BE ALLOWED. TYPE K COPPER SHALL BE USED FOR 3/4" AND 1" SERVICES. POLYETHYLENE 200 PSI (COPPER TUBE SIZE) MAY BE USED FOR 1 1/2" AND 2" SERVICES. TRACER WIRE MUST BE USED WITH POLY AND SDR 21.		
15. SERVICE LINES 1" AND LARGER MUST BE EITHER TYPE K COPPER, POLY 200 PSI (ASTM D-2737) OR SDR 21 (SLIP JOINT) (ASTM-2241). TRACER WIRE MUST BE TAPED EVENLY EVERY 3' ON POLY AND SDR 21 FROM THE METER PIT INTO THE STRUCTURE BEING SERVED (A 3' LEAD IS REQUIRED INSIDE THE PIT).		
16. 1 1/2" AND 2" SERVICE LINES FROM THE CORP STOP TO THE METER PIT MUST BE TYPE K COPPER OR POLYETHYLENE 200 PSI. POLY MUST HAVE A TRACER WIRE. SEE W-10A.		
17. FIRE HYDRANTS MUST BE PROVIDED AT THE ENTRANCE TO ALL SUBDIVISIONS AND AT ALL STREET INTERSECTIONS.		
18. YARD HYDRANT-MURDOCK BFHE-10 3/4", WITH BFH FEATURES AND VACUUM BREAKER PERMANENTLY ATTACHED TO OUTLET, WITH DOUBLE BALL CHECK VALVE ON DRAIN.		
19. A BACKFLOW PREVENTION DEVICE MUST BE INSTALLED ON ALL WATER SERVICE LATERALS BY THE PROPERTY OWNER IMMEDIATELY UPON ENTRY TO THE STRUCTURE TO BE SERVED, PRIOR TO ANY POINT OF CONNECTION OR USAGE. THE FOLLOWING DEVICES SHALL BE REQUIRED: i) FOR RESIDENTIAL DWELLING UNITS (3 FAMILY OR LESS), A DOUBLE CHECK VALVE COMPLYING WITH A.S.S.E. NO. 1024 MUST BE PROVIDED (WATTS REGULATOR COMPANY MODEL NO. 7 OR EQUAL). ii) FOR ALL OTHER USERS, A REDUCED PRESSURE PRINCIPAL PRESSURE REDUCING VALVE (TRIPLE CHECK VALVE) COMPLYING WITH A.S.S.E. NO. 1013 MUST BE PROVIDED (WATTS REGULATOR COMPANY MODEL NO. 909 OR EQUAL).		
20. SWAB PIPE WITH 50 PPM CHLORINE SOLUTION BEFORE INSTALLATION.		
21. ALL NEW WATER MAINS SHALL BE PRESSURE TESTED FOR 2 HOURS AT 1.5 TIMES THE OPERATING PRESSURE OR AT 150 PSI, WHICHEVER IS GREATER. ALLOWABLE LEAKAGE SHALL BE PER TABLE 6A OF AWWA C-600.		
22. DEDUCT METERS SHALL NOT BE ALLOWED.		
23. NO IRRIGATION CONNECTIONS SHALL BE ALLOWED IN THE METER PIT.		
24. BACK FLOW PREVENTER TO BE INSTALLED AHEAD OF ANY SPRINKLER BUT NOT IN METER PIT.		
25. ALL MATERIALS USED SHALL BE DOMESTIC, MADE IN THE UNITED STATES OF AMERICA		
APPROVED/REVISED MARCH, 2008	WARREN COUNTY STANDARD DETAILS DEPARTMENT OF WATER & SEWER	STANDARD NUMBER <b>WG-1A</b>

PROCEDURE FOR CONNECTION TO EXISTING WATER SYSTEM		
1. MUST NOTIFY WARREN COUNTY WATER DEPARTMENT THREE (3) DAYS IN ADVANCE OF ANY SHUT DOWN. WARREN COUNTY WILL ISSUE THE SHUT DOWN NOTIFICATION AND/OR BOIL ADVISORY TO AFFECTED CUSTOMERS PER OHIO EPA REQUIREMENTS IF DETERMINED NECESSARY BY WARREN COUNTY.		
2. EXPOSE EXISTING MAIN AT PROPOSED CONNECTION POINT. NO WET TAP SHALL BE MADE WITHIN THREE (3) FEET OF A BELL OR PIPE CONNECTION.		
3. COUNTY PERSONNEL TO OPERATE CLOSING OF APPROPRIATE VALVES TO ISOLATE LINE TO BE TAPPED.		
4. INSTALL PROPER TAPPING SLEEVE AND TAPPING VALVE. THE TAPPING SLEEVE AND VALVE SHALL BE TESTED AT 200 PSI FOR A PERIOD OF AT LEAST 5 MINUTES. THE PIPE SLUG MUST BE REMOVED AND INSPECTED BY COUNTY PERSONNEL.		
5. IF THE TAPPING SLEEVE AND VALVE WILL BE UNDER FUTURE PAVEMENT, THE BURIED VALVE MUST BE LEFT OPEN AND A NEW VALVE SET OUT OF PAVEMENT.		
6. FIELD CUT EXISTING MAIN AS NECESSARY TO ACCOMMODATE TEE AND CLOSE COUPLED VALVES AT EACH END OF TEE. CARE IS TO BE TAKEN SO AS NOT TO GET DIRT IN EXISTING MAIN.		
7. THOROUGHLY CLEAN AND DISINFECT PIPE AND APPURTENANCES TO BE INSTALLED.		
8. INSTALL TEE AND VALVES - DRESSER COUPLINGS CAN BE USED IF NECESSARY. PROPOSED MAIN VALVE IS TO BE CAPPED AND SHUT OFF. EXISTING MAIN IS THEN TO BE RETURNED TO SERVICE BY COUNTY PERSONNEL.		
9. CONSTRUCTION OF PROPOSED MAIN IS TO BE COMPLETED WITHIN A JOINT OF CONNECTION TO TEE AND VALVES INSTALLED ABOVE.		
10. ENTIRE LINE IS TO BE PRESSURE TESTED AND DISINFECTED TO COUNTY STANDARDS.		
11. ENTIRE LENGTH OF PIPE IS TO BE THOROUGHLY CLEANED AND DISINFECTED PRIOR TO INSTALLATION. PERMATEX CHLORINE TABLETS TO BE USED FOR DISINFECTION. DOSAGE SHALL BE PER MANUFACTURER'S SPECIFICATIONS BASED ON PIPE MATERIAL.		
12. NEW MAIN IS TO BE PUT INTO SERVICE BY COUNTY PERSONNEL.		
13. TAPPING SLEEVES/SADDLES TO BE TWO-PIECE CAST IRON. SIZE ON SIZE TAPPING SLEEVES ARE NOT PERMITTED.		
APPROVED/REVISED JUNE, 2012	WARREN COUNTY STANDARD DETAILS DEPARTMENT OF WATER & SEWER	STANDARD NUMBER <b>WG-2</b>

DETAILED PROCEDURES FOR SANITARY SEWER		
1. PROCEDURE FOR MAKING SEWER LATERAL CONNECTIONS TO EXISTING SEWER: A. IF ABS COMPOSITE - EXCAVATE TO POINT OF LATERAL ON MAIN; CLEAN EXISTING PIPE; ALIGN SADDLE TO PROPER POSITION AND MARK AREA TO BE CUT; CUT HOLE IN PIPE AS REQUIRED MAKING SURE THE CUT OUT DOESN'T ENTER THE MAIN; ATTACH AND SEAL SADDLE WITH STAINLESS STEEL STRAPS AND MASTIC SEALER BETWEEN SADDLE AND PIPE. INSERTA TEES ARE NOT PERMITTED. B. IF CLAY OR CONCRETE - EXCAVATE TO POINT OF LATERAL ON MAIN; PLUG OUTLET PIPE AT UPSTREAM MANHOLE - PUMP TO DOWNSTREAM MANHOLE IF NECESSARY; REMOVE CLOSEST LENGTH OF PIPE AND REPLACE WITH TEE LATERAL SECTION OF PIPE OR CORE EXISTING PIPE IN PLACE.		
2. PROCEDURE FOR MAKING SEWER EXTENSIONS FROM EXISTING MANHOLES: CONSTRUCT LINE TO WITHIN ONE JOINT OF EXISTING MANHOLE; AFTER LINE PASSES LEAKAGE TEST AND WARREN COUNTY SANITARY ENGINEER GIVES GO AHEAD - CONNECTION IS TO BE MADE; PLUG OUTLET PIPE AT UPSTREAM MANHOLE - PUMP TO DOWNSTREAM MANHOLE IF NECESSARY; A HOLE IS CUT AT THE PROPOSED INLET POINT AND THE LAST JOINT IS LAID; EXISTING BENCH AND CHANNEL OF MANHOLE IS REBUILT AND SHAPED AS REQUIRED; NEW CONNECTION IS TO BE SEALED AS REQUIRED.		
3. PROCEDURE FOR MAKING NEW MANHOLES ON EXISTING SEWER MAINS: EXCAVATE AND EXPOSE EXISTING SEWER AT POINT OF NEW MANHOLE; BUILD MANHOLE OVER EXISTING LINE WHILE NOT DISTURBING EXISTING LINE; BUILD NEW LINE(S) FROM NEW MANHOLE; AFTER NEW LINE(S) PASS(ES) LEAKAGE TEST AND WARREN COUNTY SANITARY ENGINEER GIVES GO AHEAD - PLUG OUTLET PIPE AT EXISTING UPSTREAM MANHOLE (PUMP TO EXISTING DOWNSTREAM MANHOLE IF NECESSARY); BREAKOUT TOP OF EXISTING SEWER AS REQUIRED AND FORM A BENCH AND CHANNEL AS REQUIRED.		
4. STORM WATER AND EXTRANEOUS FLOWS ARE PROHIBITED FROM ENTERING THE EXISTING SYSTEM DURING CONSTRUCTION. NO OPEN CUT TRENCHES WILL BE ALLOWED TO REMAIN OPEN OVERNIGHT. STORM DRAINS, DIVERSION DITCHES, PUMPS ETC., SHALL BE USED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE SYSTEM AT ALL TIMES.		
5. ALL SANITARY SEWER PIPE MUST BE BEDDED WITH NUMBER 57 STONE EXTENDING FROM A POINT NOT LESS THAN 6" BELOW THE BOTTOM OF THE PIPE TO THE SPRINGLINE OF THE PIPE. BACKFILL WITH NUMBER 9 GRITS FROM THE SPRINGLINE TO A POINT NOT LESS THAN 12" ABOVE THE CROWN OF THE PIPE. BEDDING SHALL PROVIDE A UNIFORM SUPPORT ALONG THE ENTIRE PIPE BARREL WITHOUT LOAD CONCENTRATION AT JOINT COLLARS OR BELLS. BEDDING DISTURBED BY PIPE MOVEMENT OR BY REMOVAL OF SHORING OR MOVEMENT OF THE TRENCH SHIELD OR BOX SHALL BE RECONSOLIDATED PRIOR TO BACKFILL.		
APPROVED/REVISED JUNE, 2012	WARREN COUNTY STANDARD DETAILS DEPARTMENT OF WATER & SEWER	STANDARD NUMBER <b>SG-1</b>

SEWER		
1. ALL SANITARY PIPE SHALL CONFORM TO ASTM D-2680 FOR ABS/PVC GASKETED COMPOSITE PIPE (TRUSS), ASTM D-3034 FOR SDR 26 GASKETED 4" - 15" DIAMETER OR ASTM F-679 FOR SDR 26 GASKETED 18" - 30" DIAMETER. PIPE LARGER THAN 18" SHALL CONFORM TO ASTM F-949 (A2000) OR ASTM F-1803. CERAMIC COATED CLASS 53 DUCTILE IRON PIPE OR EQUAL MUST BE USED WHERE SPECIFIED BY THE COUNTY SANITARY ENGINEER. JOINTS FOR PVC GRAVITY SEWER PIPE SHALL BE PUSH-ON TYPES WITH RUBBER GASKETS. PIPE ENDS SHALL NOT BE BEVELED. PIPE ENDS MUST BE SEALED.		
2. ROOF DRAINS, FOUNDATION DRAINS AND OTHER STORM WATER CONNECTIONS TO THE SANITARY SYSTEM ARE PROHIBITED.		
3. NO MANHOLE, OR ANY PORTION OF THE MANHOLE, SHALL BE LOCATED UNDER A SIDEWALK OR DRIVEWAY.		
4. SANITARY SEWER LATERALS SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS: A) ABS PIPE - ASTM D-2751 WITH SDR 23.5 (4" OR 6" GLUE JOINT) B) PVC PIPE - ASTM D-3034 WITH SDR 23.5 (4" OR 6" GLUE OR GASKET JOINT) ASTM D-2665 SCHEDULE 40 (4" ONLY). ASTM D-3034 WITH SDR 35 (6" ONLY) C) DUCTILE IRON - CLASS 53 (4" OR 6")		
5. ON THE WATER MAIN SIDE OF THE ROAD, SEWER LATERALS MUST BE EXTENDED TWENTY-THREE FEET (23') BEHIND CURB, ON THE SIDE OF THE ROAD OPPOSITE THE WATER MAIN. SEWER LATERALS MUST BE EXTENDED TO THE HOUSE SIDE OF UTILITY EASEMENTS AND SHALL BE MARKED BY TWO INCHES (2") BY FOUR INCHES (2" X 4") OR LARGER POSTS. POSTS SHALL BE PAINTED RED. A SIX FOOT (6') LENGTH OF #6 REINFORCED BAR SHALL BE INSTALLED AGAINST THE POST. END OF SEWER LATERAL SHALL NOT EXCEED 12' IN DEPTH UNLESS APPROVED BY THE COUNTY SANITARY ENGINEER.		
6. ONLY SANITARY WYES OR TEES WITH 45° BENDS SHALL BE USED FOR SANITARY LATERAL INSTALLATION. ALL WYES TO BE GLUE JOINTS ON TRUSS AND COMPOSITE PIPE. ALL SANITARY LATERALS MUST BE SIX INCHES (6") IN DIAMETER WITHIN THE RIGHT-OF-WAY AND MAY BE REDUCED TO FOUR INCHES (4") FROM THE RIGHT-OF-WAY TO THE STRUCTURE. NO CONNECTION SHALL BE MADE TO THE CROWN OF THE SEWER MAIN.		
7. FOR ALL STRUCTURES OTHER THAN DETACHED SINGLE FAMILY RESIDENTIAL UNITS, SEWER LATERALS MUST BE NOT LESS THAN SIX INCHES (6") INTERNAL DIAMETER. FOR DETACHED SINGLE-FAMILY RESIDENTIAL UNITS, SEWER LATERALS MUST BE SIX INCHES (6") IN DIAMETER WITHIN THE RIGHT-OF-WAY AND MAY BE REDUCED TO FOUR INCHES (4") FROM THE RIGHT-OF-WAY TO THE STRUCTURE.		
8. THE LOCATION OF SEWER LATERALS MUST BE STAMPED IN THE CURB AT THE TIME THE CURB IS PLACED TO PERMANENTLY INDICATE THE LOCATION OF SAID LATERALS.		
APPROVED/REVISED JUNE, 2012	WARREN COUNTY STANDARD DETAILS DEPARTMENT OF WATER & SEWER	STANDARD NUMBER <b>SG-2A</b>

# SEWER (CONTINUED)

9. THE LOCATION OF ALL SEWER LATERALS MUST BE PROVIDED ON THE AS-BUILT PLANS.
10. MANHOLE LATERALS SHALL HAVE AN INVERT TWO INCHES (2") ABOVE MAIN-LINE INVERT.
11. EXISTING MANHOLE CASTINGS ARE TO BE RAISED BY EITHER A MANHOLE ADJUSTING RING OR A BARREL SECTION ADDED. IF THE HEIGHT OF NECESSARY ADJUSTMENT IS OVER ONE FOOT (1') OR THERE IS ALREADY AN EXISTING ADJUSTMENT RING BEING USED, THE CONTRACTOR IS TO USE A NEW BARREL SECTION ONLY. EXTRA CARE IS TO BE TAKEN TO INSURE A PROPER AND TIGHT SEAL AT ALL NEW JOINTS.
12. THE CONTRACTOR MUST EITHER CONSTRUCT BULK HEAD(S) OR INSTALL MECHANICAL PLUG(S) AT THE POINT(S) OF CONNECTION TO THE EXISTING SEWER PRIOR TO INITIATING ANY CONSTRUCTION. THE BULK HEAD(S) OR MECHANICAL PLUG(S) SHALL REMAIN IN PLACE UNTIL THE NEW MAINS HAVE BEEN FLUSHED, CLEANED, TESTED, TELEVIEWED AND APPROVED FOR USE BY WARREN COUNTY. THE BULK HEAD(S) OR MECHANICAL PLUG(S) CAN ONLY BE REMOVED IN THE PRESENCE OF A WARREN COUNTY SEWER INSPECTOR.
13. TRENCH SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR MUST INSURE THAT ALL APPLICABLE OSHA OPEN TRENCH SAFETY REQUIREMENTS ARE FOLLOWED. IT IS NOT WARREN COUNTY'S RESPONSIBILITY TO INSPECT EACH SITE FOR COMPLIANCE.
14. HDPE PIPE MAY BE USED FOR DIRECTIONAL BORING OF FORCE MAINS WITH APPROVAL FROM THE COUNTY SANITARY ENGINEER. ALL DIRECTIONAL DRILLING SHOULD BE ACCOMPANIED BY DRILLING LOGS AT 25' STATION INCREMENTS. PVC PIPE SHALL BE PERMITTED FOR FORCE MAINS SIX INCHES (6") OR SMALLER IN DIAMETER. FORCE MAINS EIGHT INCHES (8") OR LARGER MUST BE CLASS 53 DUCTILE IRON WITH AN INTERIOR LINING OF EPOXY OR CERAMIC. PVC SHALL CONFORM TO AWWA C900 REQUIREMENTS AND HAVE AN EQUIVALENT OUTSIDE DIAMETER OF DR 14.
15. MINIMUM SLOPE SHALL BE AS FOLLOWS:
 

PIPE SIZE	MINIMUM SLOPE (%)
8"	.50
10"	.35
12"	.28
15"	.19
18"	.15
16. ALL MATERIALS USED SHALL BE DOMESTIC, MADE IN THE UNITED STATES OF AMERICA.

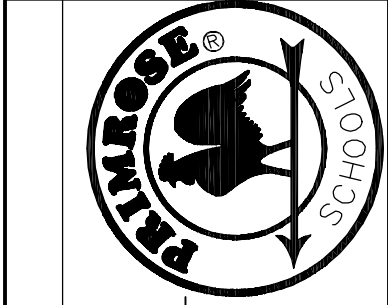
APPROVED/REVISED

JUNE, 2012

WARREN COUNTY STANDARD DETAILS  
DEPARTMENT OF WATER & SEWER

STANDARD NUMBER

**SG-2B**



3660 CEDARCREST ROAD  
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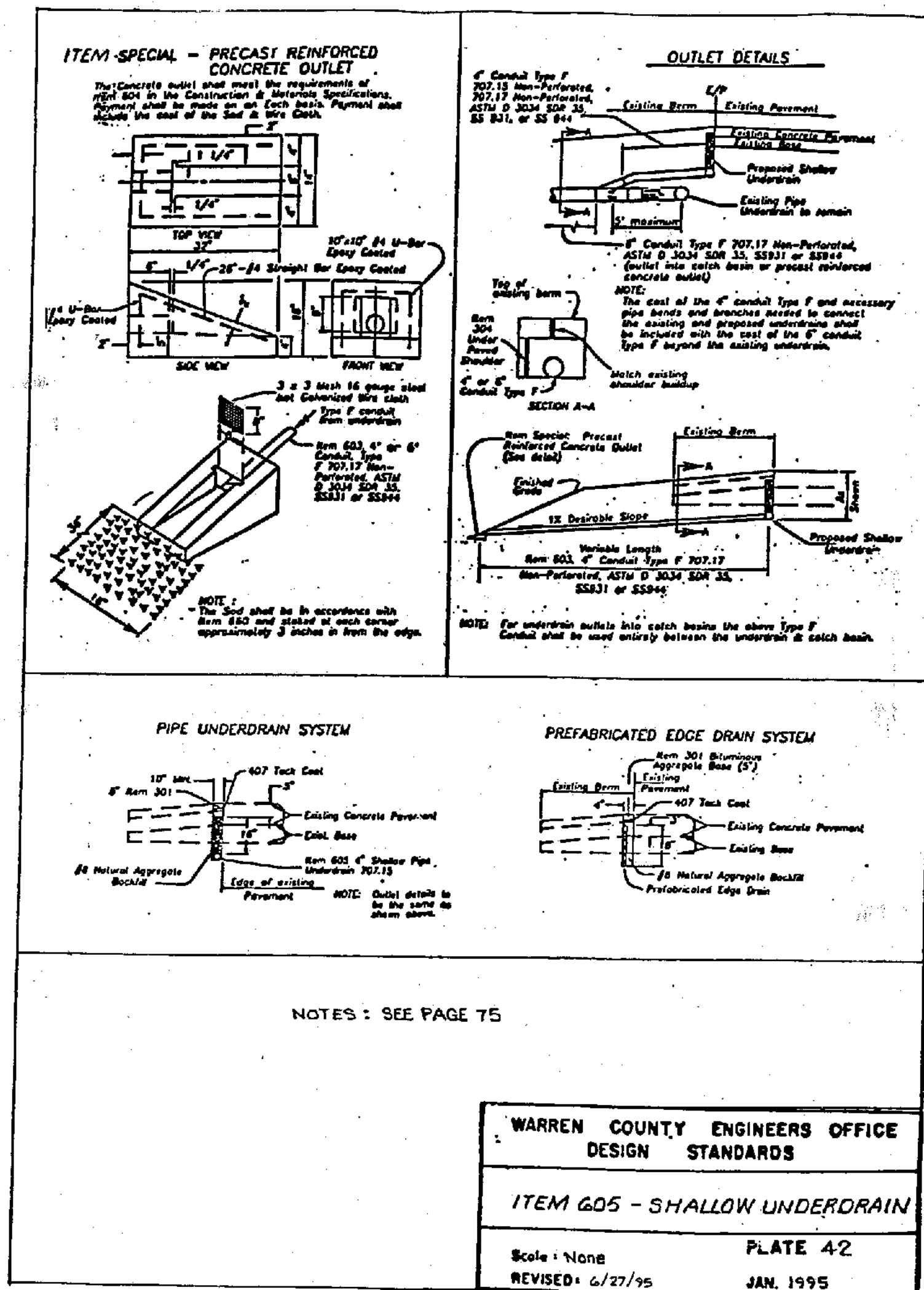
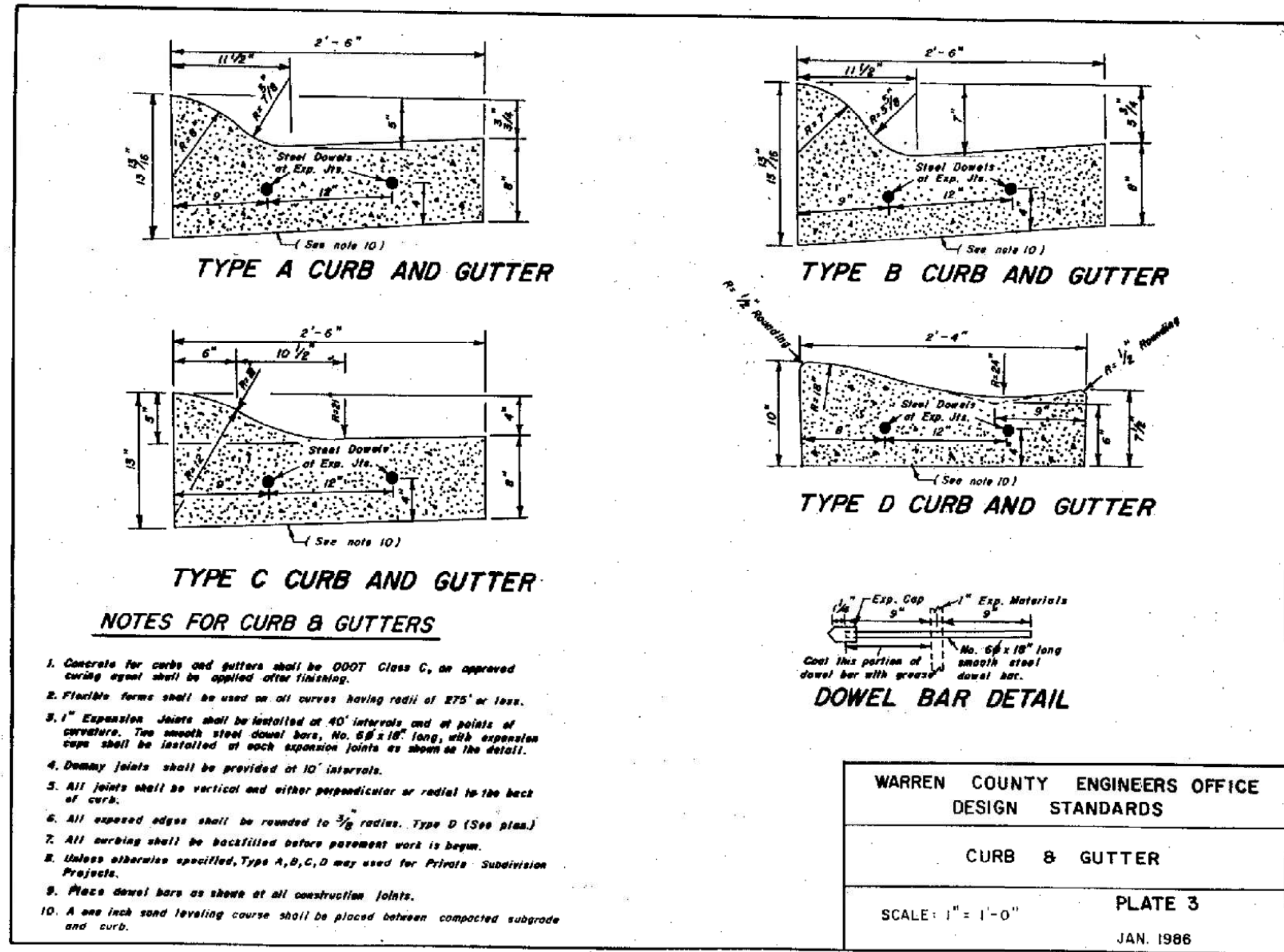
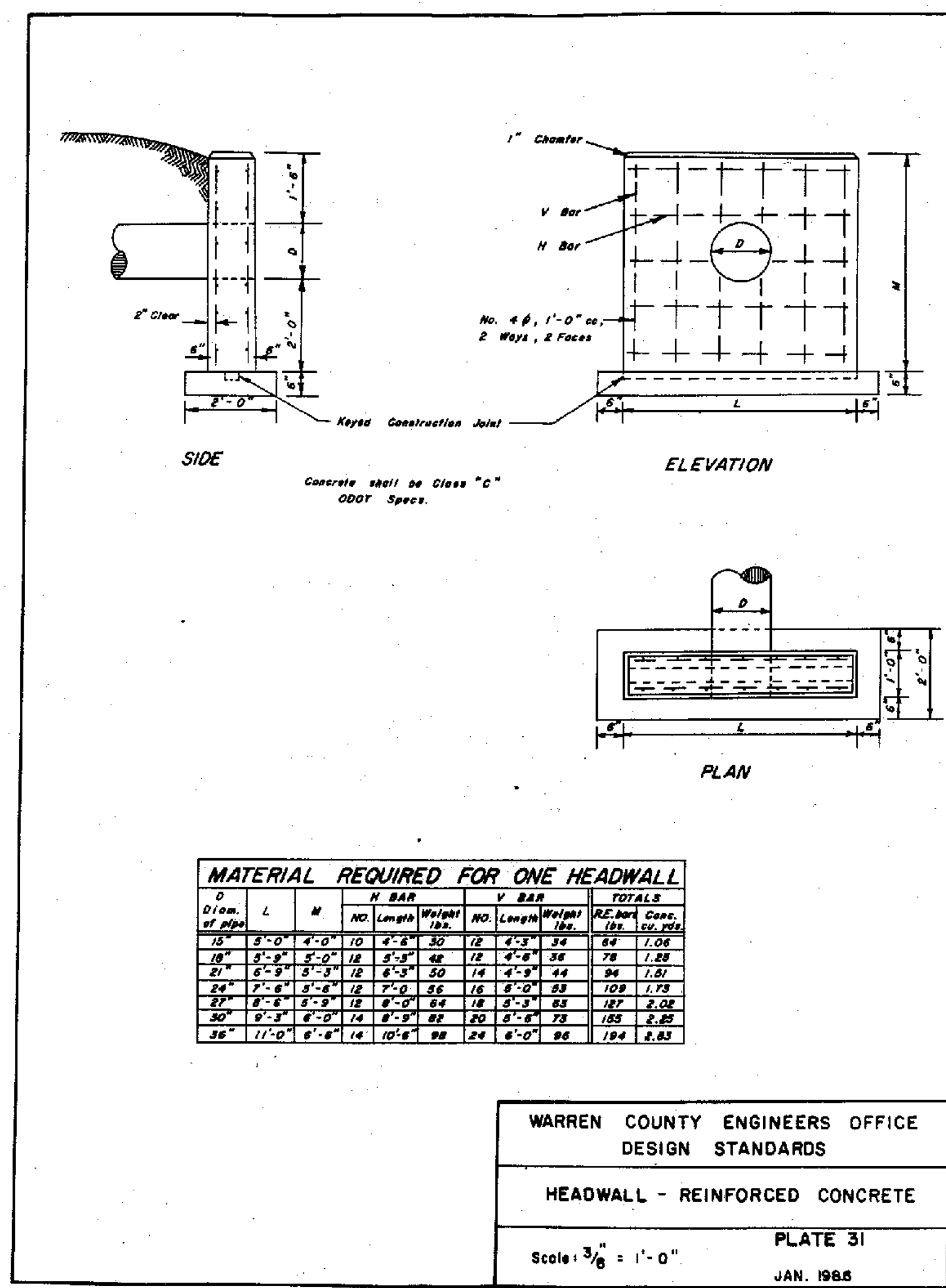
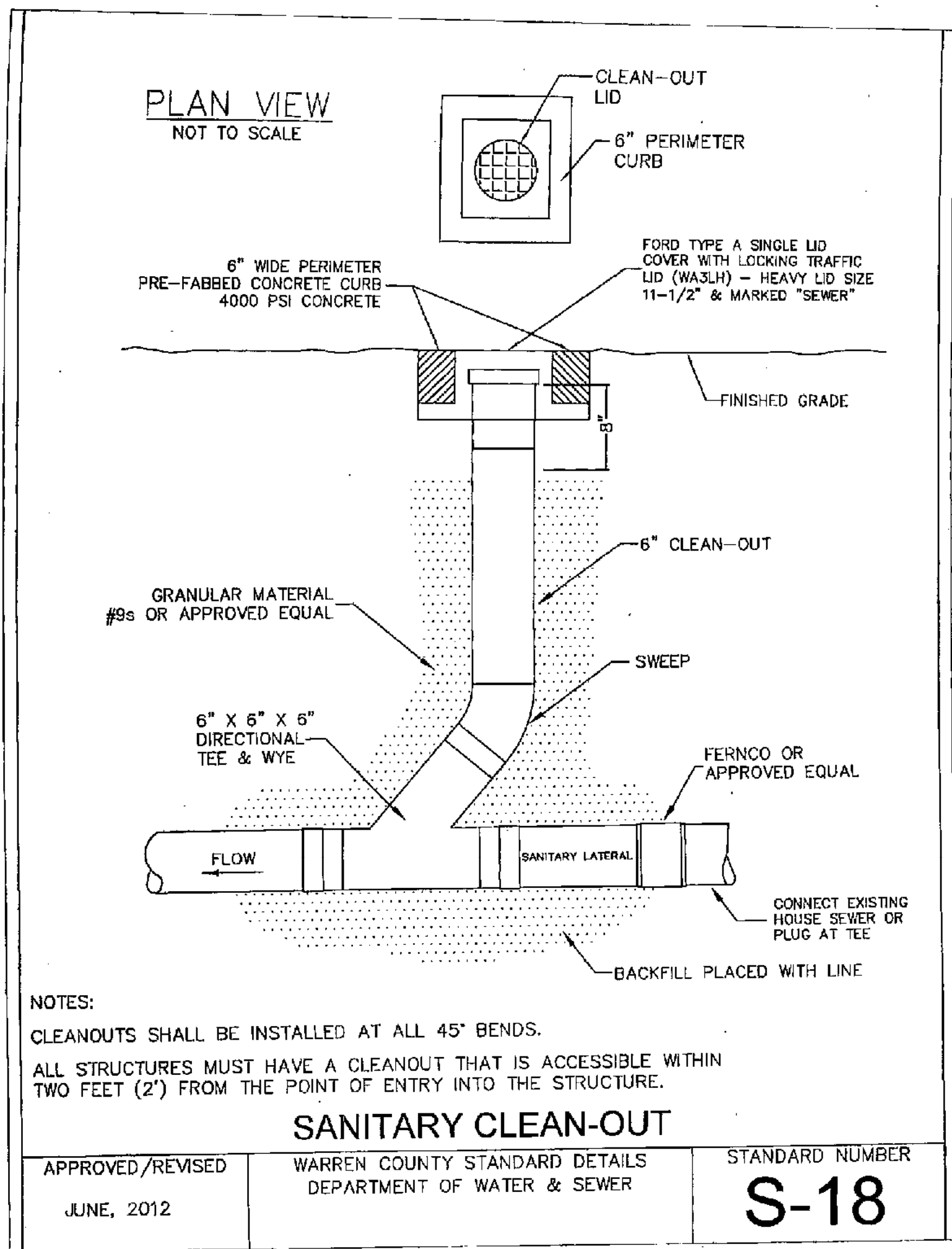
**Community Civil Engineers, LLC**  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45424  
TEL. 937.490.9460 FAX 937.426.9798

**VILLAGE STANDARD NOTES**  
**PRIMROSE SCHOOL**  
**OF SOUTH LEBANON**  
779 CORWIN-AVONTO BLVD.  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3

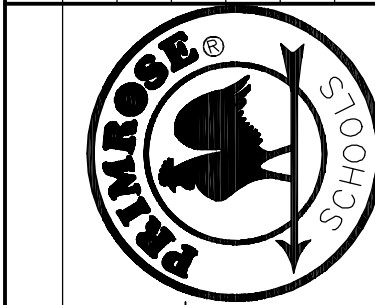
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JOB #: 16-285

**C11.0**





REVISIONS



**PRIMROSE SCHOOLS**  
3660 CEDARCREST ROAD  
ACWORTH, GA 30101  
TEL: 770.529.4100  
FAX: 770.874.0210

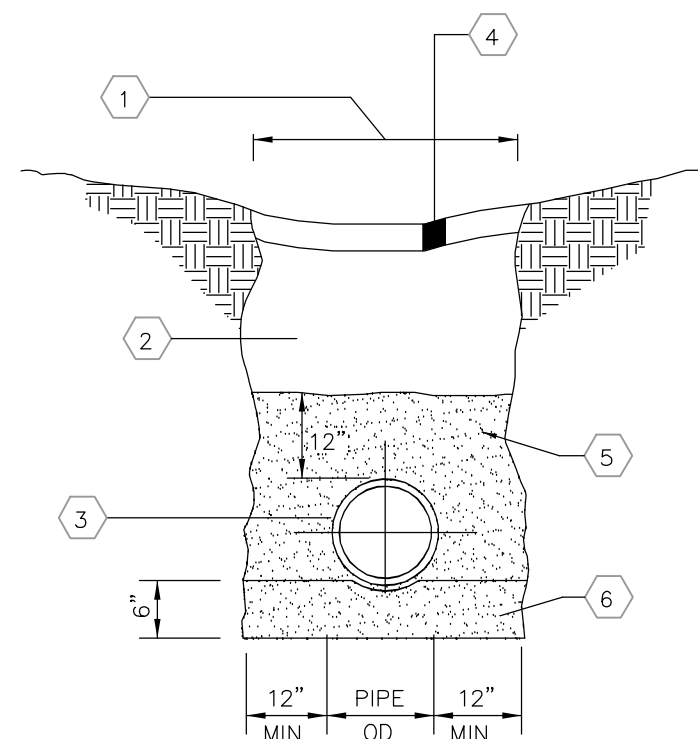
**Community Civil Engineers, LLC**  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45424  
TEL: 937.490.9460 FAX: 937.426.9798

**VILLAGE STANDARD NOTES**  
**PRIMROSE SCHOOL  
OF SOUTH LEBANON**  
719 CORVINE-NORTH BLVD.  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3

DESIGN: DATE: 06/16/2017  
DRAWN: KCE  
CHECK: SMG  
JOB #: 16-285

**C11.1**





- HEAVY DUTY ASPHALT PAVEMENT SECTION  
NTS  
(THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)  
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY

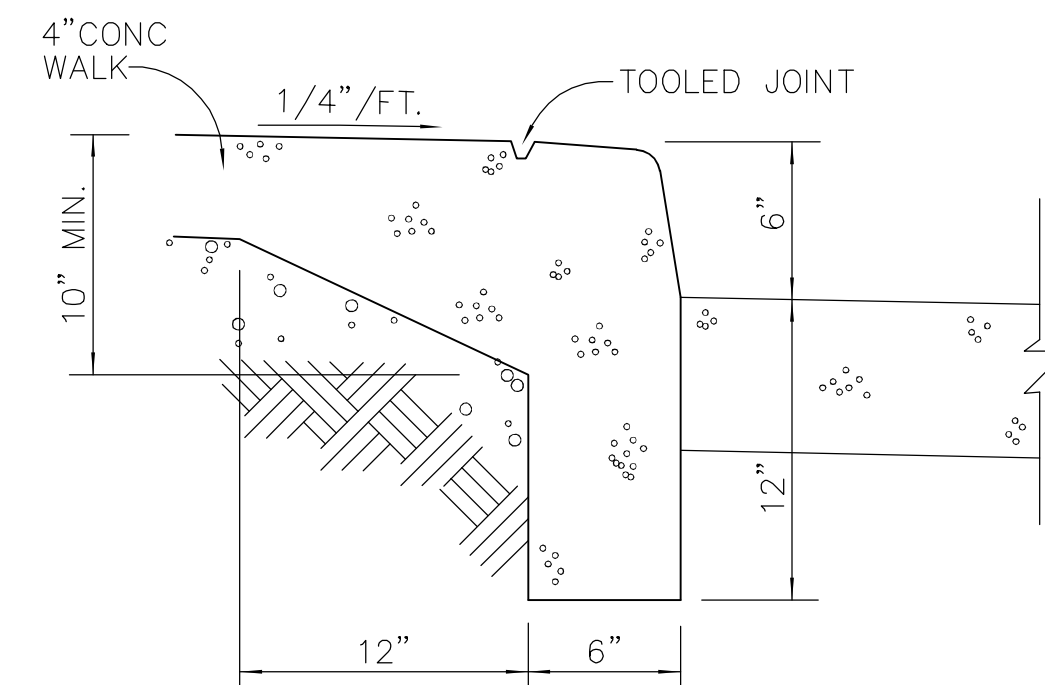


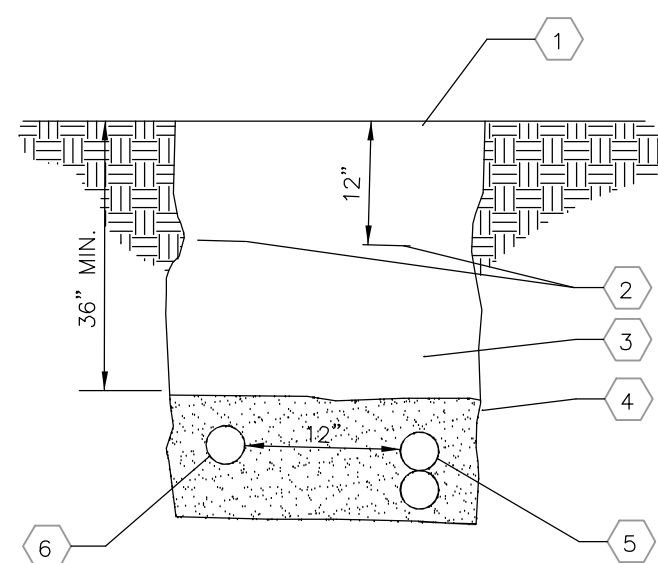
Diagram illustrating the construction details of a concrete slab and asphalt base:

- 8" CONC SLAB:** The top layer of concrete, shown with a minimum thickness of 10" MIN.
- #42 WOVEN-WIRE MESH:** A reinforcement layer embedded within the concrete slab.
- ASPHALT:** The base layer beneath the concrete slab, shown with a full depth.
- Dimensions:** The concrete slab is 12" wide, and the asphalt base is 6" wide.
- Full Depth Asphalt at:** Indicated at the bottom right corner of the asphalt base.

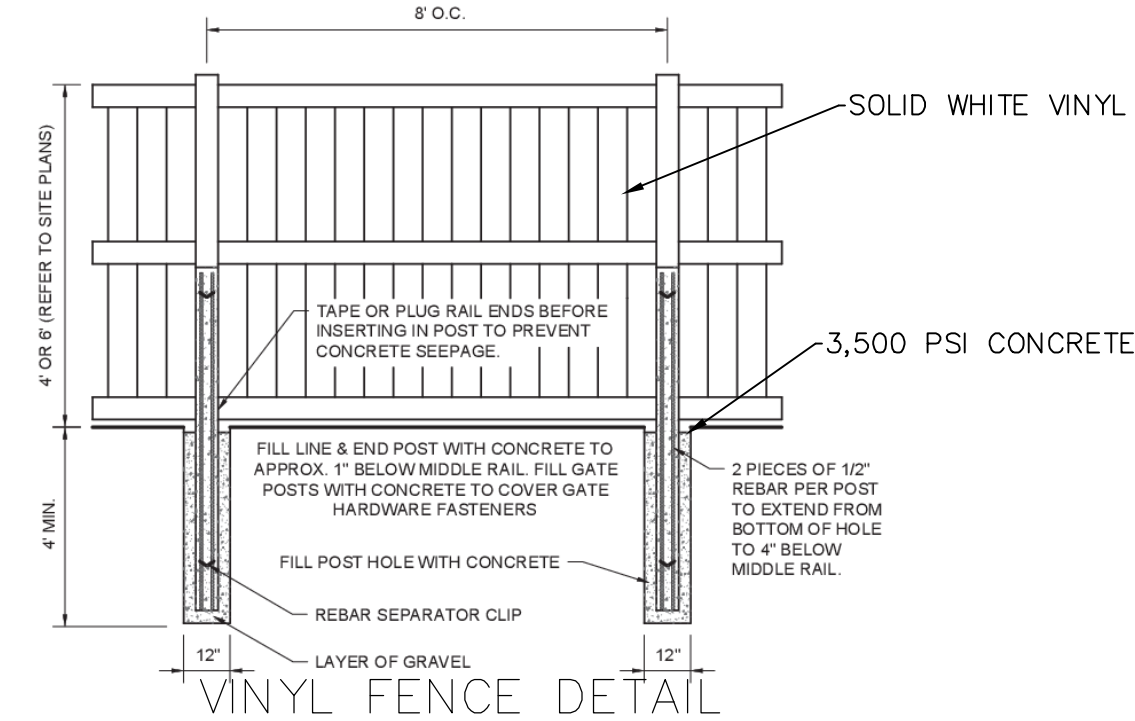
Diagram illustrating the construction of a concrete curb. The curb is shown in cross-section, with a top surface labeled "FINISHED TO A RADIUS OF 3/8\"". The curb is composed of segments separated by "1/4\" EXPANSION JOINTS". The maximum spacing between these joints is indicated as "100' MAX SPACING". A dimension of "5'" is shown for the width of the curb. The curb is shown adjacent to a "CURB" and a "1/4\" EXPANSION JOINT" is also indicated at the bottom right.

## KEYED NOTES

- 1 TOPSOIL & **SEED**, OR PAVEMENT AS  
DETAINED ELSEWHERE.
- 2 CONTINUOUS METALLIC WARNING TAPE
- 3 CLEAN SELECT GRANULAR BACKFILL
- 4 6" CLEAN SAND ENVELOPE
- 5 4" PVC ELECTRICAL CONDUITS  
(SCHEDULE 40), QUANTITY AS REQUIRED
- 6 4" PVC TELEPHONE  
CONDUIT (SCHEDULE 40), QUANTITY  
AS REQUIRED

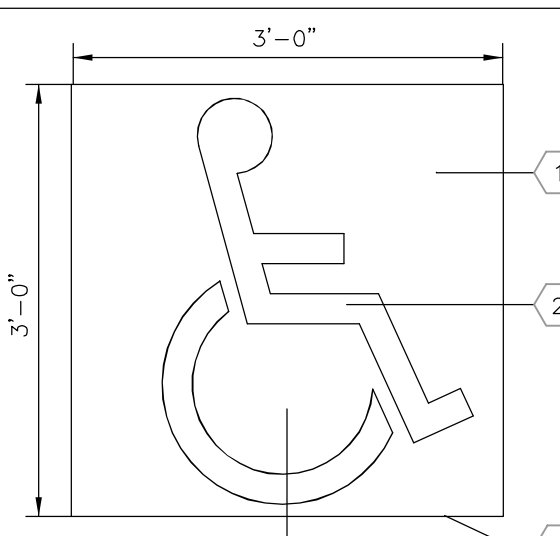


- (THE CONTRACTOR SHALL REFER TO THE PAVEMENT SECTION NOTED IN THE GEOTECHNICAL REPORT.)  
THE SECTION SHOWN IS FOR BIDDING PURPOSES ONLY



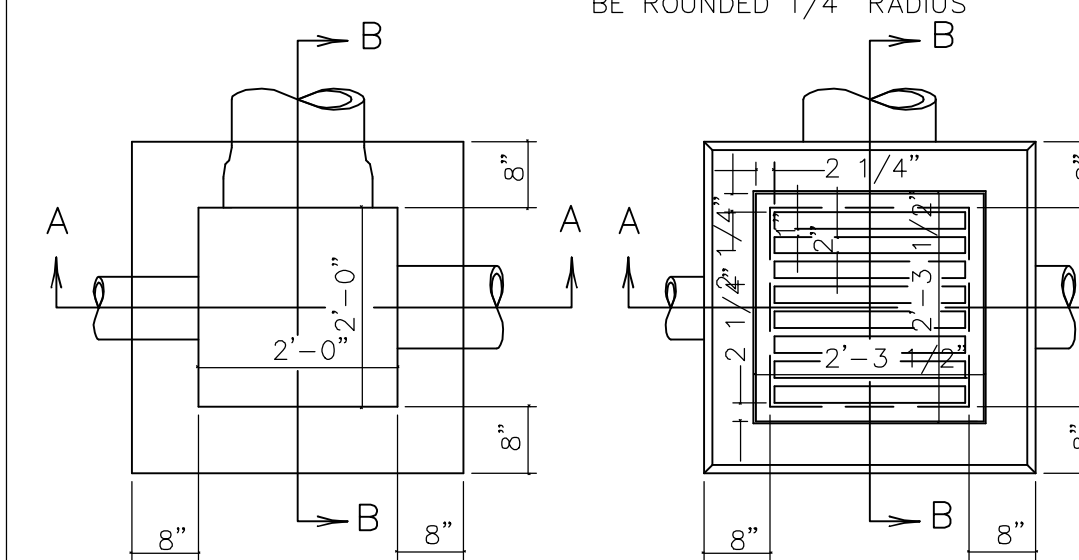
### KEYED NOTES

- 1 PAINT BACKGROUND BENJAMIN MOORE M58 SAFETY & ZONE MARKING LATEX M58-30 - BLUE
- 2 PAINT SYMBOL BENJAMIN MOORE M58 SAFETY & ZONE MARKING LATEX M58-01 - WHITE
- 3 BOTTOM EDGE OF SYMBOL BOX SHALL MATCH END OF STALL STRIPE AT DRIVE AISLE END OF STALL.



SECTION B-B

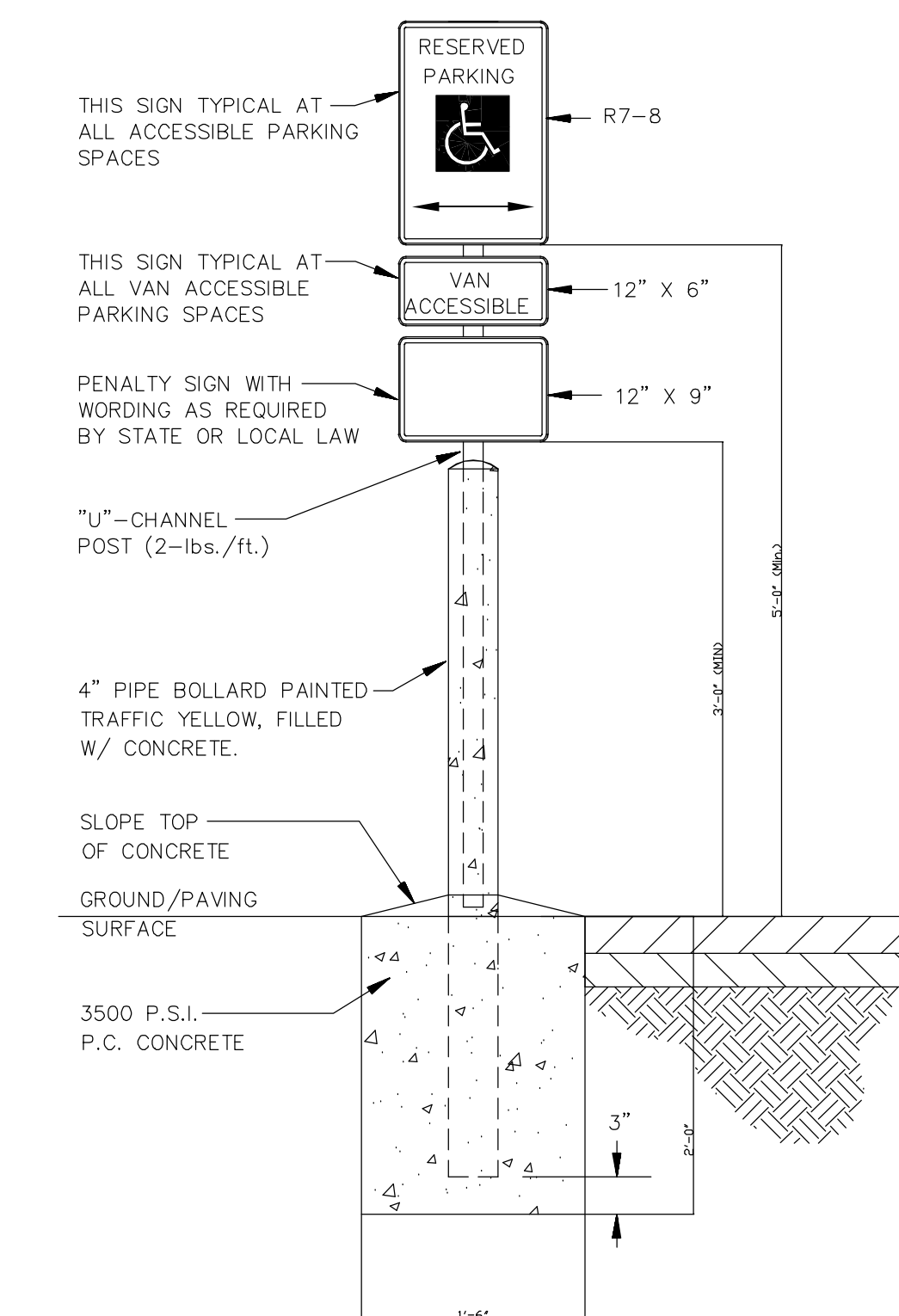
NOTE;  
GRATE SHALL BE BICYCLE SAFE



## PLAN

SECTION THROUGH  
ANGLE FRAME

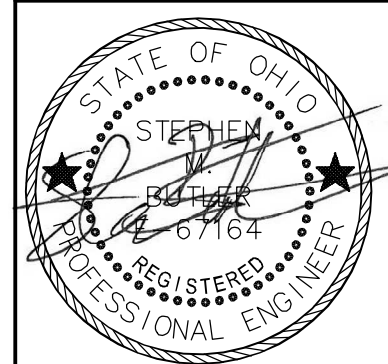
SECTION THROUGH  
ANGLE FRAME



N.T.S.

**CEE**  
Community Civil Engineers, LLC  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45434  
TEL. 937.490.9460 FAX 937.426.9798

## SITE DETAILS



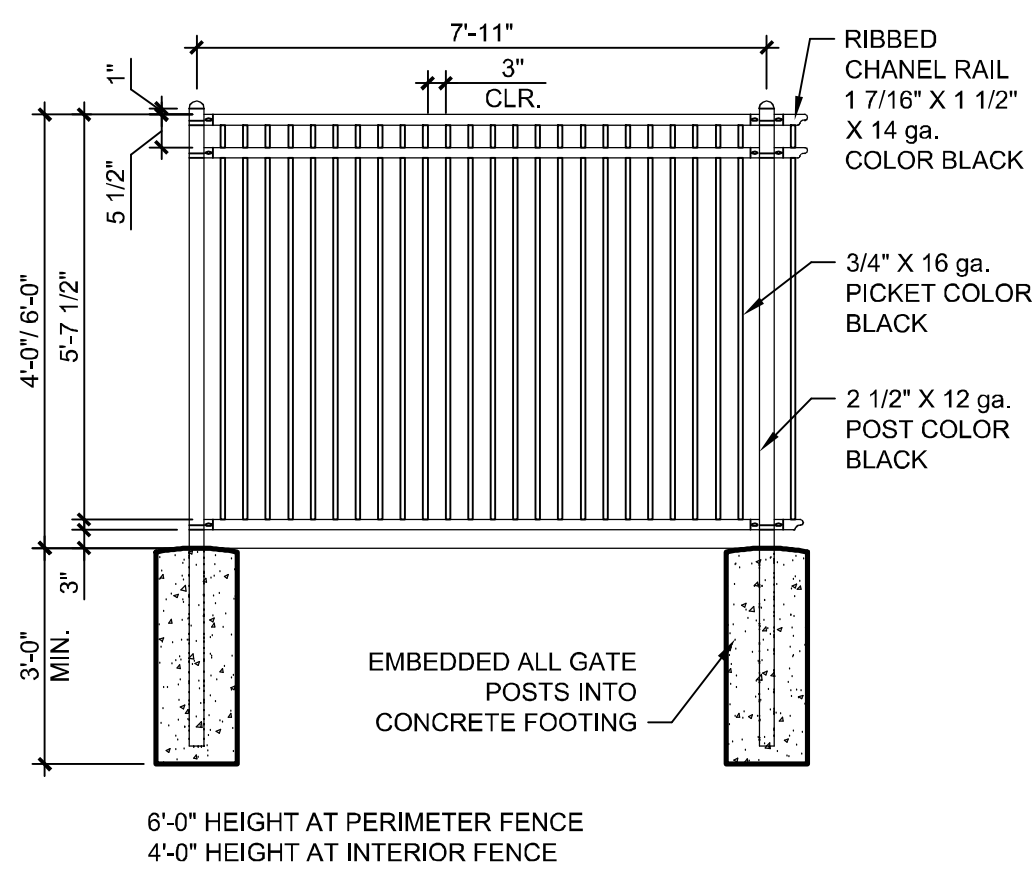
DESIGN:	DATE:
SMB	06/16/2017

CHECK:

**C12.0**

JOB #:  
16-285





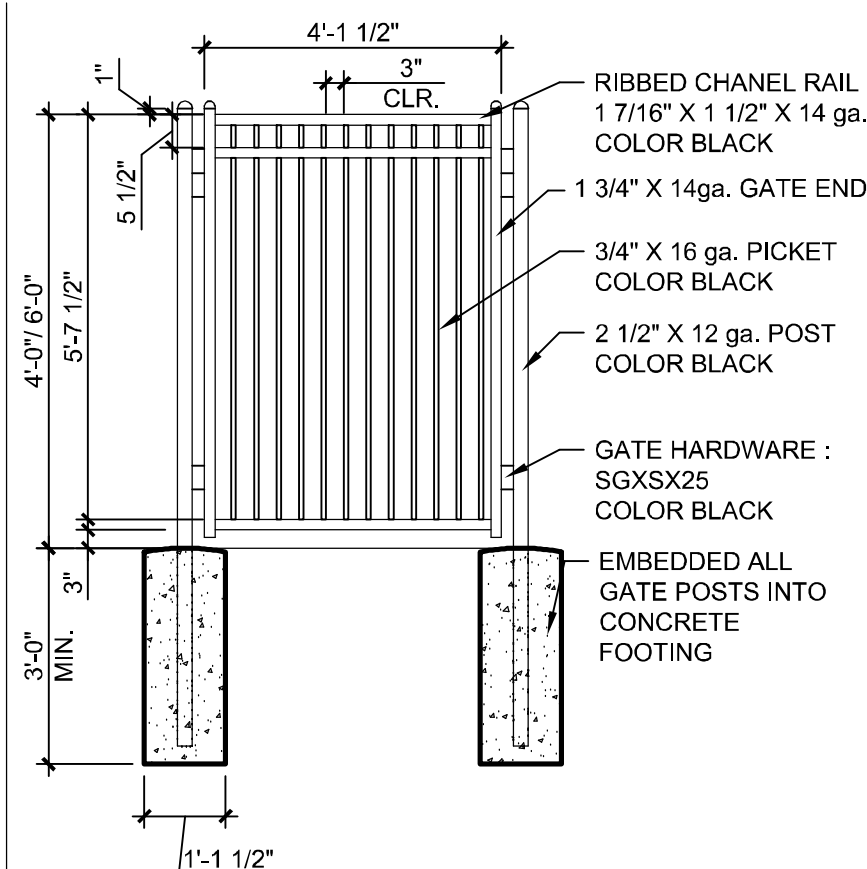
ORNAMENTAL FENCE

SCALE

3/8"=1'-0"

AS2.0

-



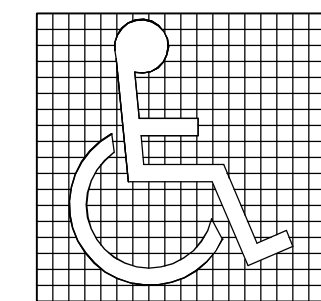
ORNAMENTAL GATE

SCALE

3/8"=1'-0"

AS2.0

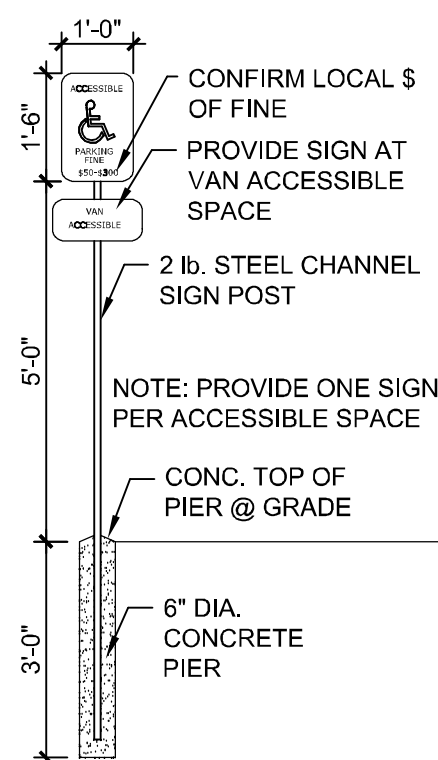
-



SYMBOL DETAIL  
NOT TO SCALE

SIGNS MAY BE CENTERED ON WALL AT INTERIOR END OF PARKING SPACE FINISH GRADE, GROUND OR SIDEWALK.

IN ADDITION TO SIGN, ACCESSIBLE STALLS SHALL BE OUTLINED IN BLUE AND A VIEW OF THE WHEELCHAIR WITH OCCUPANT 36"X36" OUTLINED IN WHITE CENTERED IN THE SPACE.



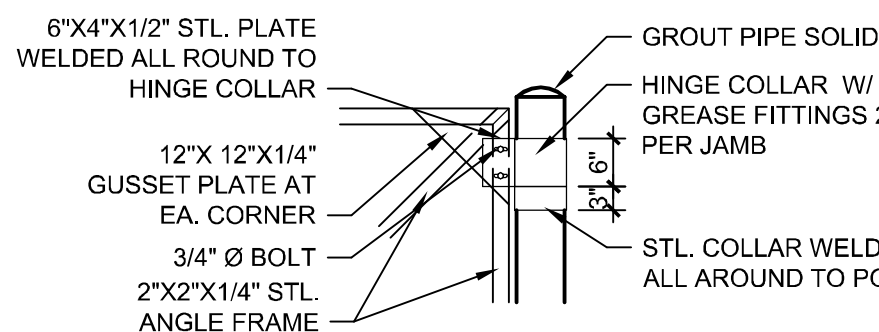
ACCESSIBLE PARKING SIGN DETAIL

SCALE

3/8"=1'-0"

AS2.0

-



HINGE DETAIL

SCALE

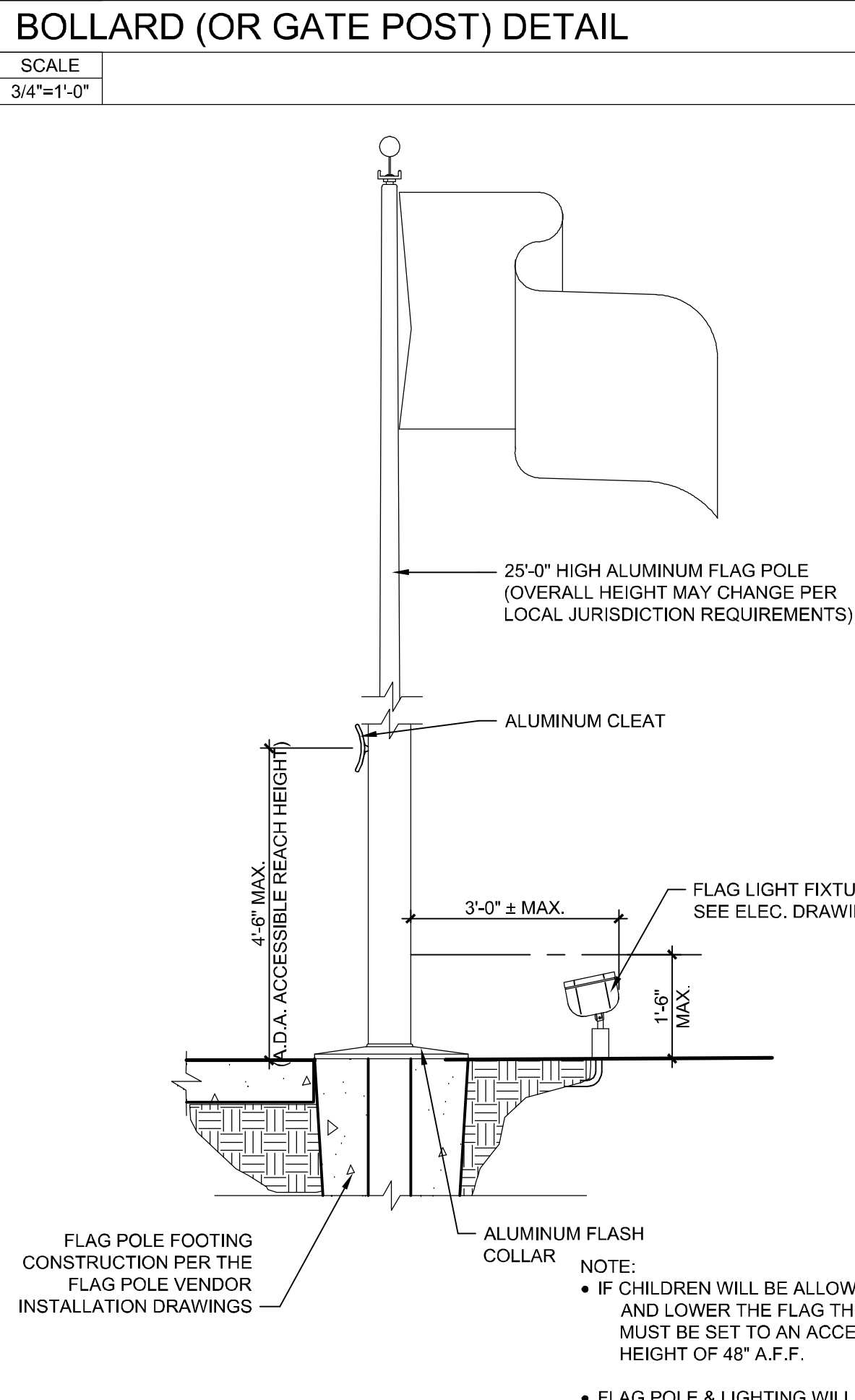
1/2"=1'-0"

AS2.0

-

GEN. NOTES

- 1) 6" DIA STEEL POSTS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
- 2) BRICK COLOR TO MATCH THE BRICK ON THE BUILDING, U.N.O.
- 3) PAINT DUMPSTER GATE, POST, HINGES AND ACCESSORIES AS SPECIFIED ON " EXTERIOR FINISH SCHEDULE ".



FLAG POLE DETAIL

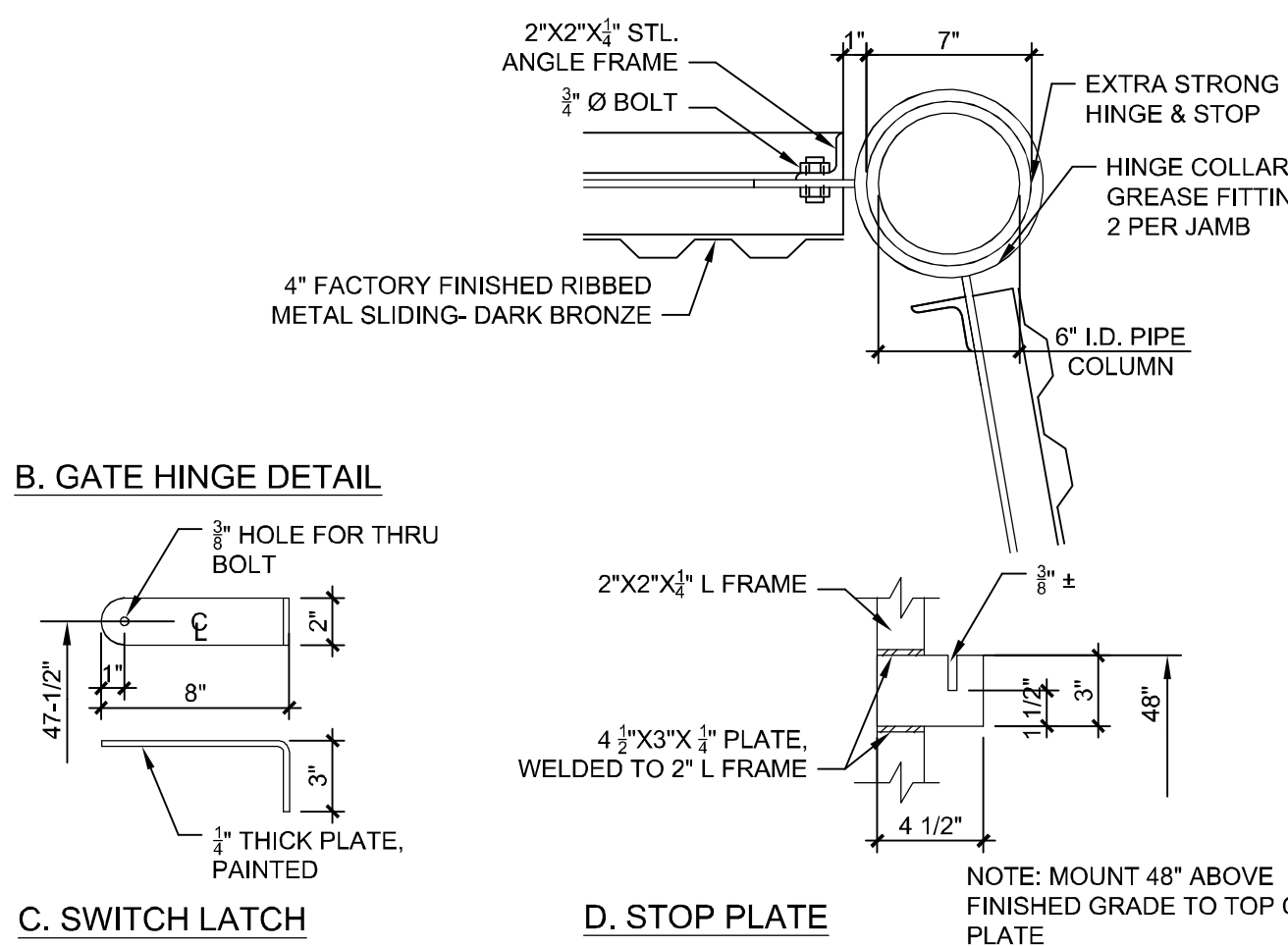
SCALE

1/2"=1'-0"

AS2.0

-

A. CANE BOLT (1 PER GATE)



HARDWARE DETAILS

SCALE

1-1/2"=1'-0"

AS2.0

-

DUMPSTER SECTION

SCALE

3/8"=1'-0"

AS2.0

-

BOLLARD (OR GATE POST) DETAIL

SCALE

3/4"=1'-0"

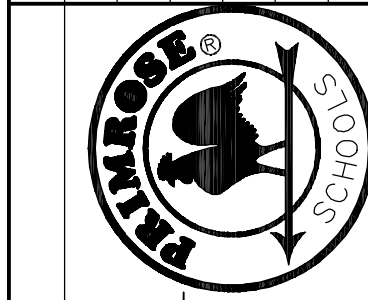
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-

UNDERGROUND DETENTION  
PRIMROSE SCHOOL  
OF SOUTH LEBANON

DESIGN: SWS  
DRAWN: KCE  
CHECK: SWS  
JOB #: 16-285  
DATE: 06/16/2017

C12.1



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VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
TEL. 937.490.9460 FAX 937.456.9798





EARLY PRESCHOOL PLAYGROUND EQUIPMENT		1	PRESCHOOL PLAYGROUND EQUIPMENT		2	PLAYGROUND EQUIPMENT GENERAL NOTES		3
SCALE		AS3.0	SCALE		AS3.0	SCALE		AS3.0
NTS		-	NTS		-	NTS		-

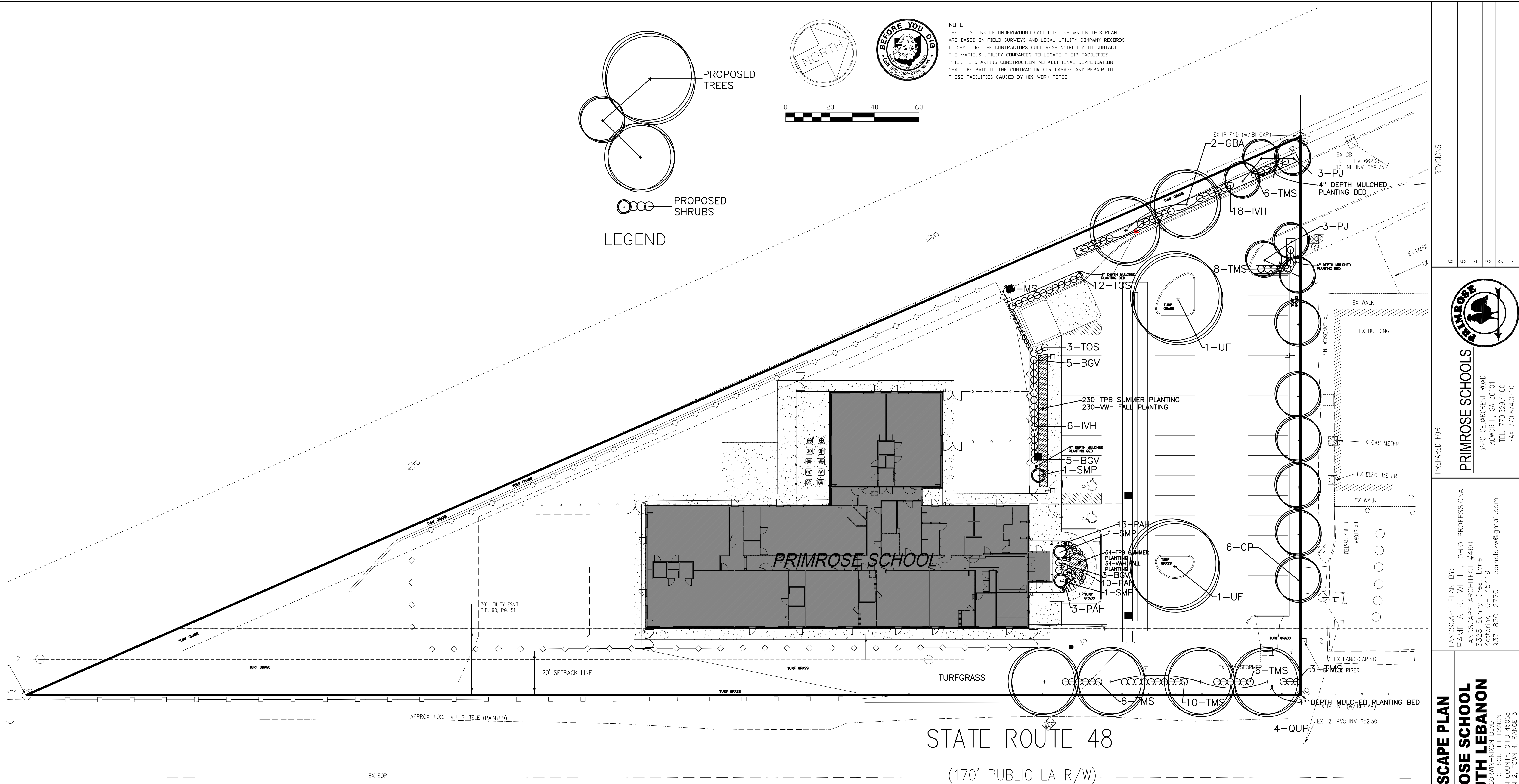
AFTER SCHOOL PLAYGROUND EQUIPMENT				4	BASKETBALL				5	4-SQUARE				6	HOPSCOTCH				7	USPS MAILBOX				8
SCALE				AS3.0	SCALE				AS3.0	SCALE				AS3.0	SCALE				AS3.0	SCALE				AS3.0
NTS				-	3/16"=1'-0"				-	NTS				-	NTS				-	NTS				-

SITE SIGNAGE PACKAGE				9	TYPICAL BASKETBALL FOOTING	10	TYPICAL CONCRETE EDGE	12
SCALE				AS3.0	SCALE	AS3.0	SCALE	AS3.0
NTS				-	NTS	-	3/4"=1'-0"	-

FALL ZONE DETAILS				13	BIKE RACK DETAIL			14	ART. GRASS DETAIL @ CONCRETE			15	ART. GRASS DETAIL			16
SCALE				AS3.0	SCALE			AS3.0	SCALE			AS3.0	SCALE			AS3.0
NTS				-	NTS			-	NTS			-	NTS	USE WOOD BORDER AGAINST FENCE ONLY		-

DESIGN: CMB		DATE: 06/16/2017
DRAWN: KOE		
CHECKED: CMB		
JOB #:		
16-285		
<div> <div> <h1>UNDERGROUND DETENTION</h1> </div> <div> <h2>PRIMROSE SCHOOL OF SOUTH LEBANON</h2> <p>719 CORWIN-NIXON BLVD. VILLAGE OF SOUTH LEBANON WARREN COUNTY, OHIO 45065 SECTION 2, TOWN 4, RANGE 3</p> </div> </div>		
<div> <div>  <p><b>Community Civil Engineers, LLC</b> 2440 DAYTON-XENIA ROAD, SUITE B BEAVERCREEK, OHIO 45434 TEL. 937.490.9460 FAX 937.426.9798</p> </div> <div>  <p><b>PRIMROSE SCHOOLS</b> 3660 CEDARCREST ROAD ACWORTH, GA 30101 TEL. 770.529.4100 FAX 770.874.0210</p> </div> </div>		
PREPARED FOR:		REVISIONS

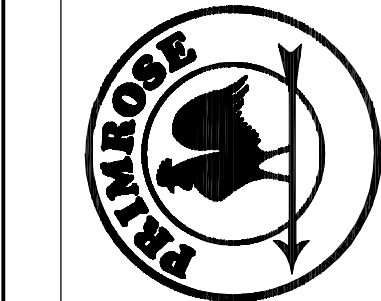




PLANTING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
BGV	13	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	24" B&B	
CP	6	CARPINUS CAROLINIANA 'CCSQU'	PALISADE AMERICAN HORNBEEAM	2.0" CAL. B&B	
GBA	2	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MALE GINKGO	2.5" CAL. B&B	
IVH	24	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET VIRGINIA SWEETSPIRE	#3 CONTAINER	
MS	10	MISCANTHUS SINENSIS 'GRACILLMUS'	MAIDEN GRASS	#3 CONT.	
PAH	26	PENNISETUM ALOPECUOIDES 'HAMELYN'	HAMELYN DWARF FOUNTAIN GRASS	#1 CONT.	
PJ	6	PYRUS CALLERYANA 'JACKZAM'	JACK PEAR	2.0" CAL. B&B	
QUP	4	QUERCUS MACROCARPA 'JFS-KW3'	URBAN PINNACLE OAK	2.5" CAL. B&B	
SMP	3	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	36" HEAD SIZE B&B	TREE FORM 36" STANDARD
TOS	15	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5' B&B	
TPB	284	TAGETES PATULA 'BONANZA SERIES'	BONANZA SERIES MARIGOLD	1 QT. POTS	SUMMER PLANTING 1' ON CENTER
TMS	39	TAXUS X MEDIA 'DARK GREEN SPREADER'	DARK GREEN SPREADER TAXUS	24" B&B	
UF	2	ULMUS 'FRONTIER'	FRONTIER ELM	2.5" B&B	HYBRID ELM
VWH	284	VIOLA X WITTROCKIANA 'HAPPY FACE' SERIES	HAPPY FACE SERIES PANSY	1 QT. POTS	FALL PLANTING 1' ON CENTER

REVISIONS



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LANDSCAPE PLAN BY:  
PAMELA K. WHITE, OHIO PROFESSIONAL  
LANDSCAPE ARCHITECT #460  
3325 Sunny Crest Lane  
Kettering, OH 45419  
937-830-2770  
pamelakw@gmail.com

LANDSCAPE PLAN  
PRIMROSE SCHOOL  
OF SOUTH LEBANON  
719 CORMACK-NIXON BLVD  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3



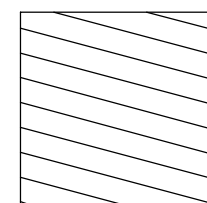
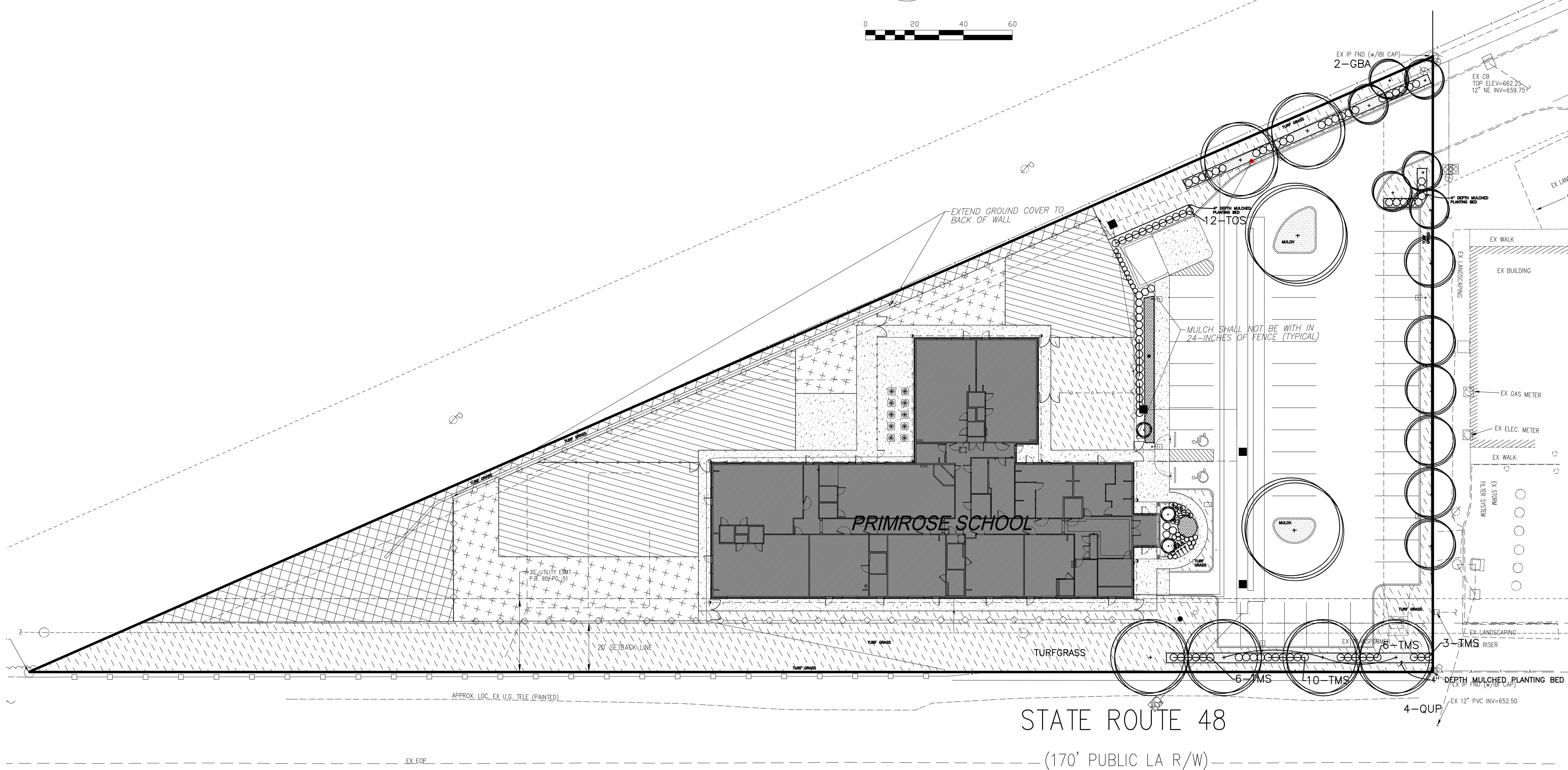
DESIGN: DATE: 06/16/2017  
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JOB #: 16-285

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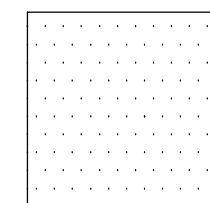




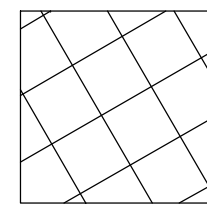
NOTE:  
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.



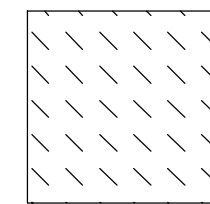
FALLZONE MATERIAL  
(ALT. ARTIFICIAL TURF)



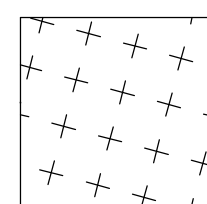
4" MULCH BED



SOD



IRRIGATED SOD



IRRIGATED SOD  
(ALT. ARTIFICIAL TURF)

REVISIONS

6	5	4	3	2	1
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PREPARED FOR:  
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3660 CEDARCREST ROAD  
ACHORTH, CA 94701  
TEL: 770.529.4100  
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**LANDSCAPE PLAN**  
**PRIMROSE SCHOOL OF SOUTH LEBANON**  
719 CORMACK-NIXON BLVD  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3

DESIGN: SMR  
DATE: 06/16/2017  
DRAWN:  
CHECK:  
JOB #: 16-285  
**L2.0**



SCOPE OF WORK

- 1. THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- 2. QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTOR'S ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
- 3. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT OR RIGHT-OF-WAY LIMITS.

PRESERVATION/PROTECTION (IF APPLICABLE)

- 1. CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 50 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION.
- 2. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE TREE CIRCUMFERENCE (MEASURED 6" ABOVE THE GROUND LINE IN INCHES) EXPRESSED IN FEET. (EXAMPLE: A CIRCUMFERENCE OF 10" WOULD HAVE A "NO CUT" ZONE OF 20 FEET IN ALL DIRECTIONS FROM THE TREE). THIS SHOULD APPLY TO UTILITY SERVICES, IF FEASIBLE. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THE LANDSCAPE ARCHITECT, SPECIFICATIONS OR AS INDICATION ON THE PLANS.
- 3. TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH THE ARBOR CULTURAL STANDARDS OF THE CITY.

PLANT MATERIALS

- 1. GENERAL - ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE SIMILAR TO THAT ON SITE.
- 2. PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
- 3. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS.
- 4. PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRASION DAMAGED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
- 5. BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANT'S SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION. CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM. BARE-ROOT SHRUBS AND GROUND COVER PLANTS ARE ACCEPTABLE, IF THEY ARE DUG AND INSTALLED AT THE APPROPRIATE SEASON AND HANDLED IN THE APPROPRIATE MANNER.
- 6. PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPULINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY; IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
- 7. DO NOT HANDLE, MOVE, BIND, TIE OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

TOPSOIL

- 1. TOPSOIL HAS BEEN (OR WILL BE) STOCKPILED FOR REUSE IN LANDSCAPE WORK. IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK. IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRIABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.
- 2. PLANTING BACKFILL FOR PARKING LOT ISLANDS SHALL CONSIST OF A HOMOGENEOUS MIXTURE OF 3 PARTS TOPSOIL TO ONE PART SPHAGNUM PEAT INSTALLED OVER A 6" THICKNESS OF NO. 57 AGGREGATE.

SOIL CONDITIONING

- 1. OBTAIN LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL COMPLETE WITH RECOMMENDATIONS FOR SOIL AMENDMENT.
- 2. BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
- 3. MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- 4. FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING. MIX LIME WITH DRY SOIL PRIOR TO MIXING OF FERTILIZER.
- 5. PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
- 6. APPLY PHOSPHORIC ACID FERTILIZER (OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS) DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.

OTHER MATERIALS

- 1. BED EDGING - TRENCH AROUND LANDSCAPE BEDS TO CREATE SHARP, 45 DEGREE EDGE. TYPICAL AT ALL PLANTING BED EDGES WHERE THEY MEET LAWNS.
- 2. MULCH- ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS AND CONSISTING OF THE FOLLOWING:  
  
\* SHREDDED HARDWOOD BARK MULCH (ALL AREAS NOT BEING SEEDED)  
NOT LESS THAN 6 MO. AGED, TO BE CERTIFIED BY SUPPLIERS.
- 3. WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH-TO BE INSTALLED IN ALL PLANTING BEDS.

GENERAL WORK PROCEDURES

- 1. LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING IN THE LOCAL LANDSCAPE ORDINANCES.
- 2. CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
- 3. ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
- 4. ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL, IN WRITING, PRIOR TO INSTALLATION.

PLANTING

- 1. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- 2. PLANTING PITS SHALL BE AS PER DETAILS.
- 3. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT. COMPLETE BACKFILLING AND WATER THOROUGHLY.
- 4. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH PLANT.
- 5. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- 6. INSTALL BED EDGING AND MULCH.
- 7. REMOVE ALL SALES TAGS, STRINGES, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
- 8. REMOVE ANY BROKEN, SUCKERING, DISEASED, CRISSCROSSED OR AESTHETICALLY DISPLEASEING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.
- 9. MULCH TREES AND SHRUBS AND OTHER AREAS NOTED ON THE PLANTING PLAN WITH A 3" LAYER OF MULCH AS SPECIFIED IN NOTE 2 OF "OTHER MATERIALS".

FINISH GRADING

- 1. ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
- 2. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- 4. PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT.

GROUND COVER

- 1. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
- 2. MULCH GROUND COVER WITH 2" THICKNESS OF SPHAGNUM PEAT.
- 3. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
- 4. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

GUARANTEE

- 1. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.

CLEANUP

- 1. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. AN "ACCEPTABLE CONDITION" SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

MAINTENANCE

(MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

- 1. MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
- 2. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- 3. MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- 4. MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
- 5. REPLACE ANY REQUIRED PLANTING(S), WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

SODDING

- 1. SOD SHALL BE FIRST GRADE CERTIFIED KENTUCKY BLUEGRASS BLEND CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS. SOD SHALL BE RECENTLY MOWED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES. THE SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS THAN 1 INCH. SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED WITHIN 48 HOURS AFTER BEING CUT. BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS IN PLACE THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE. NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL. WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15th, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH 1 INCH THICK (LOOSE MEASUREMENT). AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOD INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS. THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

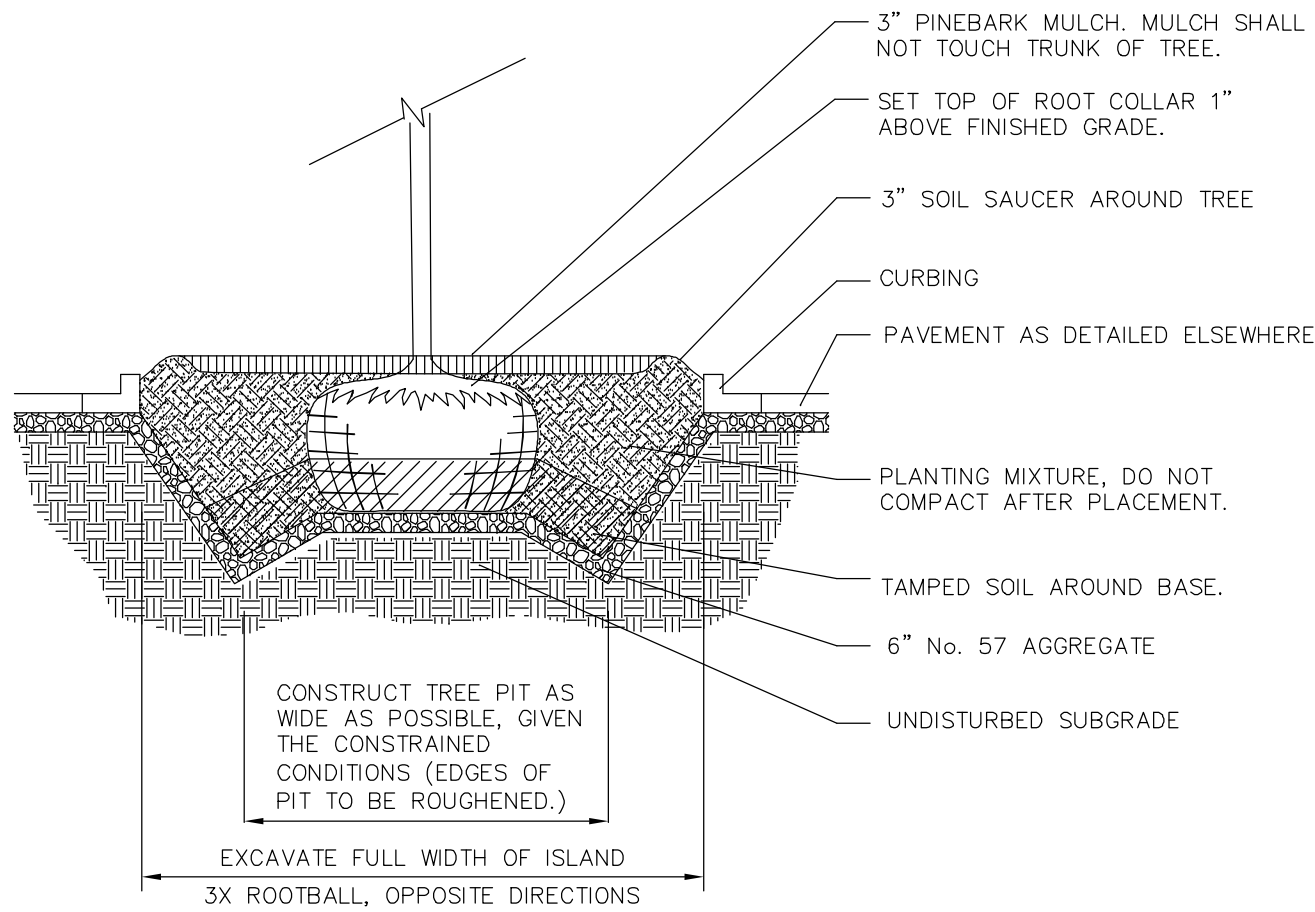
PLANTING SCHEDULE

- 1. ALL PLANTING IS RECOMMENDED TO BE DONE WITHIN THE FOLLOWING DATES. WHEN PLANTING OUTSIDE THESE DATES, WRITTEN DOCUMENTATION SHALL BE PROVIDED THAT SURVIVAL OR REPLACEMENT WILL BE ENSURED. NO PLANTING SHALL BE DONE IN FROZEN SOIL.

NORMAL PLANTING SEASONS	SPRING	FALL
ALL TREES AND SHRUBS	MARCH 15-MAY 15	OCTOBER 1-DECEMBER 1
EVERGREENS	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15
GROUNDCOVERS	APRIL 1-JUNE 1	WHEN SOD IS WORKABLE
SEED AND MULCH	APRIL 1-MAY 15	OCTOBER 1-NOVEMBER 15

GENERAL NOTE

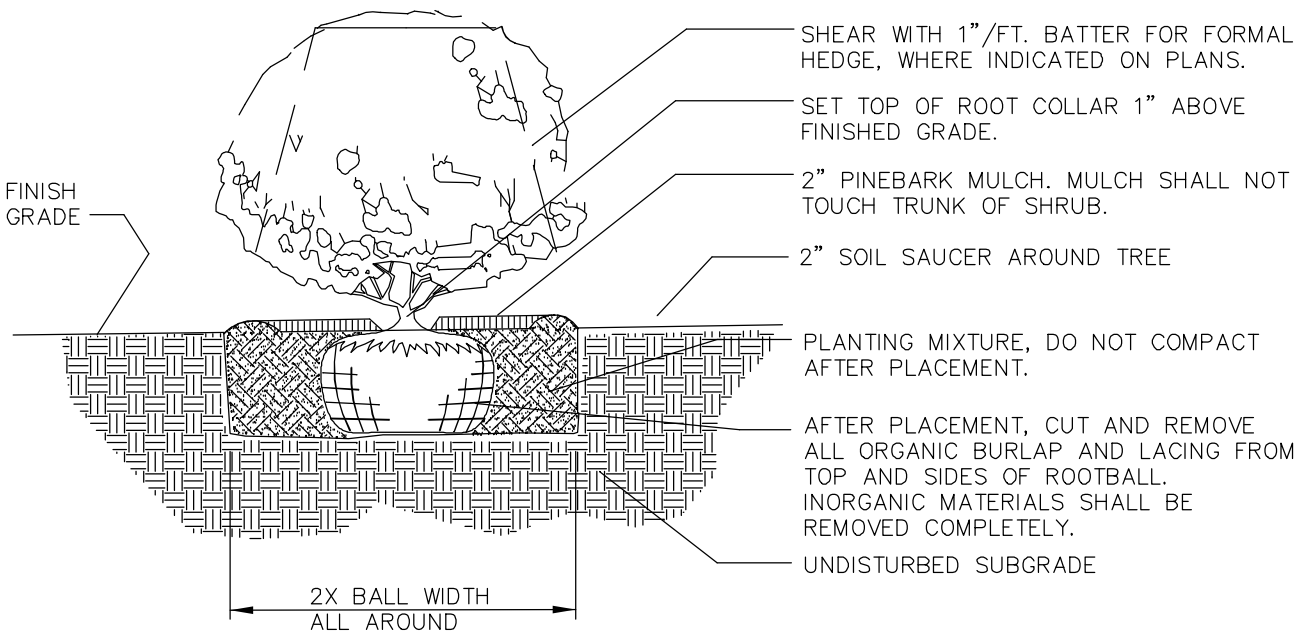
- 1. ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE WITHIN THE RIGHT-OF-WAY SHALL BE FINE GRADED TO MAINTAIN POSITIVE DRAINAGE, HAVE A 6" LAYER OF TOPSOIL APPLIED AND BE SEEDED ACCORDING TO SPECIFICATIONS ON THIS SHEET.



PARKING LOT ISLAND PLANTING

N.T.S.

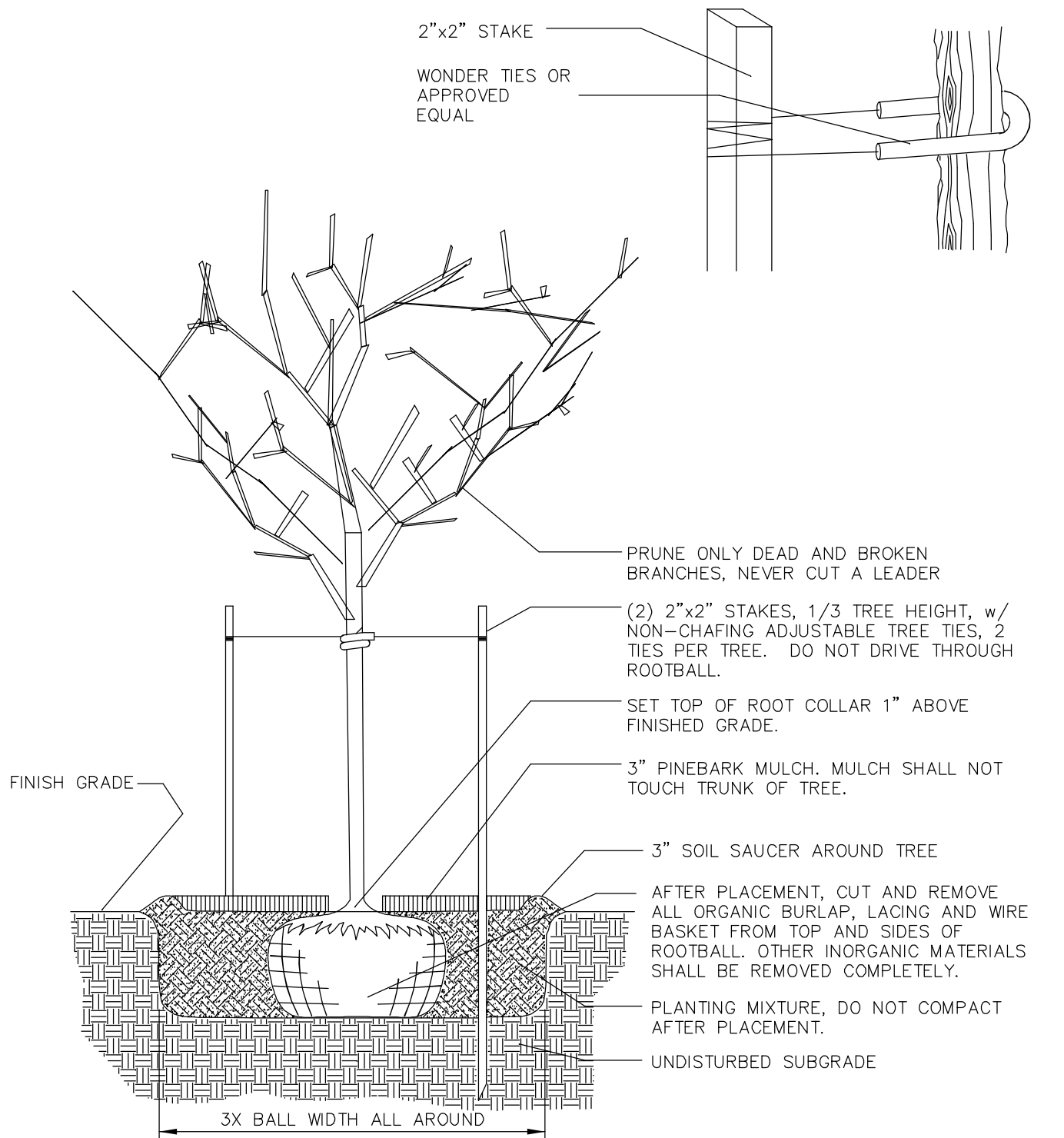
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SHRUB PLANTING

N.T.S.

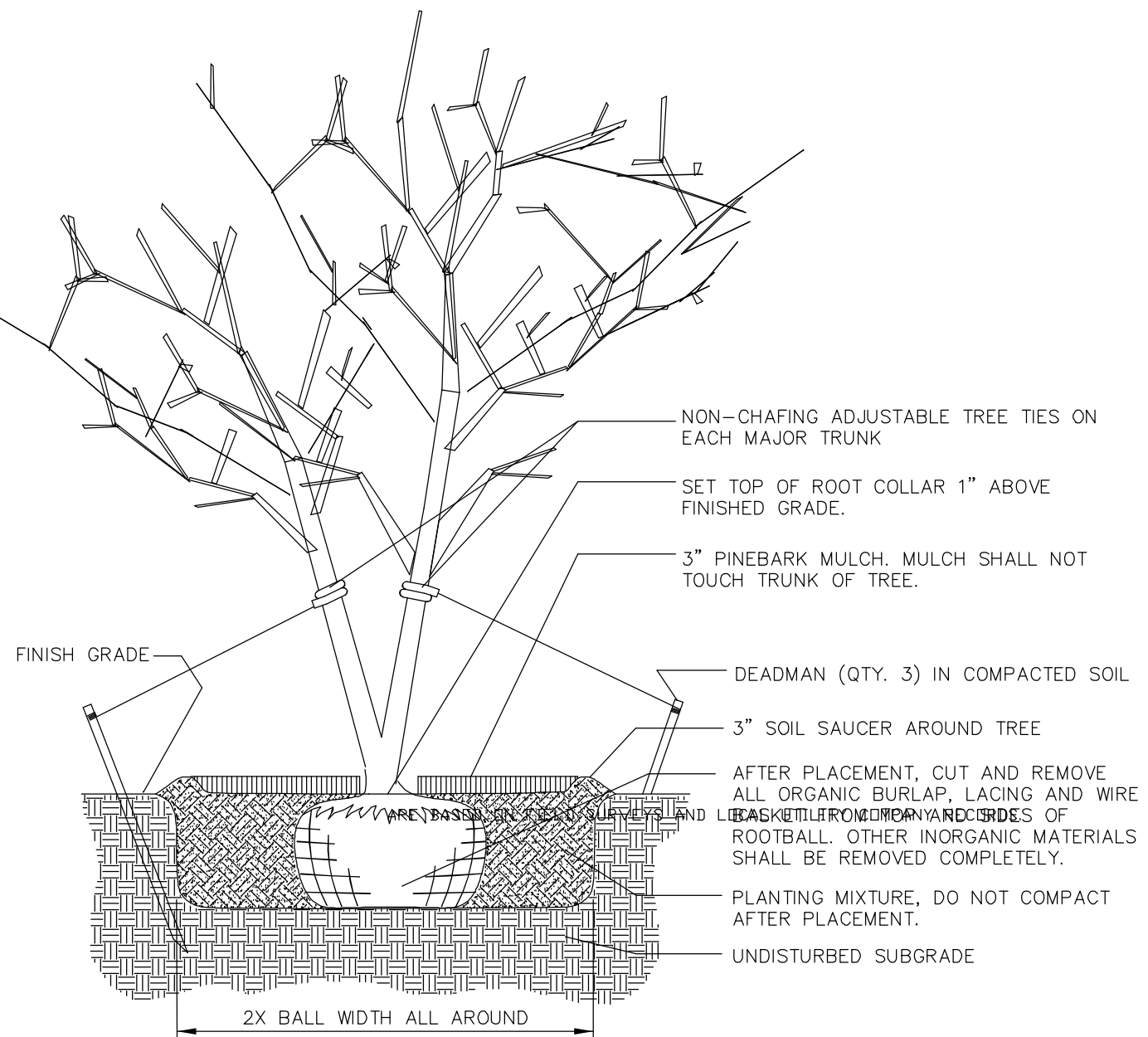
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TREE PLANTING AND STAKING

N.T.S.

2



MULTISTEM TREE PLANTING AND STAKING

N.T.S.

1

REVISIONS

PREPARED FOR:

UNDERGROUND DETENTION

PRIMROSE SCHOOL  
OF SOUTH LEBANON

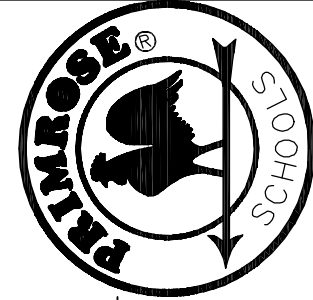
DESIGN: SMC DATE: 06/16/2017

DRAWN: KOE

CHECK: SMC

JOB #: 16-285

L3.0



PRIMROSE SCHOOLS

3660 CEDARCREST ROAD  
ACWORTH, GA 30101  
TEL. 770.529.4100  
FAX 770.874.0210

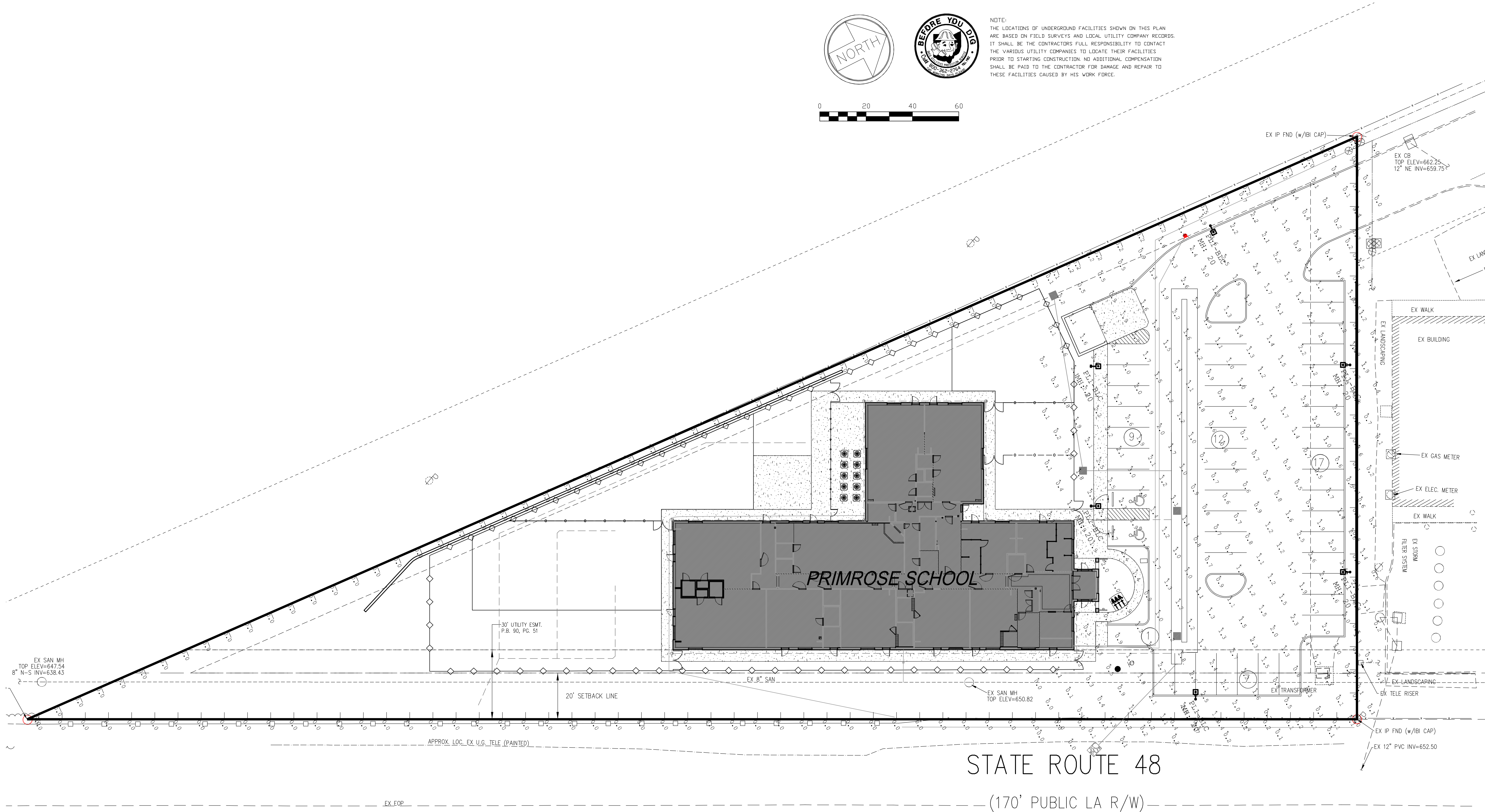


Community Civil Engineers, LLC  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45424  
TEL. 937.490.9460 FAX 937.426.9798





NOTE:  
THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN  
ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS.  
IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT  
THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES  
PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION  
SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO  
THESE FACILITIES CAUSED BY HIS WORK FORCE.



STATE ROUTE 48

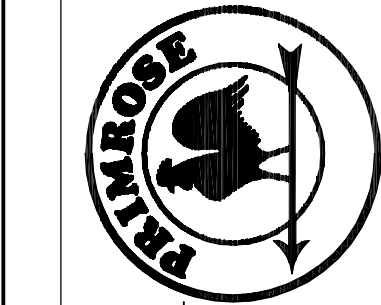
(170' PUBLIC LA R/W)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	Illuminance	Fc	1.23	3.1	0.0	N.A.	N.A.
Property Line at 5' AFG	Illuminance	Fc	0.11	1.2	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.58	3.0	0.4	3.95	7.50

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	6	PL1-BLC	SINGLE	N.A.	0.800	OSQ-A-xx-4ME-B-57K-ULxxxxx w OSQ-BLSMF

REVISIONS

6	5	4	3	2	1
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PREPARED FOR:  
**PRIMROSE SCHOOLS**  
3660 CEDARCREST ROAD  
ACHORTH, GA 30101  
TEL: 770.529.4100  
FAX: 770.874.0210

**CCFE**  
**Community Civil Engineers, LLC**  
2440 DAYTON-XENIA ROAD, SUITE B  
BEAVERCREEK, OHIO 45434  
TEL: 937.490.9460 FAX: 937.428.9798

**PHOTOMETRIC PLAN**  
**PRIMROSE SCHOOL**  
**OF SOUTH LEBANON**  
719 CORMAN-NIXON BLVD  
VILLAGE OF SOUTH LEBANON  
WARREN COUNTY, OHIO 45065  
SECTION 2, TOWN 4, RANGE 3

DESIGN: SMR DATE: 06/16/2017

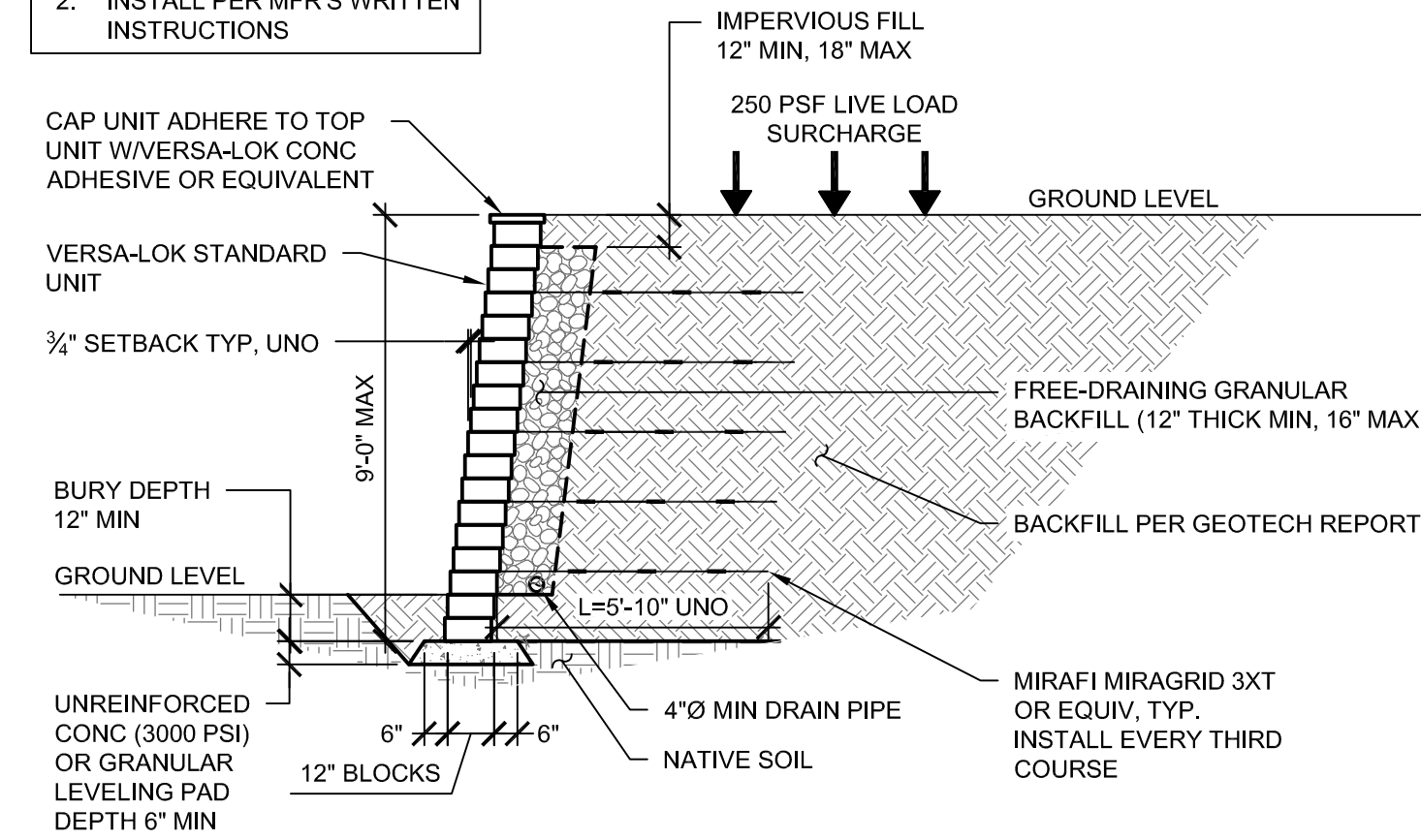
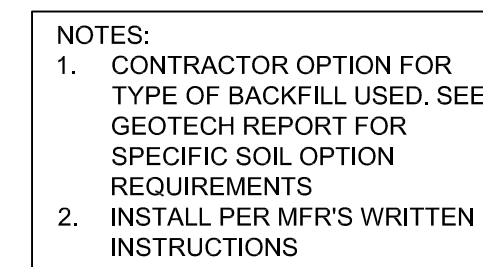
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CHECK:

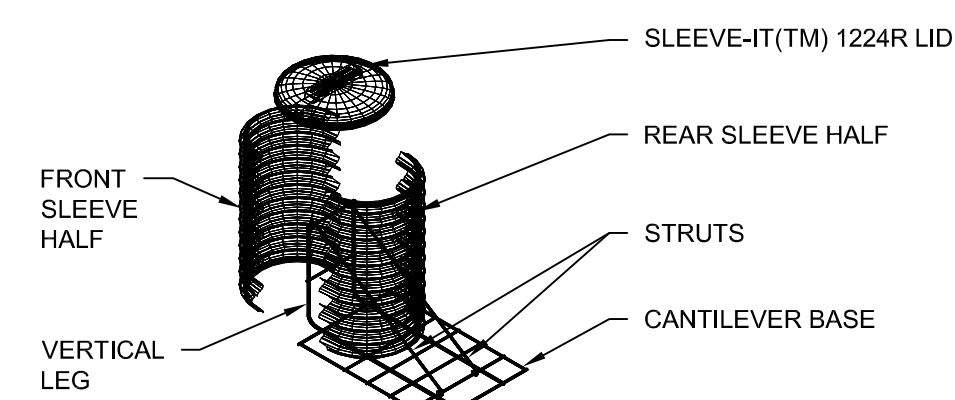
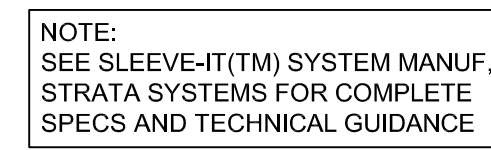
JOB #: 16-285

**PM1.0**

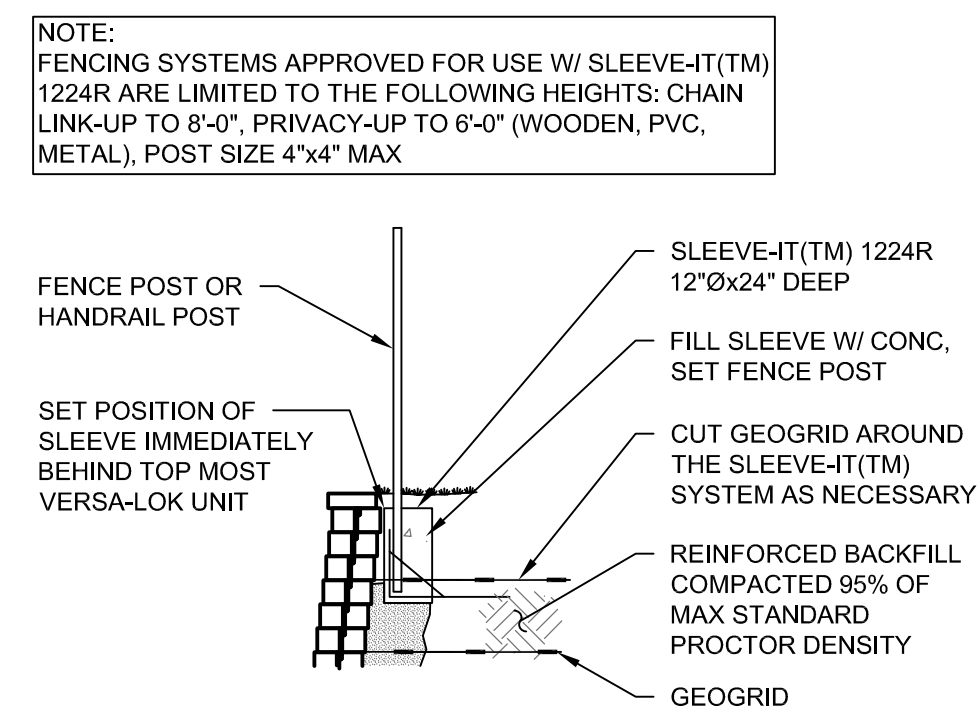




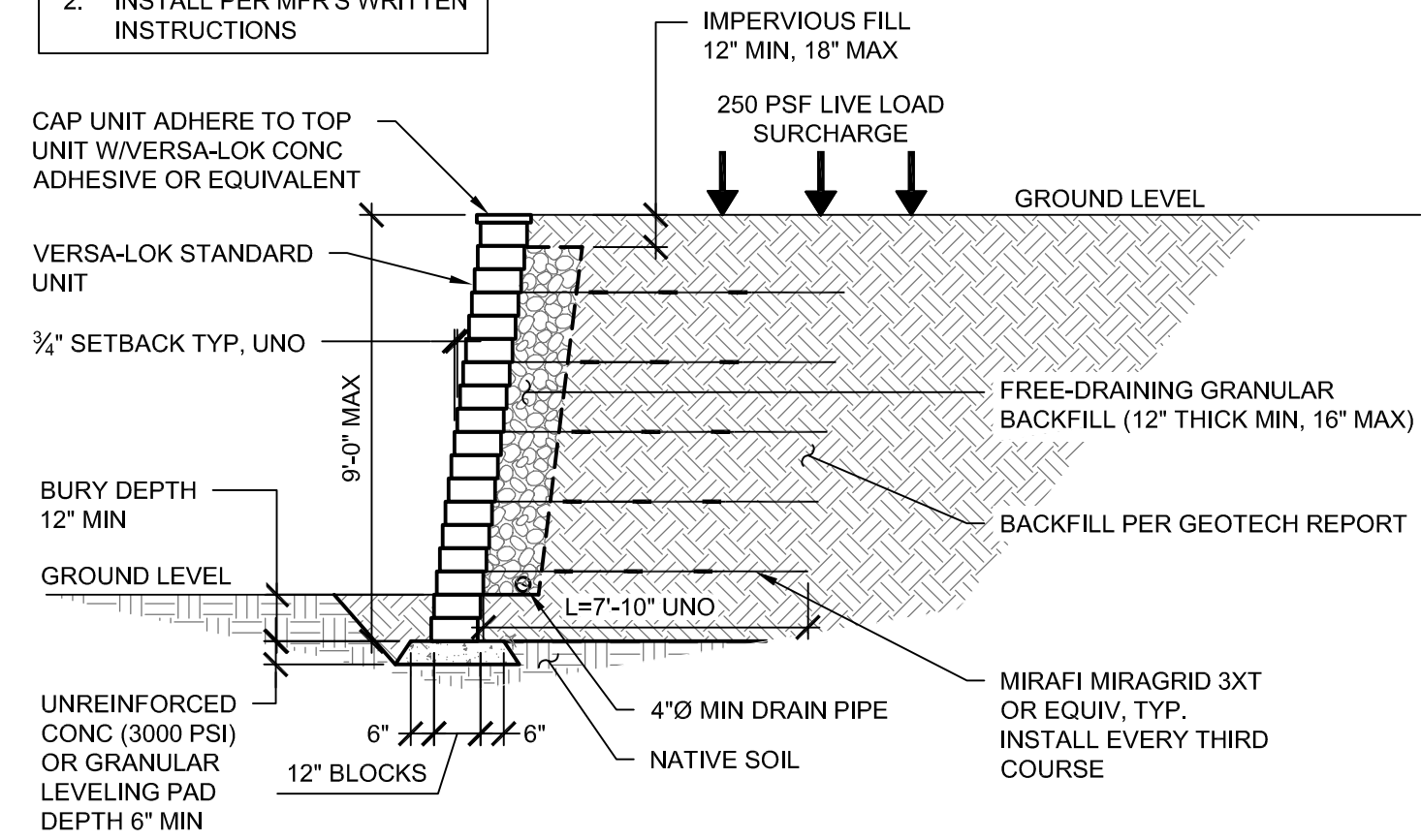
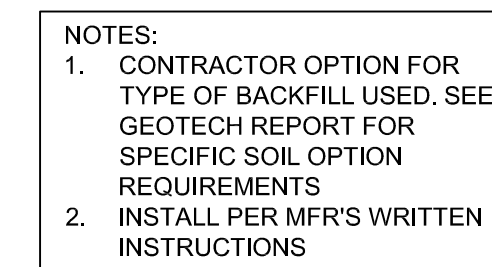
1 SEGMENTAL REINF. RETAINING WALL - OPTION #1-GRANULAR SOILS  
SCALE: NTS



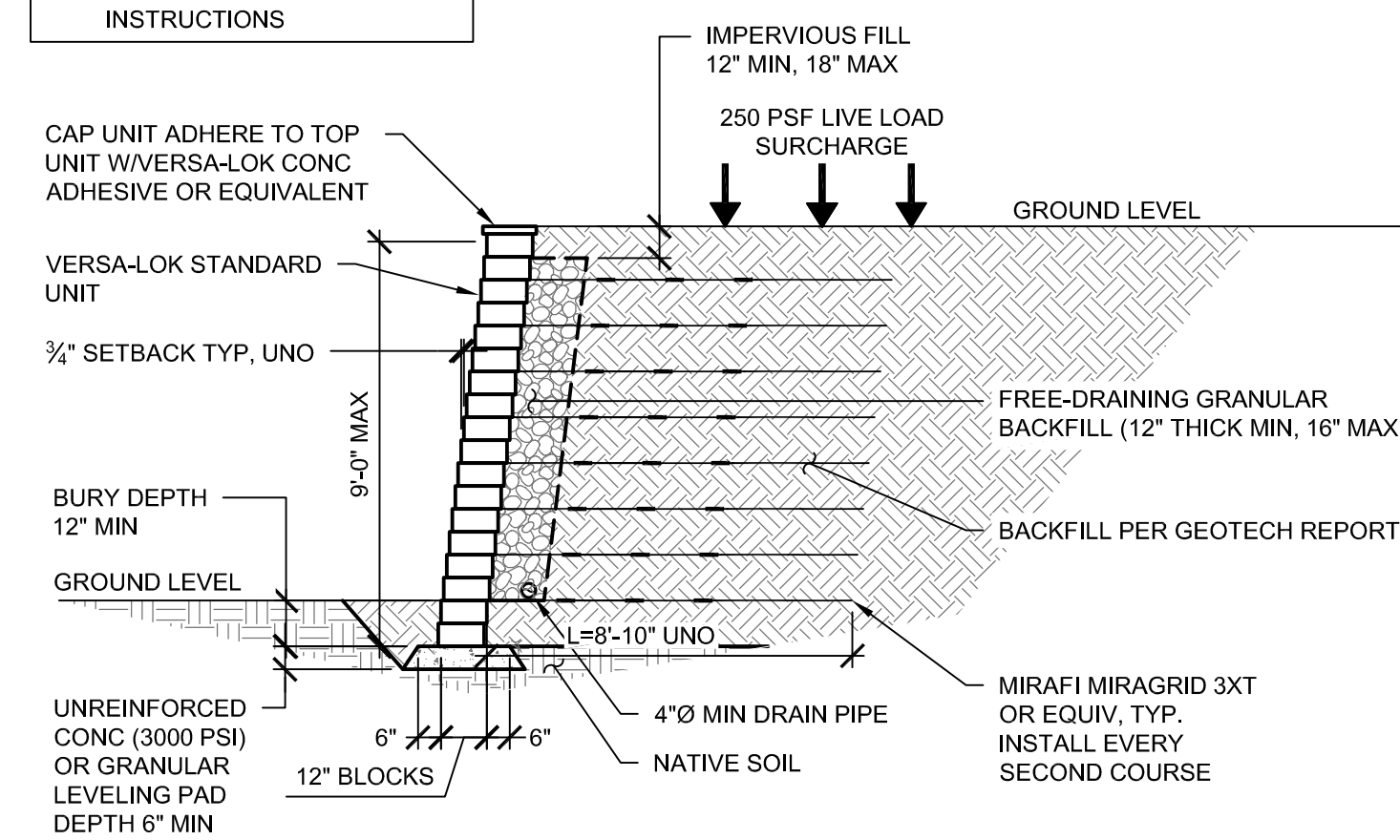
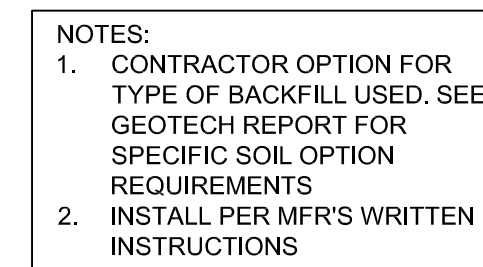
SLEEVE-IT(TM) ISO 1224R



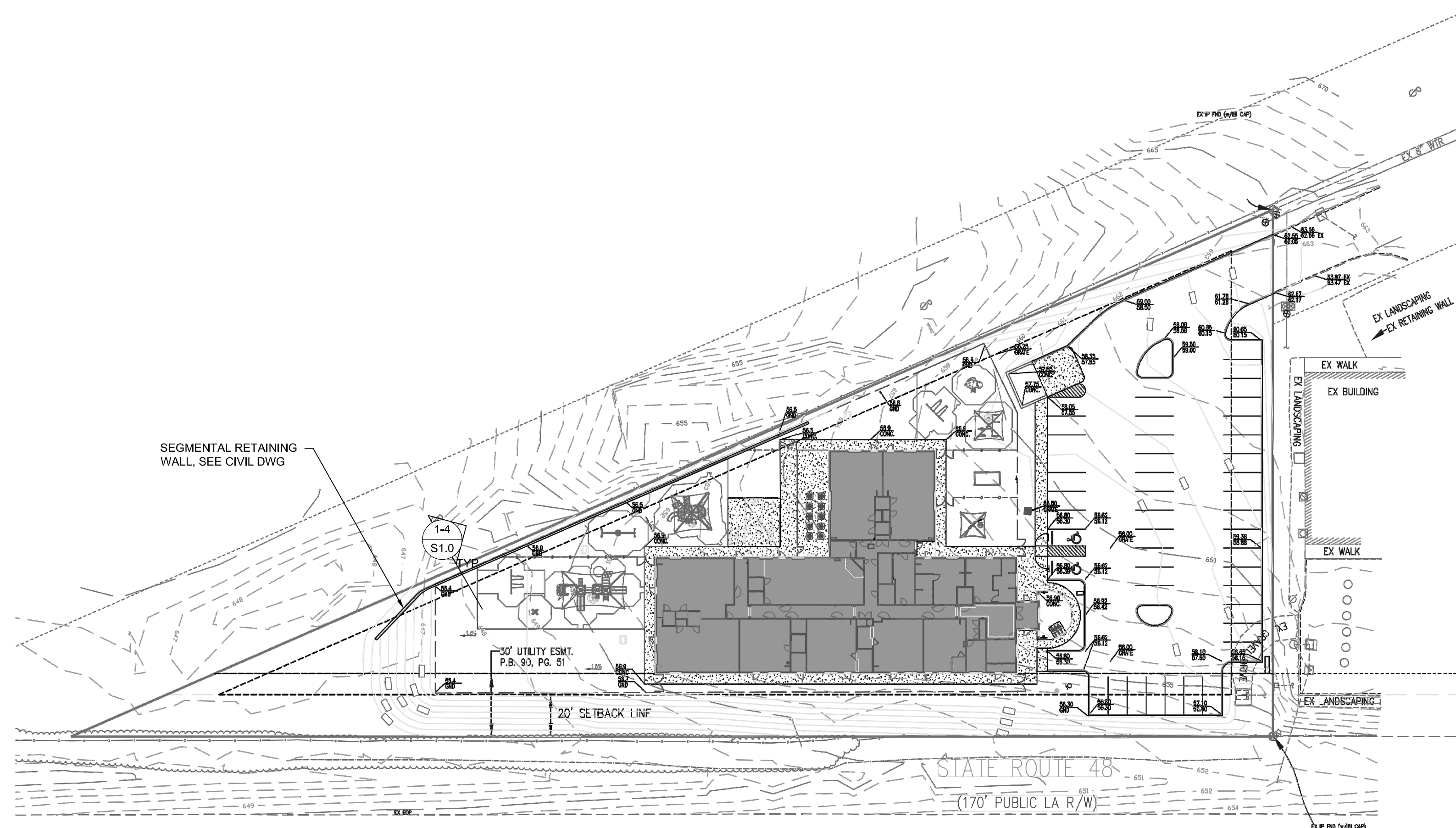
2 FENCE POST DETAIL W/ SLEEVE-IT(TM) 1224R  
SCALE: NTS



3 SEGMENTAL REINF. RETAINING WALL - OPTION #2-CONDITIONED LEAN CLAY  
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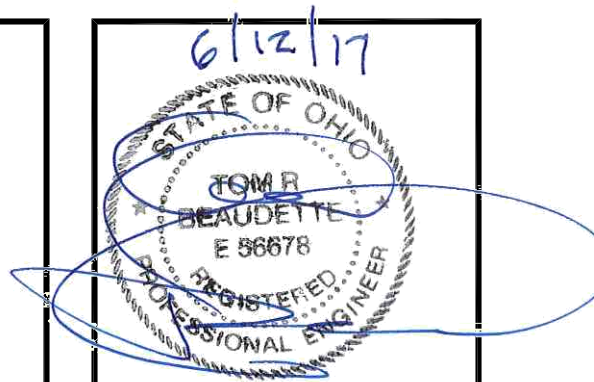


4 SEGMENTAL REINF. RETAINING WALL -OPTION #3- IN-SITU LEAN CLAY  
SCALE: NTS



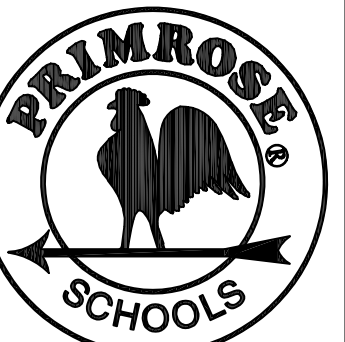
## 5 PARTIAL SITE PLAN FOR RETAINING WALLS

SCALE: NTS



**bce**  
STRUCTURAL  
BEAUDETTE  
CONSULTING  
ENGINEERS, INC.  
MISSOULA KALISPELL  
BOZEMAN RAPID CITY  
(406) 721-7315  
WWW.BCEWEB.COM

CONSULTANT



660 Cedarcrest Road  
Acworth, GA 30101

PROJECT IDEN.

Primrose School  
at Lebanon, OH

## ISSUE BLOCK

[illegible]

6/09/2017

MANAGEMENT

PROJECT NO.:	17-0596
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RAWN BY: ALM

<p>             CHECKED BY: TKP           </p>	
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SHEET TITLE

## RETAINING WALL PLAN & DETAILS

## SHEET IDENTIFICATION

## S1.0