

PLANNING COMMISSION AGENDA



Planning Commission Meeting
6:00 PM Thursday, January 12, 2017

Village Administration Building
99 High Street
South Lebanon, Ohio 45065

	Agenda Item
1.	Call to Order
2.	Pledge of Allegiance
3.	Roll Call
4.	Open Forum
5.	Review and Approval of Minutes A. Minutes of November 30, 2016
6.	Public Hearing – None
7.	Old Business A. None
8.	New Business A. Case 17-01P: Application for Final Plat Approval for Riverside Subdivision Phase One B. Case 17-02P. Site Plan review for Patel Convenience Store, 720 E. State Route 22-3
9.	Communications
10.	Adjournment

Members of the public may address the Planning Commission during the Open Forum segment of the agenda and shall be limited to five minutes each. After the speaker concludes remarks, the Planning Commission may comment or ask questions at that time. The Chairperson may at his or her discretion restrict duplicate testimony on a particular subject.



Village of South Lebanon
99 N. High Street, South Lebanon, Ohio 45065
513-494-2296 fax: 513-494-1656
www.southlebanonohio.org

Planning Commission Meeting
MEETING MINUTES
November 30, 2016

Members Present:

Tom Hunsche
Dennis Rees
Bill Madison
Jim Smith

Staff:

Jerry Haddix, Administrator
Elbert Allen, Clerk

Members Absent:

Darrick Zucco

1. Call to order at 6:00 PM
2. Pledge of Allegiance
3. Roll Call
4. Open Forum
5. Review and Approval of Minutes of September 12, 2016. After the minutes were reviewed a motion to approve the minutes was made by Tom Hunsche and was seconded by Bill Madison. A vote was taken. All yeas.
6. Public Hearing: None
7. Old Business:

A. Case 15-04P: Fellowship Baptist Church – Site Plan Extension Request. Staff reported that they had received the request on November 11, 2016 in a letter from Charles C. Stanbery for a (1) year extension of the site plan. Mr. Stanbery is the director of the Fellowship Tract League. In his letter he stated that they intend on starting construction in the spring of 2017 with completion in 5 to 6 months. The original zoning permit was approved on November 24, 2015. Staff recommends that the Planning Commission adopt a motion to approve the Fellowship Baptist Church – Site Plan Extension Request for one year through November 23, 2017. A motion to approve the Site Plan Extension Request was made by Dennis Rees and was seconded by Bill Madison. A vote was taken. Results were all yeas.

8. New Business:

A. Case 16-10P: Application for Final Plat Approval for Wynstead Section 3. Submitted by Bayer Becker Engineers on behalf of Grand Communities, Ltd. A guest (Greg Koch) from Bayer Becker was present to answer questions. He stated that there would be a total of 29 single family homes built on the 9.9441 acres. Staff recommends that the Planning Commission adopt a motion to approve the Final Record Plat and authorize Chairman Zucco to sign the Mylar with conditions. A motion to approve the Application for Final Plat for Wynstead Section 3 was made by Bill Madison and was seconded by Dennis Rees. A vote was taken. Results were 4 Yeas and Hunsche voted Nay.

B. Case 16-11P: Acceptance & Dedication of Public Improvements for Wynstead Section 2C. Choice One Engineering, the Village Engineer, provided a final inspection of the public improvements by Fischer Homes ("Developer"). Choice One issued a letter stating that Towne Construction had completed all punch list items pursuant to Sec 15.20.7 (6) (a-d). Staff recommends that the Planning Commission adopt a motion to approve the Public Improvements for Wynstead Section 2C. A motion to approve the Acceptance & Dedication of Public Improvements for Wynstead Section 2C was made by Dennis Rees and was seconded by Bill Madison. A vote was taken. Results were 4 Yeas and Hunsche voted Nay.

9. Communications: None

10. Motion to adjourn. Bill Madison made the motion; Dennis Rees seconded. A vote was taken. Results were all yeas.

Darrick Zucco – Chairman

Elbert Allen - Clerk

VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission

FROM: Jerry Haddix, Village Administrator

RE: Case 17-01P, Final Plat Approval, Riverside Subdivision Phase One

DATE: January 9, 2017

On the agenda for the January 12th meeting is Case #17-01P, an application for approval of the Final Record Plat for the Riverside Subdivision Phase One (the “Property”) submitted by Bayer Becker Engineers on behalf of Lebanon Mason, LLC (the “Owner”).

Background

On February 11, 2016, the Village Planning Commission passed a motion that granted approval of the Preliminary Plat for the 127-lot, 54.120 acre Rivers Crossing South development (now known as “Riverside”). The Owner has submitted a final plat for Phase One of this development. This plat includes 15.421 acres will create 42 single family lots along with 2.95 acres of open space. The present zoning designation is R-3.

The Final Record Plat has been sent to a number of officials and agencies for review. Attached are comments from Choice One Engineering. Duke Energy has also submitted comments and the Owner’s has submitted a revised plat which addresses those comments.

Code Analysis

Pursuant to Section 15.20.4 of the Village Zoning Code, a subdivision developer, after receiving approval of the preliminary plat of the proposed subdivision, shall submit a final plat for the subdivision and drawings and specifications of the improvements required therein. The final plat shall be filed with the Planning Commission not later than twelve months after the date of approval of the preliminary plat.

Zoning Process

The Planning Commission shall approve or disapprove the final plat within thirty days after it has been filed. If the plat is disapproved, the grounds for disapproval shall be stated in the records of the Commission, and a copy of said record shall be forwarded to the developer. The Commission shall not disapprove the final plat if the developer has done everything that he was required to do and has proceeded in accordance with the conditions and standards specified in the approved preliminary plat. If disapproved, the developer shall make the necessary corrections and resubmit the final plat within thirty days to the Commission for its final approval.

When the final plat has been approved by the Commission, the original tracing (Mylar) shall be signed by the chairperson of the Commission, approved by the Village Council, and returned to the Owner for filing with the Court Recorder after all necessary certifications are received.

Recommendation

Staff recommends that the Planning Commission adopt a motion to approve the Final Record Plat and authorize Chairman Zucco to sign the Mylar with the following conditions:

1. Comply with all comments from the Village Engineer, Warren Co. Tax Map Dept. or any other reviewing agency
2. Provide the statements pursuant to Section 15.20.10 of Village Subdivision Regulations.

Attachments

Final Record Plat

Planning Commission Application



VILLAGE OF SOUTH LEBANON
Final Plat Approval Checklist

Development Name: Riverside – Phase 1
Reviewed By: S. Bowersox –Choice One Engineering

Date Received 12/21/16
Date Reviewed 12/23/16

**All items below are required for final
plat approval from the Village Engineer**

	Approved	Comments
A. Required Information Sec 15.20.4	<input type="checkbox"/>	
1. Final Plat Form Sec 15.20.4.16	<input type="checkbox"/>	
a. Scale	<input checked="" type="checkbox"/>	
b. Paper Size	<input checked="" type="checkbox"/>	
2. Final Plat Contents Sec 15.20.4.7	<input type="checkbox"/>	
a. Proposed Name of Subdivision and location	<input type="checkbox"/>	Needs corrected on overall boundary map. Currently the old "Riverside Bluffs" name is still incorrectly shown.
b. Contact information	<input checked="" type="checkbox"/>	
c. Plat boundaries and closure	<input type="checkbox"/>	Need closure documentation
d. Bearings/distances to street lines	<input checked="" type="checkbox"/>	
e. Streets and setback lines and R/W	<input checked="" type="checkbox"/>	
f. Curve Data	<input checked="" type="checkbox"/>	
g. Easements and R/W	<input checked="" type="checkbox"/>	Plat with additional easements to be recorded separately
h. Lot numbers and lines	<input type="checkbox"/>	Need to show lot width on setback line for lots located on curves
i. Common areas	<input checked="" type="checkbox"/>	
j. Covenants and restrictions	<input checked="" type="checkbox"/>	To be recorded separately and referenced
k. Certification by P.S.	<input checked="" type="checkbox"/>	
l. Notarized certification by owners	<input checked="" type="checkbox"/>	
m. Typical sections, profile of streets	<input type="checkbox"/>	
n. Monuments and pins	<input checked="" type="checkbox"/>	
o. Abutting property owner's information	<input checked="" type="checkbox"/>	
p. Notation of evidence of occupation	<input checked="" type="checkbox"/>	
q. Pertinent documents citation	<input checked="" type="checkbox"/>	
r. Superimposition of the original tracts	<input checked="" type="checkbox"/>	
s. Statements and signature blocks	<input checked="" type="checkbox"/>	
3. Supplementary Information Sec 15.20.4.18	<input type="checkbox"/>	
a. Zoning Change approval from Zoning Official	<input type="checkbox"/>	
b. Certification of proper installation and bond.	<input type="checkbox"/>	
General Comments	Please resubmit for final approval prior to recording	

VILLAGE OF SOUTH LEBANON PLANNING COMMISSION APPLICATION

1. Application Type: (check the appropriate box) (all plans must be folded when submitted)

<input type="checkbox"/>	Draft Plan-Discussion Only	<input type="checkbox"/>	Preliminary PUD
<input type="checkbox"/>	Site Plan	<input type="checkbox"/>	Final PUD
<input type="checkbox"/>	Landscape Plan	<input type="checkbox"/>	Rezoning
<input type="checkbox"/>	Construction Drawings. (Please complete Fee Schedule form on Page 2)	<input type="checkbox"/>	Lot Split
<input type="checkbox"/>	Preliminary Plat (Please complete Fee Schedule form on Page 2)	<input type="checkbox"/>	Conditional Use
<input checked="" type="checkbox"/>	Final Plat or Replat	<input type="checkbox"/>	Special Meeting
<input type="checkbox"/>	Right-of-Way Dedication Plat	<input type="checkbox"/>	Other:

(See Page 3 for complete Fee Schedule and Submittal Requirement Information)

2. Development Information:

Development/Business Name: <u>Riverside Phase One</u>	
Type of Business/Project Description: <u>Subdivision</u>	
Location: <u>Section 147, town 4, Range 3</u>	Size of Building: <u>—</u>
Current Zoning: <u>R-3</u>	Rezone to: <u>—</u>
Total Acreage: <u>15.4210</u>	Acres to be Rezoned: <u>—</u>
Number of Employees: <u>—</u>	Number of Fleet Vehicles: <u>—</u>
Current Owner of the Property	Project Contact (Architect, Engineer, Planner)
Name: <u>Lebanon Mason, LLC</u>	Name: <u>Bayer Becker, attn: Mike Dooley</u>
Address: <u>4020 Kinross Lakes, Suite 200</u>	Address: <u>6900 Tylersville Road, Suite A</u>
City: <u>Richfield</u> State: <u>OH</u> Zip: <u>44286</u>	City: <u>Mason</u> State: <u>OH</u> Zip: <u>45040</u>
Telephone: <u>513-404-6401</u> Fax: <u>—</u>	Telephone: <u>513-336-6600</u> Fax: <u>513-336-9365</u>
Applicant(s): <u>Lebanon Mason, LLC</u>	
Address: <u>4020 Kinross Lakes, Suite 200</u>	
City: <u>Richfield</u> State: <u>OH</u> Zip: <u>44286</u>	
Telephone: <u>513-404-6401</u> Fax: <u>—</u>	
Please Print Applicant's Name Here: <u>GRAHAM S. PAELIN</u>	
* Applicant's Signature: <u>Graham S. Paelin</u>	

* Applicant is responsible for payment of all fees (See Fee Schedule and Footnotes on Pages 3 and 4 respectively.)

TO BE COMPLETED BY THE VILLAGE OF SOUTH LEBANON

Application Number: _____	Date of Planning Commission Meeting: _____
Fee Paid: _____	Drawn: _____ Check #: _____ Date: _____ Initial: _____
Legal Notices Advertised: _____	Mailed to Surrounding Property Owners: _____

3. Rezoning and Preliminary PUD Plan Requests

Surrounding Property Owners: Please list the names and addresses of all **Owners of Real Property** within 300 feet of any part of the property as such names and addresses appear on the most recent tax duplicate on 2 sets of mailing labels. (See submittal requirements on page 3).

4. Signatures Required

By signing this application, I attest under penalty of law that all the information given above is correct to the best of my knowledge.

Please **Print** Applicant's Name: GRAHAM S. PARLIN

Applicant's Signature:  Date: 12/16/16

Property Owner's Signature:  Date: 12-19-16

5. Fee Determination for Construction Drawings and Preliminary Plat Submittals

Please create a detailed breakdown of the estimated infrastructure breakdown cost for the project and attach it to this application. For Construction Drawings complete Item 1 and for Preliminary Plats complete Item 2.

Total Infrastructure Cost \$ _____ (A)

1 – Construction Drawing Fee Breakdown

1.25% of Total Infrastructure Cost* (Line A x 0.0125) \$ _____ (B)

1.50% of Total Infrastructure Cost** (Line A x 0.015) + \$ _____ (C)

Application Fee + \$ 150.00 _____ (D)

Total Construction Drawing Fee (Line B + C + D) \$ _____ (E)

2 – Preliminary Plat Fee Breakdown:

0.25% of Total Infrastructure Cost* (Line A x 0.0025) \$ _____ (F)

Application Fee + \$ 150.00 _____ (G)

Total Preliminary Plat Fee (Line F + G) \$ _____ (H)

Total Paid with Application/Submittals (Line E+H) \$ _____

* Due upon submittal

** Due prior to construction

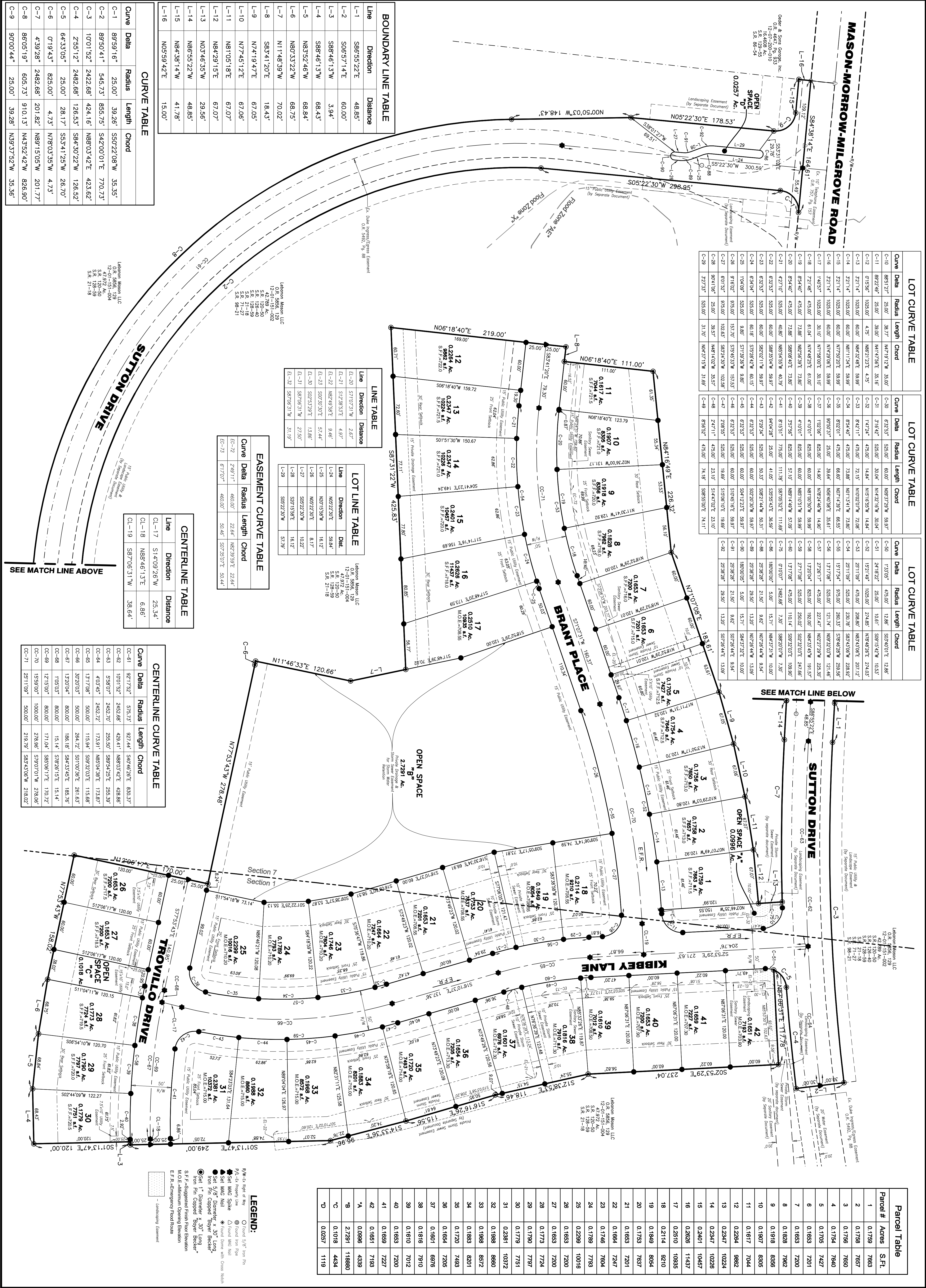
6. Fee Schedule and Submittal Requirements

Article/Ord. Reference	Item	Fees ⁽³⁾⁽⁴⁾	Submittal Requirements
Article 20 Article 14	Preliminary Plats Final PUDs	\$150 + 0.25% of estimated infrastructure construction costs ⁽¹⁾	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 20	Construction Drawings	\$150 + 2.75% of estimated infrastructure construction costs ⁽¹⁾ (Include estimate with application) (1.25% due at time of submittal and 1.5% due before construction begins) ⁽²⁾	4 Copies ⁽⁵⁾ 2 Drainage Calculations 2 Detailed Spreadsheet of the Estimated Infrastructure Costs
Article 20	Final / Dedication Plats	\$350	10 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 20	Lot Split / Minor Subdivision / Replats	\$75 per lot	3 Survey Plats ⁽⁵⁾ & Legal Descriptions 1 New Deed + 1 Original Deed
Article 18	Site Plans	\$400 + \$5 per unit Multi-family \$400 + \$20 per acre Commercial/ Office/Industrial/Institutional	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 17	Landscape Plans	\$150 + \$10 per acre	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper)
Article 7	Zoning District Map Change Zoning Text Change	\$400 + \$10 per acre	20 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 2 Sets of Mailing Labels
Article 5	Variances / Appeals	\$400	8 Copies + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 1 Set of Mailing Labels
Article 14	Preliminary PUD Plans	\$2,500 + \$20 per acre	12 Copies ⁽⁵⁾ + 1 Copy (Ledger Paper) 1 List of Surrounding Property Owners + 2 Sets of Mailing Labels
Article 14	Final PUD Plans	Site Plan Review Fees Apply	Site Plan Review Submittal Requirements Apply
Article 6	Conditional Use / Similar Use	\$250 + applicable site plan fee	15 Copies + 1 Copy Ledger Paper ⁽⁵⁾
Article 3	Zoning Permit	\$250 + \$0.03 per square foot of building area (Village water tap and inspection fee required if utilizing Village Water [proof of payment of County tap fee if utilizing County Water]; Village sewer tap and inspection fee also required)	5 Copies
Article 3	Temporary Use Permit	\$50	5 Copies
Article 3	Certificate of Occupancy	\$50	3 Copies
Ord. No: 2008-14; Permit App.	Flood Hazard Area Development Permit	\$50	3 Copies of Permit Application w/ applicable submittal requirements (stated on Page 2 of 2 of Permit Application + Engineering "No Rise" Certification (if applicable))
	Special Meeting	\$500 + Application Fee, if any ⁽⁶⁾	Depends Upon Type of Application or Meeting Requested

FOOTNOTES TO FEE SCHEDULE

- (1) Infrastructure construction costs include all infrastructure costs associated with a development including, but not limited to, drainage facilities, sanitary sewers, waterlines, grading, excavation, and street improvements.
- (2) Any inspection conducted outside the normal eight-hour workday of Monday through Friday, excluding holidays, 8:00 a.m. until 4:30 p.m., shall be charged at one and a half (1.5) times the standard rate. The Village reserves the right to charge fees in addition to the fees specified in the table above if, due to the applicant's responsibility, excessive review and/or field inspections are necessary, and as determined by the Village Engineer. Such fees for review and field inspection by Village staff shall be charged at the standard rate of forty dollars (\$40) per hour, plus a three-fourths (.75) hour charge for travel time. Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. Performance and maintenance bonds will not be released until payment of all fees is received.
- (3) Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. The applicant shall pay the difference when consultant fees charged to the Village are in excess of the established Fee Schedule base amounts. Final approvals will be held until all fees charged by consultants are paid-in-full by the applicant.
- (4) The fee for review of a revised application shall be sixty (60) percent of the fee specified for the initial or first review of such application.
- (5) All plans must be folded to fit a legal sized file folder with the title showing in the lower right-hand corner.
- (6) Special meetings that require one or more of the Village's consultants to attend shall require payment of the special meeting fee before the meeting is scheduled. Examples of special meetings include staff meetings and non-scheduled Planning Commission meetings requested by an applicant and/or developer.

1. Complete applications submitted by the deadlines posted above will be processed and placed on the next regularly scheduled Planning Commission meeting.
2. Incomplete applications or applications that do not comply with the minimum Village Zoning Ordinance and/or Subdivision Regulations or applications that are not submitted by the above posted deadlines will not be placed on the next regularly scheduled Planning Commission meeting agenda.
3. The applicant will be notified if his or her application is not accepted for processing. The Village Administrator and/or Zoning Administrator will discuss the reasons why the application was not accepted and the necessary steps required to meet the next meeting deadline.
4. Applicants may request a special Planning Commission meeting. Requests should be made with the Village Administrator at least two weeks in advance of the requested special meeting date. The meeting will be set if approved by the Planning Commission chairperson and if a quorum can be present. A \$500 fee plus applicable application fee must be paid in advance of the meeting (See Fee Schedule and Footnotes to Fee Schedule).
5. Meeting dates are subject to change due to unforeseen scheduling conflicts and holidays. Applicants should call the Village to check meeting dates in advance of the application deadlines.



VILLAGE OF SOUTH LEBANON MEMORANDUM

TO: Planning Commission
FROM: Jerry Haddix, Village Administrator
RE: Case 17-02P, Site Plan Review for Patel Convenience Store
DATE: January 9, 2017

On the agenda for the January 12th meeting is an application for approval of the site plan and landscape design for the Patel Convenience Store to be located at 720 East State Route 22-3 roughly 610' east of the intersection of Cochran Road and Route 22-3 (the "Project") submitted by Maestro Development, the developer/builder for the Project (the "Applicant").

Background

The Project that is the subject of the application is located east of the intersection of Cochran Road and Route 22-3. The property is currently owned by Timothy and Mary Kay Books. The present zoning classification is B-2 General Business District. The Project consists of a 5,564 s.f convenience store with eight (8) fueling pumps. Also planned are two (2) adjoining 1,040 s.f commercial spaces. Water service is currently provided by the Warren County Water & Sewer Department. The Village and Warren County have been working to provide sanitary sewer to this site. A resolution to the sanitary sewer issue should come in the next week or two.

The Ohio Department of Transportation (ODOT) will need to approve all access points onto Route 22-3 from this development. Also, if the sanitary sewer is provided by Warren County, ODOT will need to approve all boring under the road.

The Hamilton Township Fire Department has submitted comments and those comments have been forwarded to the Applicant. Their response is attached.

Zoning Code Analysis

Upon review of the plans, it has been determined that the drawings generally satisfy the Zoning Regulations and Design Guidelines and Standards with the exceptions listed in the attached letter and accompanying site plan approval checklist.

Zoning Process

Pursuant to Article 18 of the Village Zoning Regulations, the development of any new use or construction of any new structures shall require site plan approval prior to construction and/or occupancy. At the first regular meeting at which a site plan proposal is considered, the Commission shall first determine whether to accept the plan for processing. If accepted for processing, the Commission shall review the site plan in relation to applicable standards and regulations, and in relation to the intent and purpose of the Village Zoning Regulations and Design Guidelines and Standards. The Commission shall consider the comments and recommendations from the Village Administrator, the Village Engineer, public safety officials and other reviewing agencies.

If the Commission determines that revisions are necessary to bring the site plan into compliance with applicable standards and regulations, the applicant shall be given the opportunity to submit a revised site plan. The Commission shall review the revised site plan and application materials within 30 days after the Village received a complete revised site plan application.

The Commission shall make a determination on a site plan based on the requirements and standards in the Zoning Regulations and Design Guidelines and Standards. The Commission is authorized to grant approval, grant approval subject to conditions, or reject a site plan. If the Commission chooses to grant approval subject to conditions, the Commission may waive its right to review the revised plan, and instead authorize the Zoning Administrator, or his designee, to review and recommend approval of the resubmitted plans if all required conditions have been addressed.

If construction is not started within 18 months of final approval of the site plan, the site plan approval becomes null and void and a new application for site plan review shall be required.

Recommendation

Staff recommends that the Planning Commission grant its approval of the site plan and landscape plan for the Patel Convenience Store with the following conditions:

Prior to issuance of a zoning permit, the applicant must resubmit the site plan and provide the following information to the Zoning Administrator:

1. Addressing the comments in the attached Site Plan Approval Checklist to the satisfaction of Choice One Engineering;
2. Approval of the Ohio Department of Transportation (ODOT) for access to and from Route 22-3 and boring approval (if applicable);
3. Meet the requirements of the Warren County Water & Sewer Department;
4. Meet the requirements of the Hamilton Township Fire Department;
5. Provision of sanitary sewer to this site by either Warren County or the Village of South Lebanon;
6. Signage will be reviewed separately by the Zoning Administrator at a later date

Attachments

Planning Commission Application

Site Plan and Landscape Plan

Village Engineer Checklist

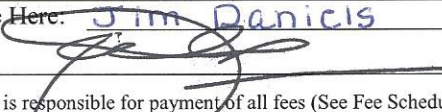
VILLAGE OF SOUTH LEBANON PLANNING COMMISSION APPLICATION

1. Application Type: (check the appropriate box) (all plans must be folded when submitted)

<input type="checkbox"/>	Draft Plan-Discussion Only	<input type="checkbox"/>	Preliminary PUD
<input checked="" type="checkbox"/>	Site Plan	<input type="checkbox"/>	Final PUD
<input checked="" type="checkbox"/>	Landscape Plan	<input type="checkbox"/>	Rezoning
<input type="checkbox"/>	Construction Drawings. (Please complete Fee Schedule form on Page 2)	<input type="checkbox"/>	Lot Split
<input type="checkbox"/>	Preliminary Plat (Please complete Fee Schedule form on Page 2)	<input type="checkbox"/>	Conditional Use
<input type="checkbox"/>	Final Plat or Replat	<input type="checkbox"/>	Special Meeting
<input type="checkbox"/>	Right-of-Way Dedication Plat	<input type="checkbox"/>	Other:

(See Page 3 for complete Fee Schedule and Submittal Requirement Information)

2. Development Information:

Development/Business Name:			
Type of Business/Project Description: <u>New gas + convenience store</u>			
Location: <u>720 East St Rt 22 + 3</u>		Size of Building: <u>one story, 7644 sq ft</u>	
Current Zoning: <u>B2 General Business</u>		Rezone to: <u>none</u>	
Total Acreage: <u>1.865 AC</u>		Acres to be Rezoned: <u>none</u>	
Number of Employees: <u>8</u>		Number of Fleet Vehicles: <u>none</u>	
Current Owner of the Property		Project Contact (Architect, Engineer, Planner)	
Name: <u>Timothy + Kay Books</u>		Name: <u>Norris + Dierkers Architects</u>	
Address: <u>720 East State Rt 22 + 3</u>		Address: <u>9091 Montgomery Rd</u>	
City: <u>Morrow</u>	State: <u>Oh</u>	City: <u>Cincinnati</u>	State: <u>Oh</u>
Zip: <u>45152</u>		Zip: <u>45242</u>	
Telephone:	Fax:	Telephone: <u>513-791-4474</u>	Fax: <u>513-791-4524</u>
Applicant(s): <u>Maestro Development</u>			
Address: <u>9380 Montgomery Rd Suite 205</u>			
City: <u>Cincinnati</u>	State: <u>Oh</u>	Zip: <u>45242</u>	
Telephone: <u>513-608-0878</u>	Fax: <u>n/a</u>		
Please Print Applicant's Name Here: <u>Jim Danicis</u>			
* Applicant's Signature: 			
* Applicant is responsible for payment of all fees (See Fee Schedule and Footnotes on Pages 3 and 4 respectively.)			

TO BE COMPLETED BY THE VILLAGE OF SOUTH LEBANON

Application Number: _____ Date of Planning Commission Meeting: _____

Fee Paid: _____ Drawn: _____ Check #: _____ Date: _____ Initial: _____

Legal Notices Advertised: _____ Mailed to Surrounding Property Owners: _____

3. Rezoning and Preliminary PUD Plan Requests

Surrounding Property Owners: Please list the names and addresses of all **Owners of Real Property** within 300 feet of any part of the property as such names and addresses appear on the most recent tax duplicate on 2 sets of mailing labels. (See submittal requirements on page 3). attached

4. Signatures Required

By signing this application, I attest under penalty of law that all the information given above is correct to the best of my knowledge.

Please **Print** Applicant's Name: Maestro Development

Applicant's Signature: [Signature] Date: 11.29.2016

Property Owner's Signature: [Signature] Date: 11/30/16

5. Fee Determination for Construction Drawings and Preliminary Plat Submittals

Please create a detailed breakdown of the estimated infrastructure breakdown cost for the project and attach it to this application. For Construction Drawings complete Item 1 and for Preliminary Plats complete Item 2.

Total Infrastructure Cost \$ _____ (A)

1 – Construction Drawing Fee Breakdown

1.25% of Total Infrastructure Cost* (Line A x 0.0125) \$ _____ (B)

1.50% of Total Infrastructure Cost** (Line A x 0.015) + \$ _____ (C)

Application Fee + \$ 150.00 _____ (D)

Total Construction Drawing Fee (Line B + C + D) \$ _____ (E)

2 – Preliminary Plat Fee Breakdown:

0.25% of Total Infrastructure Cost* (Line A x 0.0025) \$ _____ (F)

Application Fee + \$ 150.00 _____ (G)

Total Preliminary Plat Fee (Line F + G) \$ _____ (H)

Total Paid with Application/Submittals (Line E+H) \$ _____

* Due upon submittal

** Due prior to construction

6. Fee Schedule and Submittal Requirements

Article/Ord. Reference	Item	Fees ⁽³⁾⁽⁴⁾	Submittal Requirements
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Article 3	Zoning Permit	\$250 + \$0.03 per square foot of building area (Village water tap and inspection fee required if utilizing Village Water [proof of payment of County tap fee if utilizing County Water]; Village sewer tap and inspection fee also required)	5 Copies
Article 3	Temporary Use Permit	\$50	5 Copies
Article 3	Certificate of Occupancy	\$50	3 Copies
Ord. No: 2008-14; Permit App.	Flood Hazard Area Development Permit	\$50	3 Copies of Permit Application w/ applicable submittal requirements (stated on Page 2 of 2 of Permit Application + Engineering "No Rise" Certification (if applicable))
	Special Meeting	\$500 + Application Fee, if any ⁽⁶⁾	Depends Upon Type of Application or Meeting Requested

FOOTNOTES TO FEE SCHEDULE

- (1) Infrastructure construction costs include all infrastructure costs associated with a development including, but not limited to, drainage facilities, sanitary sewers, waterlines, grading, excavation, and street improvements.
- (2) Any inspection conducted outside the normal eight-hour workday of Monday through Friday, excluding holidays, 8:00 a.m. until 4:30 p.m., shall be charged at one and a half (1.5) times the standard rate. The Village reserves the right to charge fees in addition to the fees specified in the table above if, due to the applicant's responsibility, excessive review and/or field inspections are necessary, and as determined by the Village Engineer. Such fees for review and field inspection by Village staff shall be charged at the standard rate of forty dollars (\$40) per hour, plus a three-fourths (.75) hour charge for travel time. Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. Performance and maintenance bonds will not be released until payment of all fees is received.
- (3) Any review and inspection completed by consultants on behalf of the Village shall be charged to the applicant at the same rate charged by the consultants. The applicant shall pay the difference when consultant fees charged to the Village are in excess of the established Fee Schedule base amounts. Final approvals will be held until all fees charged by consultants are paid-in-full by the applicant.
- (4) The fee for review of a revised application shall be sixty (60) percent of the fee specified for the initial or first review of such application.
- (5) All plans must be folded to fit a legal sized file folder with the title showing in the lower right-hand corner.
- (6) Special meetings that require one or more of the Village's consultants to attend shall require payment of the special meeting fee before the meeting is scheduled. Examples of special meetings include staff meetings and non-scheduled Planning Commission meetings requested by an applicant and/or developer.

1. Complete applications submitted by the deadlines posted above will be processed and placed on the next regularly scheduled Planning Commission meeting.
2. Incomplete applications or applications that do not comply with the minimum Village Zoning Ordinance and/or Subdivision Regulations or applications that are not submitted by the above posted deadlines will not be placed on the next regularly scheduled Planning Commission meeting agenda.
3. The applicant will be notified if his or her application is not accepted for processing. The Village Administrator and/or Zoning Administrator will discuss the reasons why the application was not accepted and the necessary steps required to meet the next meeting deadline.
4. Applicants may request a special Planning Commission meeting. Requests should be made with the Village Administrator at least two weeks in advance of the requested special meeting date. The meeting will be set if approved by the Planning Commission chairperson and if a quorum can be present. A \$500 fee plus applicable application fee must be paid in advance of the meeting (See Fee Schedule and Footnotes to Fee Schedule).
5. Meeting dates are subject to change due to unforeseen scheduling conflicts and holidays. Applicants should call the Village to check meeting dates in advance of the application deadlines.



VILLAGE OF SOUTH LEBANON
Site Plan Approval Checklist

Development Name: Patel
Reviewed By: Brian Schmidt–Choice One Engineering

Date Received 12/08/16
Date Reviewed 12/12/16

All items below are required for site plan approval from the Village Engineer

	Approved	Comments
1. Required Information Sec 15.18.20		
a. Appropriate Scale	<input checked="" type="checkbox"/>	
b. Sec 15.18.20.2 (a-n)	<input type="checkbox"/>	Note(g) – provide legal and common description of property Note(i) – provide a seal Note(j) – provide a written description of proposed land Note(k) – provide zoning classification of abutting properties Note(l) –provide proximity to section corner and major thoroughfares Note(n) – provide the net acreage minus the right-of-way
c. Sec 15.18.20.3 (a-x)	<input type="checkbox"/>	Note (b) – show front yard setback dimension Note (k) – Both P1 light pole locations allow light to portray over the property line. Revise and photometric sheet with method of shielding lights from shining off the site Note (u) – show an easement on the property for the sanitary sewer main extension.
d. Sec 15.18.20.4 (a-g)	<input checked="" type="checkbox"/>	
e. Sec 15.18.20.5 (a-f)	<input type="checkbox"/>	Note (a) – Indicate the closest Fire Hydrant to service the property. Show proposed gas and electric service to the facility. Note (e) – Provide additional pavement elevations for the driveway tie-in to the roadway
f. Sec 15.18.20.6 (a-l)	<input type="checkbox"/>	Not applicable
g. Sec 15.18.20.7 (a-b)	<input type="checkbox"/>	Please provide the estimated number of employees
h. Sec 15.18.20.8	<input checked="" type="checkbox"/>	
i. Sec 15.18.20.9	<input checked="" type="checkbox"/>	
2. Drainage Plan Sec 15.18.21.12		
Floodway/Floodplain Impacts	<input checked="" type="checkbox"/>	
Detention and Retention Basin Calculations	<input type="checkbox"/>	Please submit for review
Overflow Routing on and off-site	<input type="checkbox"/>	Please indicate on the drawings and submit for review
Storm Sewer	<input checked="" type="checkbox"/>	
3. Utility Connection Plan Sec 15.18.21.15		
a. Main Extension Plan	<input checked="" type="checkbox"/>	
b. Lateral Service Plan	<input checked="" type="checkbox"/>	Sanitary sewer connection not approved yet.
4. Access Control Plan Sec 15.18.21.8-11,20-21		



VILLAGE OF SOUTH LEBANON
Site Plan Approval Checklist

Development Name: Patel
Reviewed By: Brian Schmidt—Choice One Engineering

Date Received 12/08/16
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a. Driveway Widths and Locations	<input checked="" type="checkbox"/>	
b. Emergency Vehicle Access	<input checked="" type="checkbox"/>	
c. Pedestrian Access	<input checked="" type="checkbox"/>	
d. Coordination with Adjacent Sites	<input checked="" type="checkbox"/>	
e. Barrier-free Access	<input checked="" type="checkbox"/>	
5. Off-Street Parking	Sec 15.12	
a. Sec 15.12.2 (1-12)	<input type="checkbox"/>	The handicap parking stall doesn't meet the required 162 square foot size.
b. Sec 15.12.3 and 15.12.7	<input checked="" type="checkbox"/>	
c. Sec 15.12.4	<input checked="" type="checkbox"/>	
d. Sec 15.12.5	<input type="checkbox"/>	Not applicable
e. Sec 15.12.6	<input type="checkbox"/>	Not applicable
f. Sec 15.12.8	<input checked="" type="checkbox"/>	
g. Sec 15.12.9	<input type="checkbox"/>	Not applicable
h. Sec 15.12.10	<input type="checkbox"/>	Please provide/show the two required off-street loading spaces (12'x65')
i. Sec 15.12.11 (1-4)	<input type="checkbox"/>	Please provide/show the two required off-street loading spaces (12'x65')
6. Erosion Control	Sec 15.18.21.13	
a. Erosion Control Plan	<input checked="" type="checkbox"/>	
7. Lighting Plan	Sec 15.18.21.14	
a. Compliance with Sec 15.18.21.14	<input type="checkbox"/>	Both P1 light pole locations allow light to portray over the property line (revise) and update photometric sheet to show the light levels beyond the property lines
8. Appearance	Sec 15.18.21.3	
a. Compliance with Sec 15.18.21.3	<input checked="" type="checkbox"/>	
9. Landscape Plan	Sec 15.17	
a. Sec 15.17.4 (a-b)	<input type="checkbox"/>	Front yard of all non-residential uses shall be planted with sod or hydro-seeded. Per the amount of unpaved areas there should be 14 evergreen trees.
b. Sec 15.17.5.1 (a-d)	<input type="checkbox"/>	Indicate that the landscape buffer widths. Please indicate that a continuous 30" high screen is provided.
c. Sec 15.17.6 (1-3)	<input type="checkbox"/>	Mulch in buffer areas shall be 4" thick
d. Sec 15.17.7	<input checked="" type="checkbox"/>	
e. Sec 15.17.8	<input checked="" type="checkbox"/>	
f. Sec 15.17.9.1	<input type="checkbox"/>	Not applicable
g. Sec 15.17.9.2 (a-c)	<input type="checkbox"/>	Provide the calculation that indicates the required



VILLAGE OF SOUTH LEBANON
Site Plan Approval Checklist

Development Name: Patel
Reviewed By: Brian Schmidt—Choice One Engineering

Date Received 12/08/16
Date Reviewed 12/12/16

		landscaping square footage
h. Sec 15.17.10 (1-4)	<input type="checkbox"/>	Provide the calculation that indicates the required landscaping square footage
i. Sec 15.17.11 (1-2)	<input checked="" type="checkbox"/>	
10. Screening	Sec 15.18.21.16	
a. Privacy	<input checked="" type="checkbox"/>	
b. Off-Street Parking	<input checked="" type="checkbox"/>	
c. Loading Areas	<input type="checkbox"/>	Please provide/show the two required off-street loading spaces (12'x65') and the corresponding landscaping
d. Dumpster Enclosure	<input checked="" type="checkbox"/>	
11. All Other Items		
General Comments	<p>Note: The sanitary sewer connection is not approved as a decision is pending on whether Warren County or the Village of South Lebanon will service this site with sewer.</p> <p>Sheet C100</p> <ul style="list-style-type: none"> • Please provide the turn lane length calculations. • Add the appropriate left turn sign indicating the new turn lane on SR 22/3. <p>Sheet C101</p> <ul style="list-style-type: none"> • Note #8 – the project is not within the City of Norwood • Note #14 – please update the note to reflect ODOT's current spec 611 not 603. • Please indicate the pavement composition around the gas pumps. • CB #106 T/G 842.42 • The pavement slope in the handicap parking area is at 2.05%, it must be 2.0% or less. • Should the top 3/8" holes in Detail 101 should be 839.50? <p>Sheet C102</p> <ul style="list-style-type: none"> • SWPPP Note #2 – The total site area is 1.865 acres. <p>Sheet C103</p> <ul style="list-style-type: none"> • Call out what to do with the existing water service for the property. 	

Jerry Haddix

From: Jim Watson <JWatson@McGillSmithPunshon.com>
Sent: Monday, January 09, 2017 10:10 AM
To: James Daniels; csanders@hamilton-township.org; Jerry Haddix
Cc: Michele Loos
Subject: 720 East US Route 22&3 - Fire Hydrants and Ladder Truck Turning
Attachments: Patel - Ex Fire Hydrants.pdf; Auto-WC FT-Patel Convenience.pdf

Mr. Sanders-

Pursuant to your comments, attached is a diagram modelling how a ladder truck will be able to maneuver around the proposed parking area. Also attached is an exhibit showing the locations of nearby existing fire hydrants located within 400 feet of the proposed building. Please advise if these hydrants will provide sufficient coverage.

James H. Watson, P.E.
Senior Vice President
Office 513.759.0004 ext 205
Direct 513.759.3205
Cell 513.479.6986
Fax 513.563.7099

McGill Smith Punshon, Inc.
CREATING YOUR VISION
3700 Park 42 Drive, Suite 190B
Cincinnati, OH 45241
www.mcgillsmithpunshon.com

From: Cory Sanders [<mailto:csanders@hamilton-township.org>]
Sent: Friday, December 16, 2016 2:32 PM
To: Jerry Haddix <jhaddix@southlebanonohio.org>
Subject: 720 East US Route 22&3

At this stage the developer needs to show fire hydrant location and show that we will have enough room to get a Ladder Truck and a Fire Engine around the parking lot with cars parked in the parking spaces. Then we will need to have a set of drawing for the building. So I can go over those for further questions.

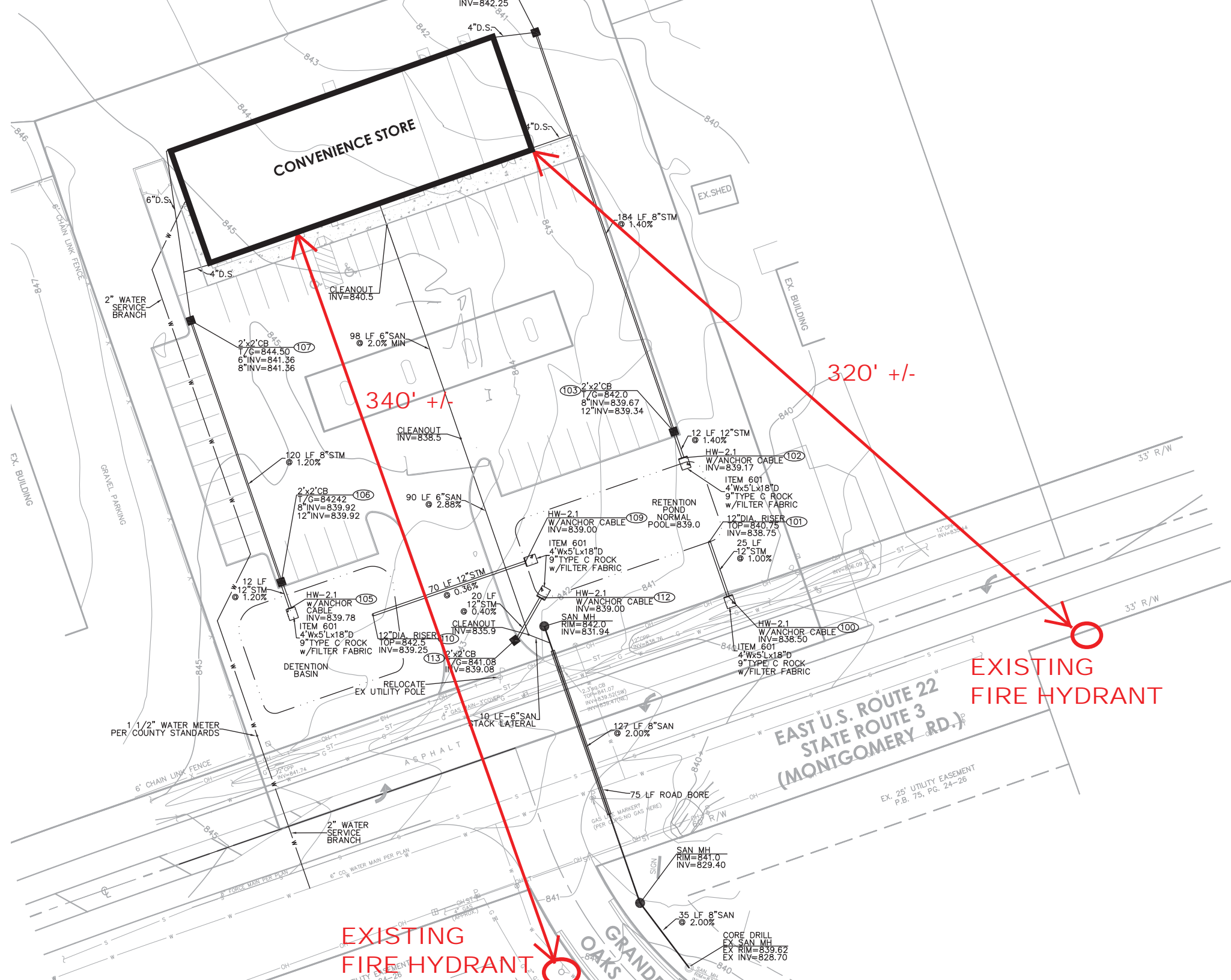
Cory Sanders

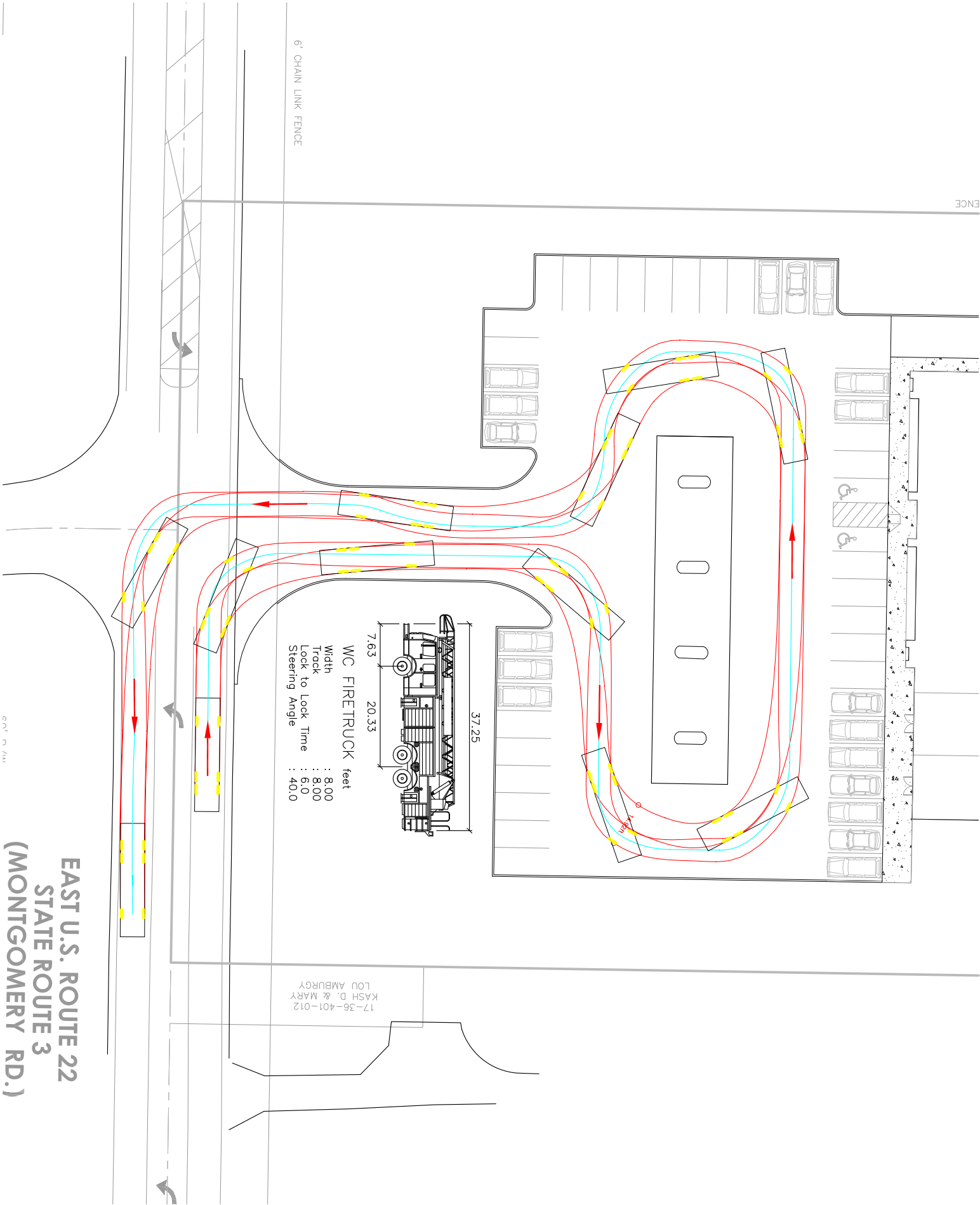
Hamilton Township

Fire/Zoning Inspector

Email csanders@hamilton-township.org

Ceil (513)334-9689





Jerry Haddix

From: Conley, Molly M. <Molly.Conley@co.warren.oh.us>
Sent: Tuesday, December 20, 2016 1:59 PM
To: Jerry Haddix
Subject: RE: Site Plan review - 720 East Route 22 & 3

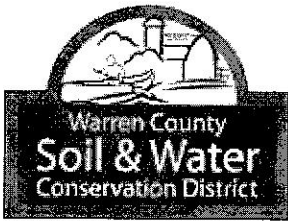
Jerry,

I have reviewed the Patel Convenience Store plans for compliance to the sediment and erosion control regulations of Warren County and have no comments. The plans are in compliance. I will inspect this project on a monthly basis.

Molly M. Conley

Natural Resource Engineer

PHONE - (513) 695-3085 | EMAIL Molly.Conley@co.warren.oh.us



Warren County Soil and Water Conservation District

320 E. Silver Street, Suite 300

Lebanon, Ohio 45036

PHONE (513) 695-1337

<http://www.warrenswcd.com/>



From: Jerry Haddix [mailto:jhaddix@southlebanonohio.org]
Sent: Wednesday, December 07, 2016 12:08 PM
To: Brian Reese (breesee@hamilton-township.org); Conley, Molly M.
Subject: Site Plan review - 720 East Route 22 & 3

For you review, attached is a site plan for the Patel Convenience Store proposed at the 720 E. U.S. Route 22 & 3 property. Please submit any comments to me by 12/16/16.

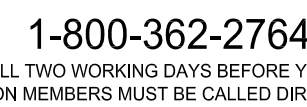
If you have any questions, please contact me.

Thanks,

Jerry Haddix
Village Administrator
Village of South Lebanon
99 N. High Street
South Lebanon, Ohio 45065
(513) 494-2296



17-36-401-008
ROBERT & MONICA WORRELL



CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

1. PARCEL DATA:
 PARCEL No. 17-36-401-011 ADDRESS: 720 ROUTE 22 & 3
 AREA: 1.865 ACRES MORROW, OH 45152

2. OWNER
 TIMOTHY E. & MARY KAY BOOKS
 720 ROUTE 22 & 3
 MORROW, OH 45152

3. ZONING CLASSIFICATION: "B2" GENERAL BUSINESS

4. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OR OUTSIDE FACE OF BRICK, BLOCK OR BUILDING FACIA UNLESS OTHERWISE INDICATED.

5. ALL WORK SHALL COMPLY WITH LOCAL AND STATE CODES AND STANDARDS OF CONSTRUCTION.

6. PARKING SPACES SHALL BE DEPARTED BY 4" WIDE WHITE PAINTED STRIPES.

7. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO START OF CONSTRUCTION.

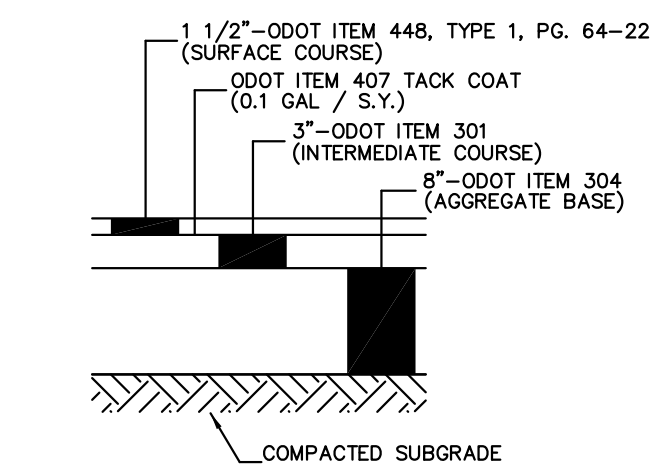
8. CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT.

9. CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.

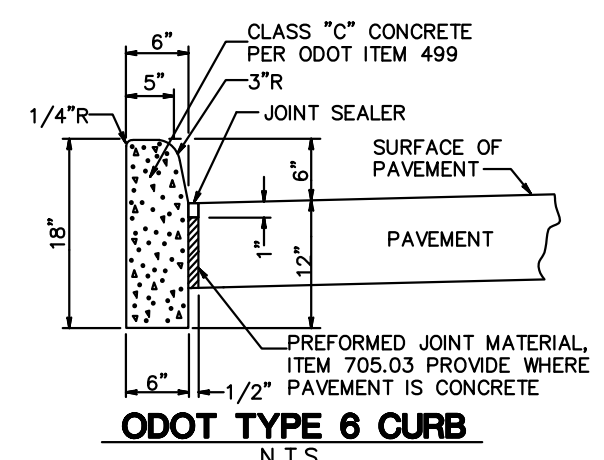
10. ALL UNPAVED AREAS WILL BE LANDSCAPED AS LAWN.

11. PARKING ANALYSIS
 PARKING REQUIREMENTS
 RETAIL SPACE (1 SPACE / 150 S.F.) 51
 TOTAL SPACES PROVIDED 51
 (INCLUDES 8 SPACES AT REFUELING STATION)

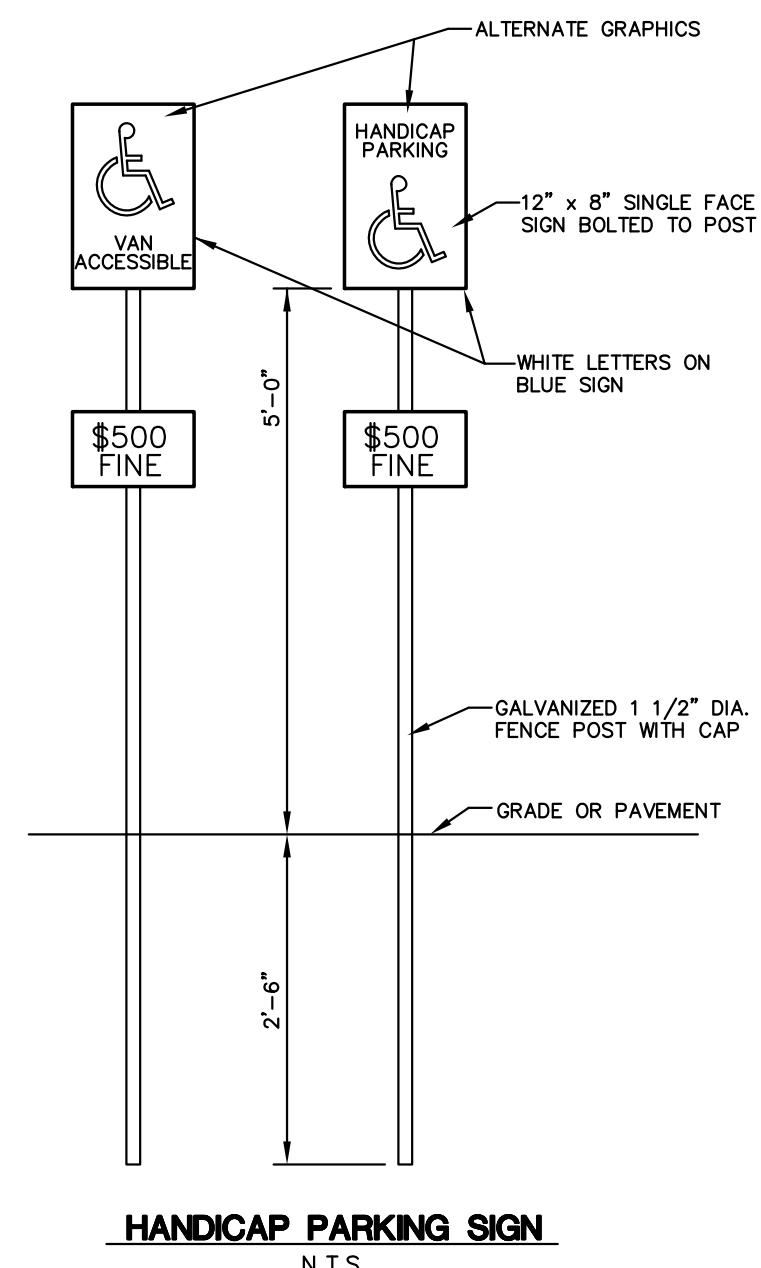
12. IMPERVIOUS SURFACE AREA: 38,268 S.F.
 % IMPERVIOUS SURFACE: 52.4%



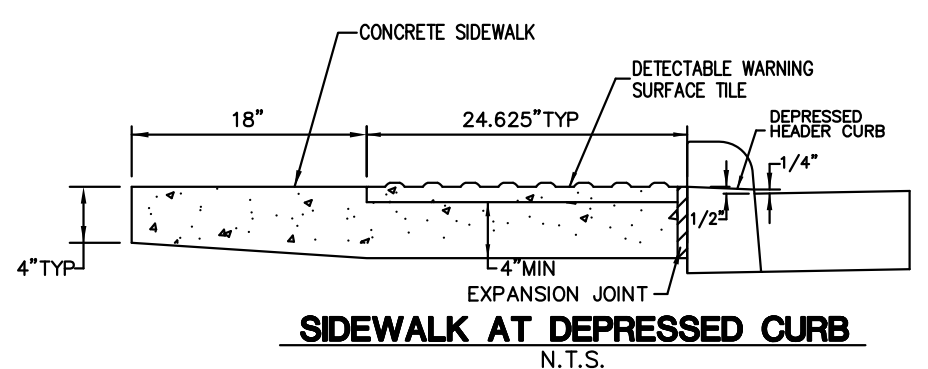
MEDIUM DUTY ASPHALT PAVEMENT
N T S



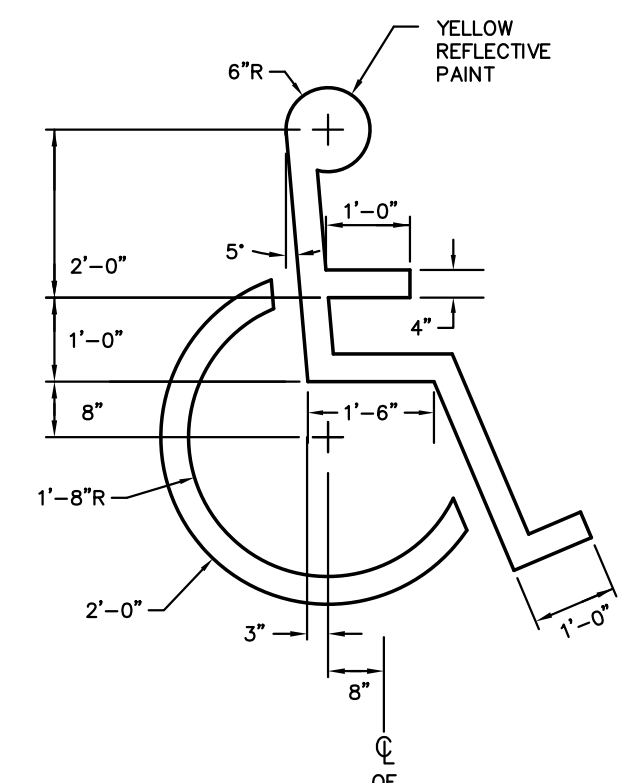
ODOT TYPE 6 CURB
N.T.S.



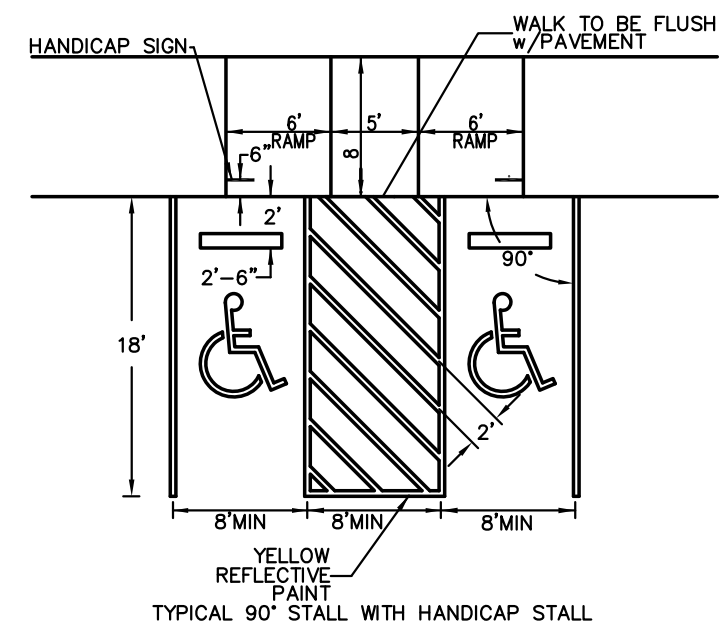
HANDICAP PARKING SIGN



SIDEWALK AT DEPRESSED CURB



INTERNATIONAL HANDICAP SYMBOL



TYPICAL HANDICAP PARKING STRIPING

C100	LAYOUT PLAN
C101	UTILITY PLAN
C102	GRADING PLAN
C103	DEMOLITION PLAN
L100	LANDSCAPE PLAN
L200	PHOTOMETRIC PLAN

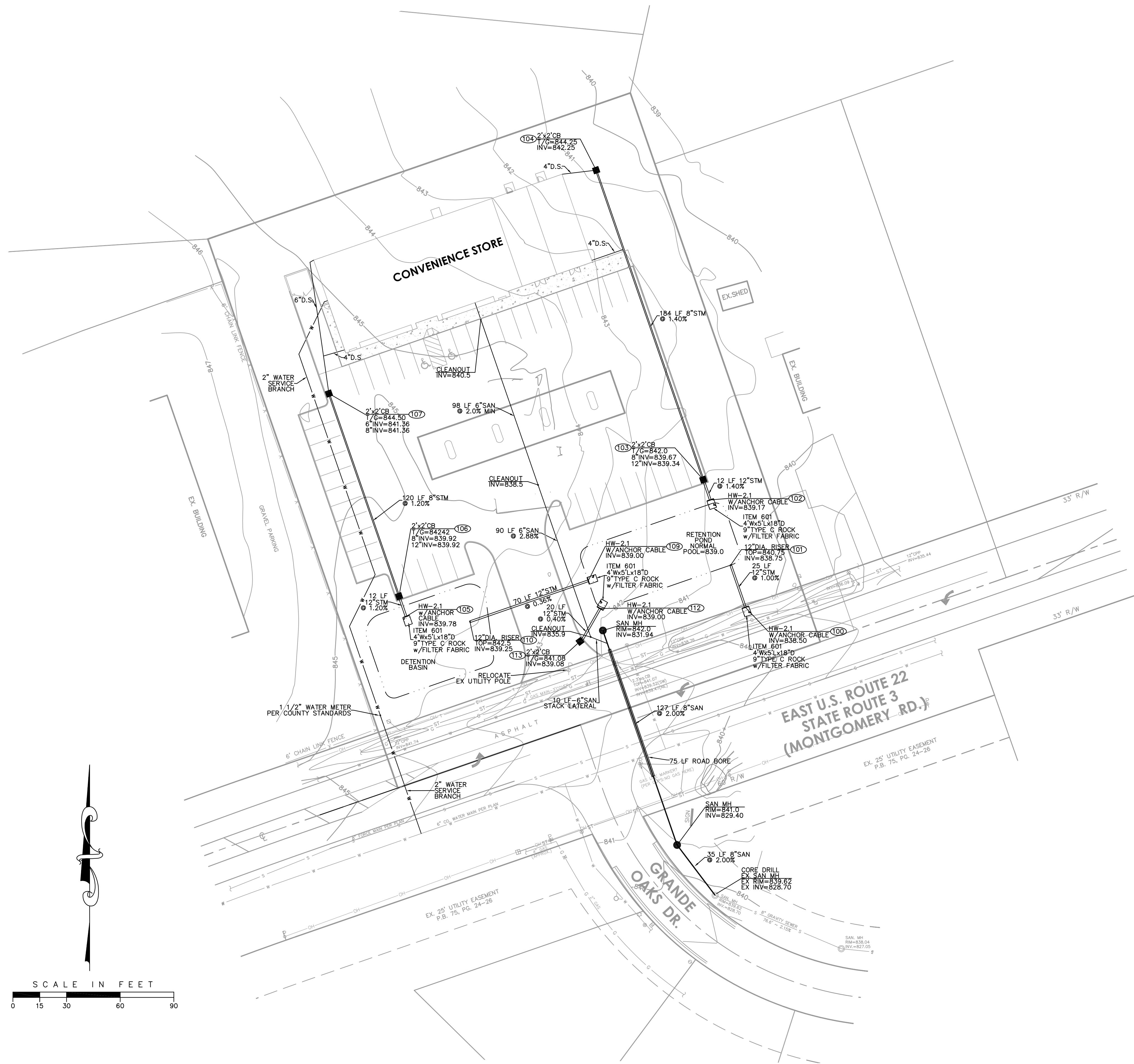
VILLAGE of SOUTH LEBANON
WARREN COUNTY, OHIO
LAYOUT PLAN



Engineers • Architects • Surveyors • Landscape Architects • Planners

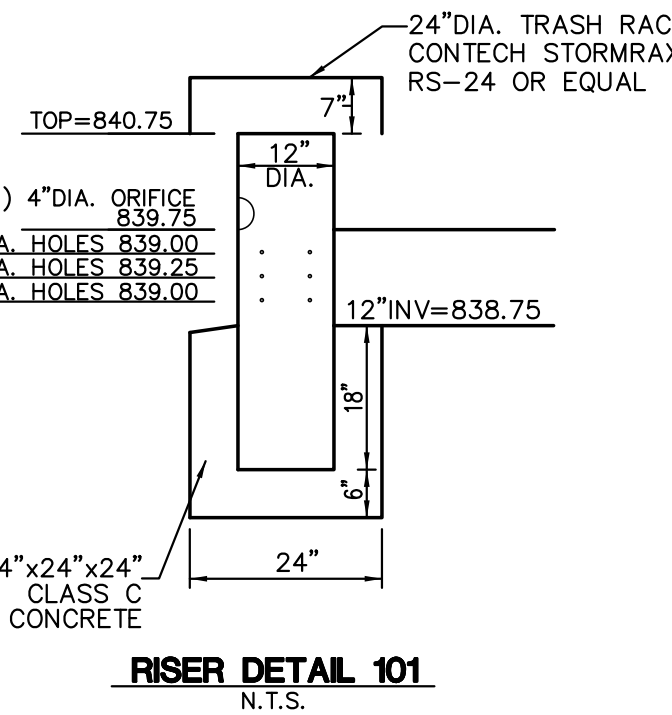
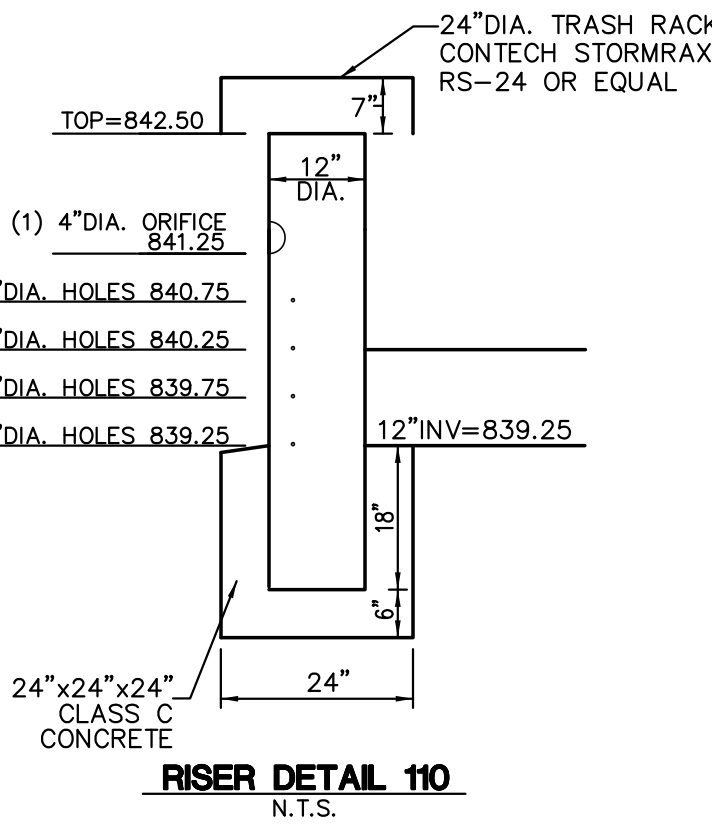
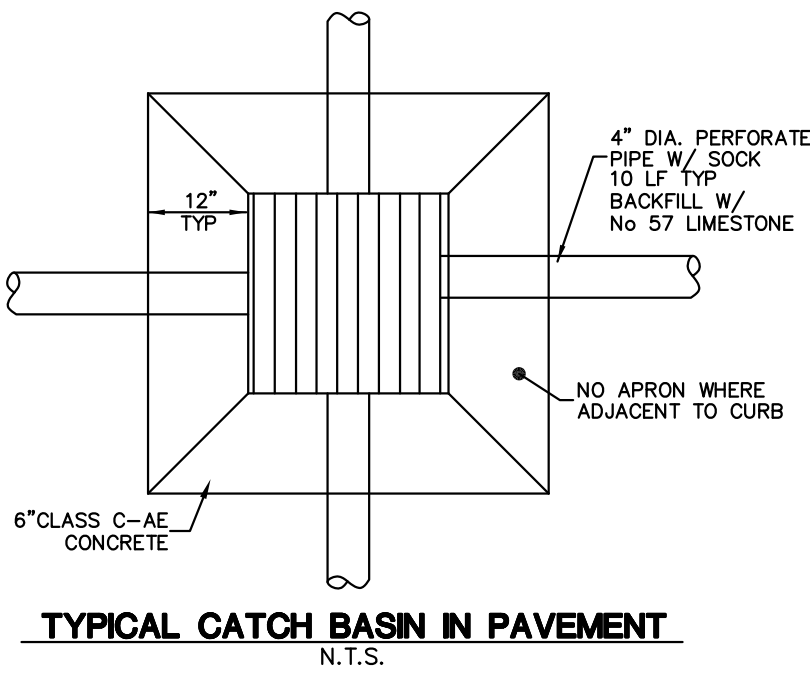
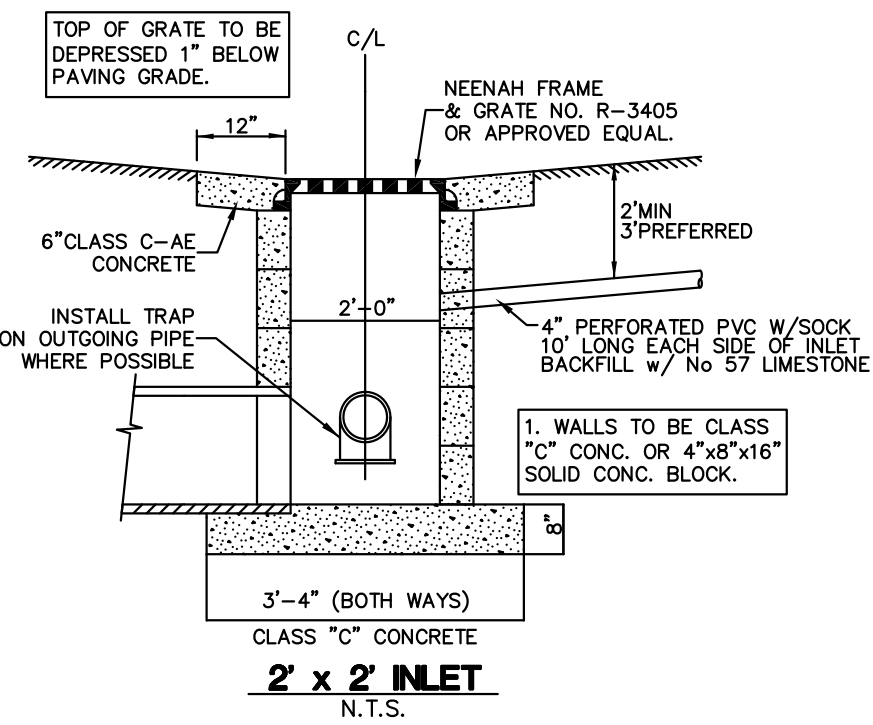
Revision	By	Date

Drawn By	BC	Date	11/02/16	Project No.	06308.03	Sheet No.	C100
Project Mgr.	JW	Scale	1" = 30'	Points D.B.	0630803 TBC		



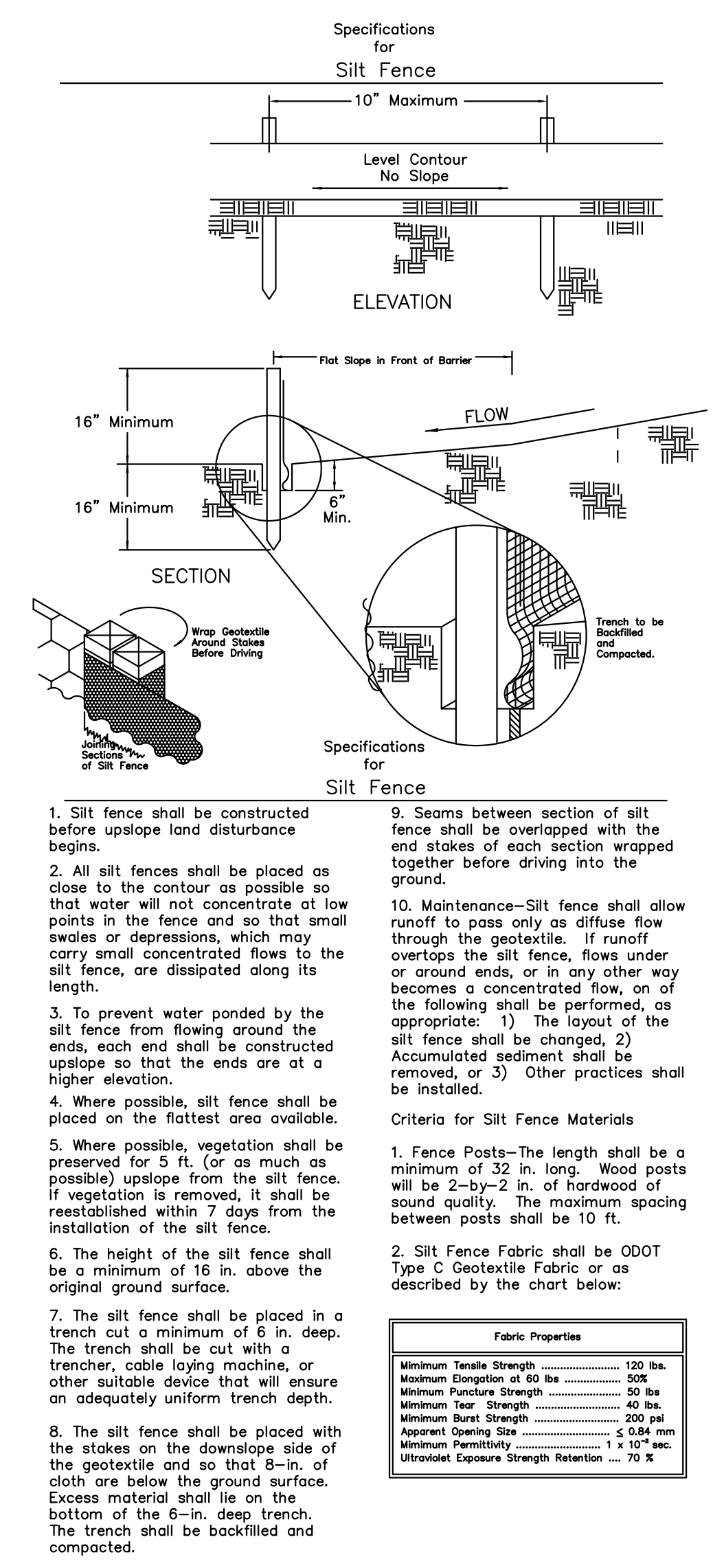
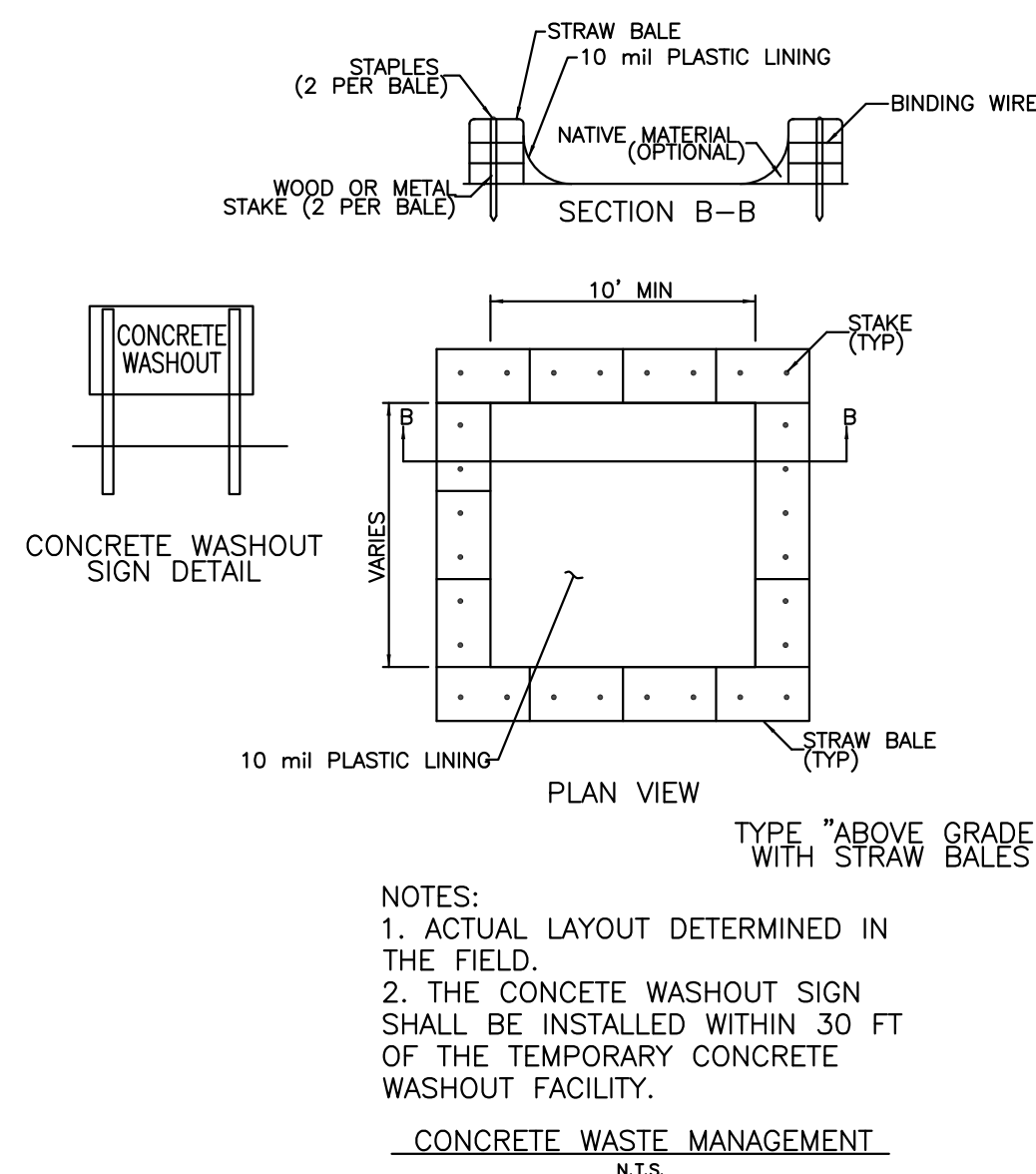
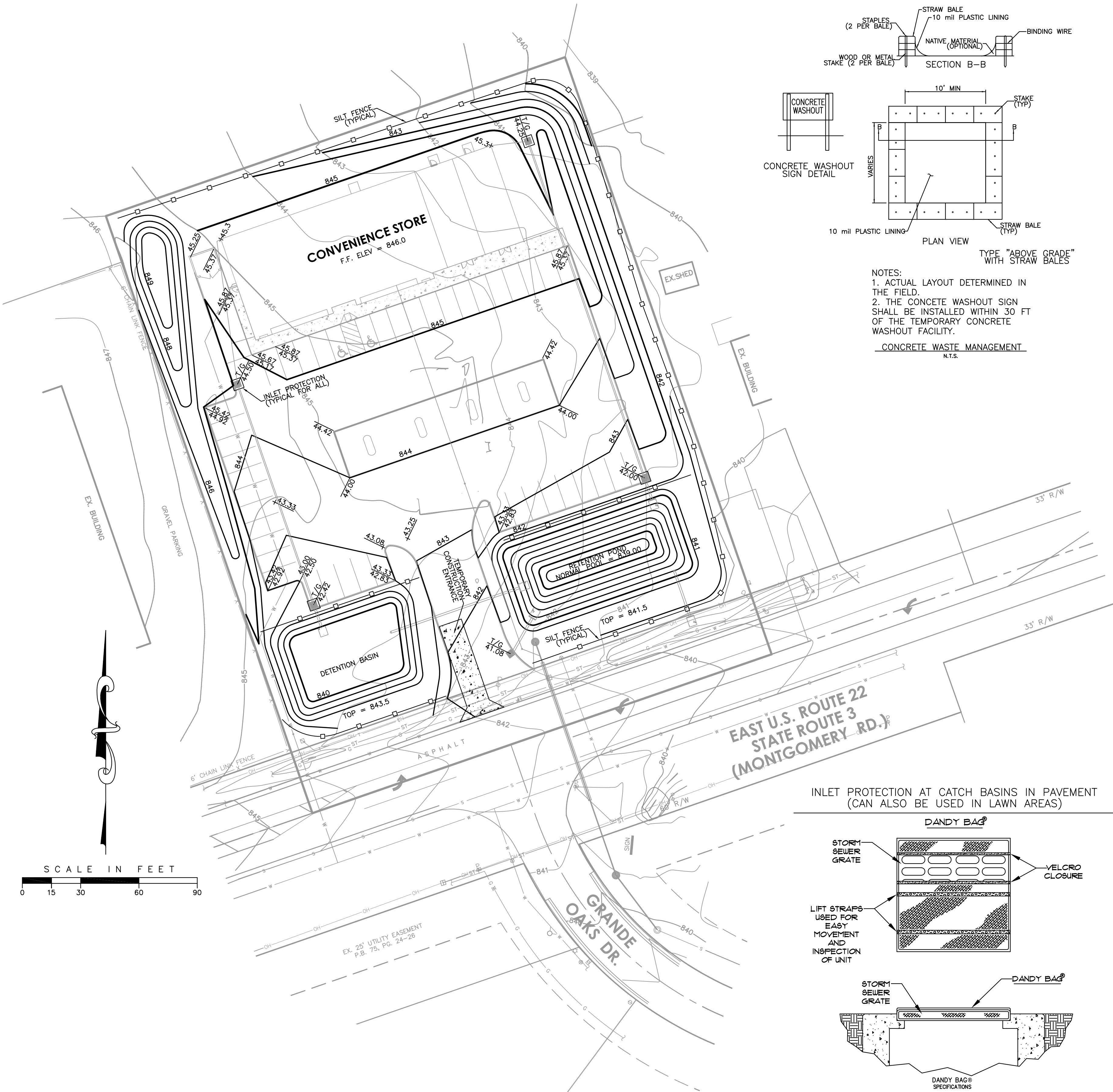
UTILITY PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION "STATE OF OHIO DEPARTMENT OF TRANSPORTATION, CONSTRUCTION AND MATERIAL SPECIFICATIONS," AND "STANDARD DRAWINGS".
2. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES.
3. CONTRACTOR SHALL BE FAMILIAR WITH THE EXISTING UTILITIES AND EASEMENTS IN THE CONSTRUCTION AREA AND SHALL BE HELD RESPONSIBLE FOR THE DAMAGE OF EXISTING UTILITIES DURING CONSTRUCTION.
4. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND INVERTS OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY THE ENGINEER IF EXISTING UTILITIES INTERFERE WITH THE NORMAL INTENT OF THE PROPOSED UTILITY LAYOUT.
5. PERFORM ALL EXCAVATION TO INSTALL UNDERGROUND UTILITIES AS INDICATED ON THE PLANS. EXCAVATION SHALL BE IN ACCORDANCE WITH OSHA AND OTHER REGULATORY AGENCIES.
6. THE CONTRACTOR IS TO COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY.
7. SERVICE UTILITY MATERIALS SHALL BE PER THE APPROPRIATE UTILITY COMPANY DESIGN CRITERIA.
8. CONTRACTOR SHALL CONTACT CITY OF NORWOOD FOR INSPECTION PRIOR TO PERFORMING ANY WORK IN THE RIGHT-OF-WAY. ALL RESTORATION SHALL BE IN ACCORDANCE WITH NORWOOD'S REQUIREMENTS.
9. THE CONTRACTOR SHALL CLEAN THE STREETS OF MUD AND DEBRIS GENERATED BY CONSTRUCTION ACTIVITIES, MEETING THE REQUIREMENTS OF THE VILLAGE OF SOUTH LEBANON.
10. STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED IN THE LATEST EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND THE OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DRAWINGS.
11. GRANULAR BACKFILL IS REQUIRED IN ALL PIPE TRENCHES LOCATED UNDER PAVEMENT OR SIDEWALKS OUTSIDE OF THE PUBLIC RIGHT-OF-WAY. BACKFILL SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY AND TESTED BY APPROVED AGENT, UNLESS NOTED OTHERWISE.
12. PUBLIC STORM SEWER PIPE SHALL BE PVC (ASTM D3034, ASTM F949 OR EQUAL), REINFORCED CONCRETE, CLASS IV OR ADS HIGH PERFORMANCE PIPE (ASTM F2736 OR EQUAL).
13. PRIVATE STORM SEWER PIPE SHALL BE TYPE "C" CONDUIT CONFORMING WITH ODOT 706.02, REINFORCED CONCRETE CLASS IV, ODOT 707.33 (ADS N-12). CORRUGATED POLYETHYLENE SMOOTH LINED PIPE OR ODOT 707.42, PVC CONFORMING WITH ASTM F949.
14. STORM SEWER PIPE BEDDING SHALL BE CLASS "B" PER ODOT 603.06. BACKFILLING SHALL CONFORM WITH ODOT 603.10 AND 603.11.
15. DOWNSPOUT COLLECTOR PIPING SHALL MEET THE REQUIREMENTS OF ODOT 707.33, 707.42 (ASTM F949) OR 707.43 (ASTM F794). PIPE SHALL BE INSTALLED WITH WATERTIGHT CONNECTIONS. A SUITABLE CLEANOUT SHALL BE INSTALLED AT THE UPSTREAM END OF THE COLLECTOR PIPE. CLEANOUT STRUCTURES SHALL BE OF UNIFORM DESIGN WITH READILY ACCESSIBLE CAPS LEVEL WITH THE GROUND. CONNECT DOWNSPOUTS TO COLLECTOR PIPING WITH APPROPRIATE CONNECTION HUBS.
16. ALL CATCH BASINS & MANHOLES IN THE PAVEMENT AREAS SHALL BE CONSTRUCTED WITH TRAFFIC-DUTY FRAMES AND GRATES.
17. ROOF DRAINS, FOUNDATION DRAINS, COOLING WATER, SWIMMING POOL WATER OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
18. SEE ARCHITECTURAL PLANS BY OTHERS FOR EXACT LOCATIONS AND DETAILS OF UTILITY CONNECTIONS AT THE BUILDING. COORDINATE FINAL UTILITY LOCATIONS OF GAS, ELECTRIC, TELEPHONE AND CABLE WITH THE UTILITY PROVIDER AND ARCHITECT.
19. LANDSCAPE IRRIGATION BY OTHERS.



PATEL CONVENIENCE STORE
VILLAGE of SOUTH LEBANON
WARREN COUNTY, OHIO
UTILITY PLAN

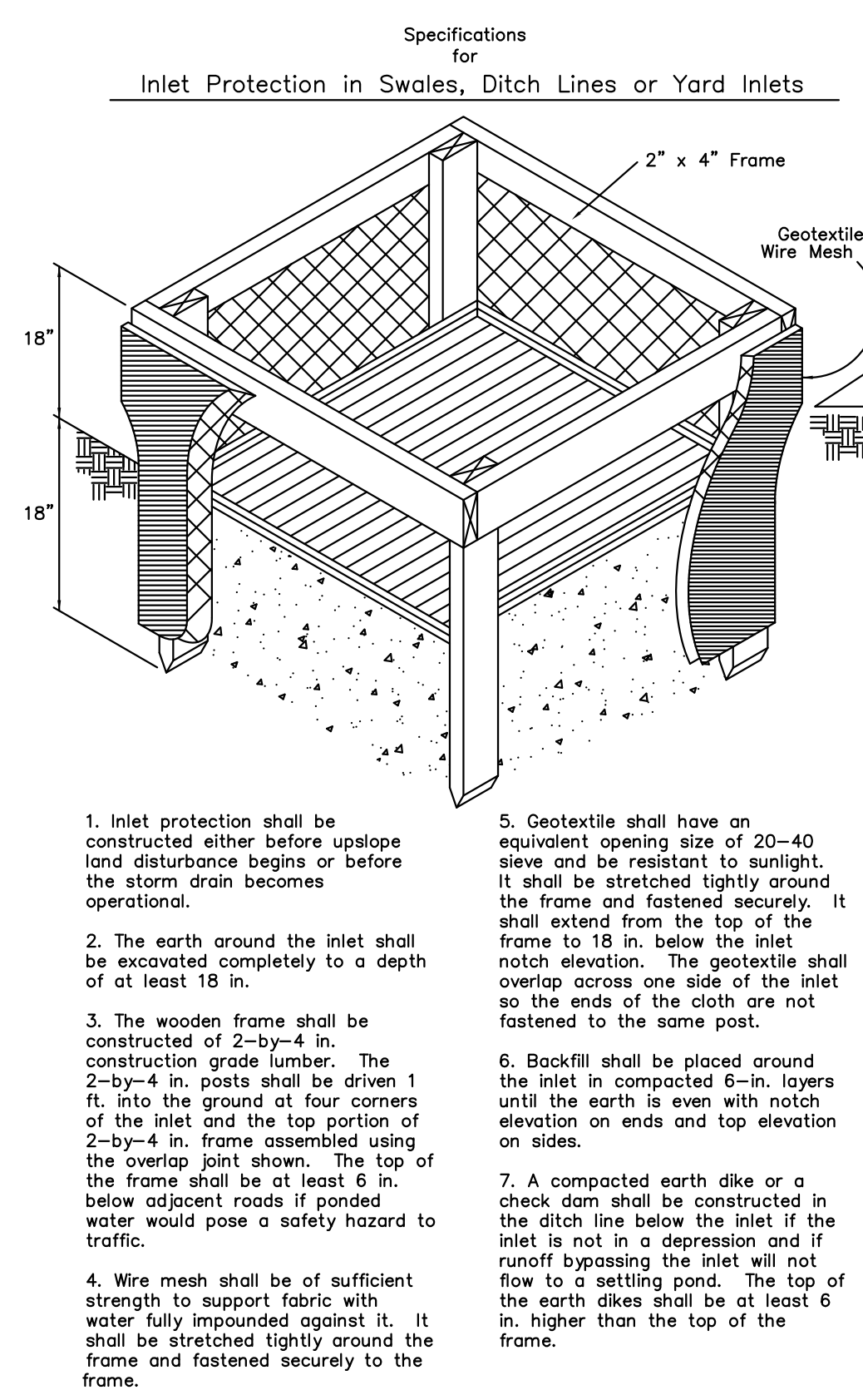
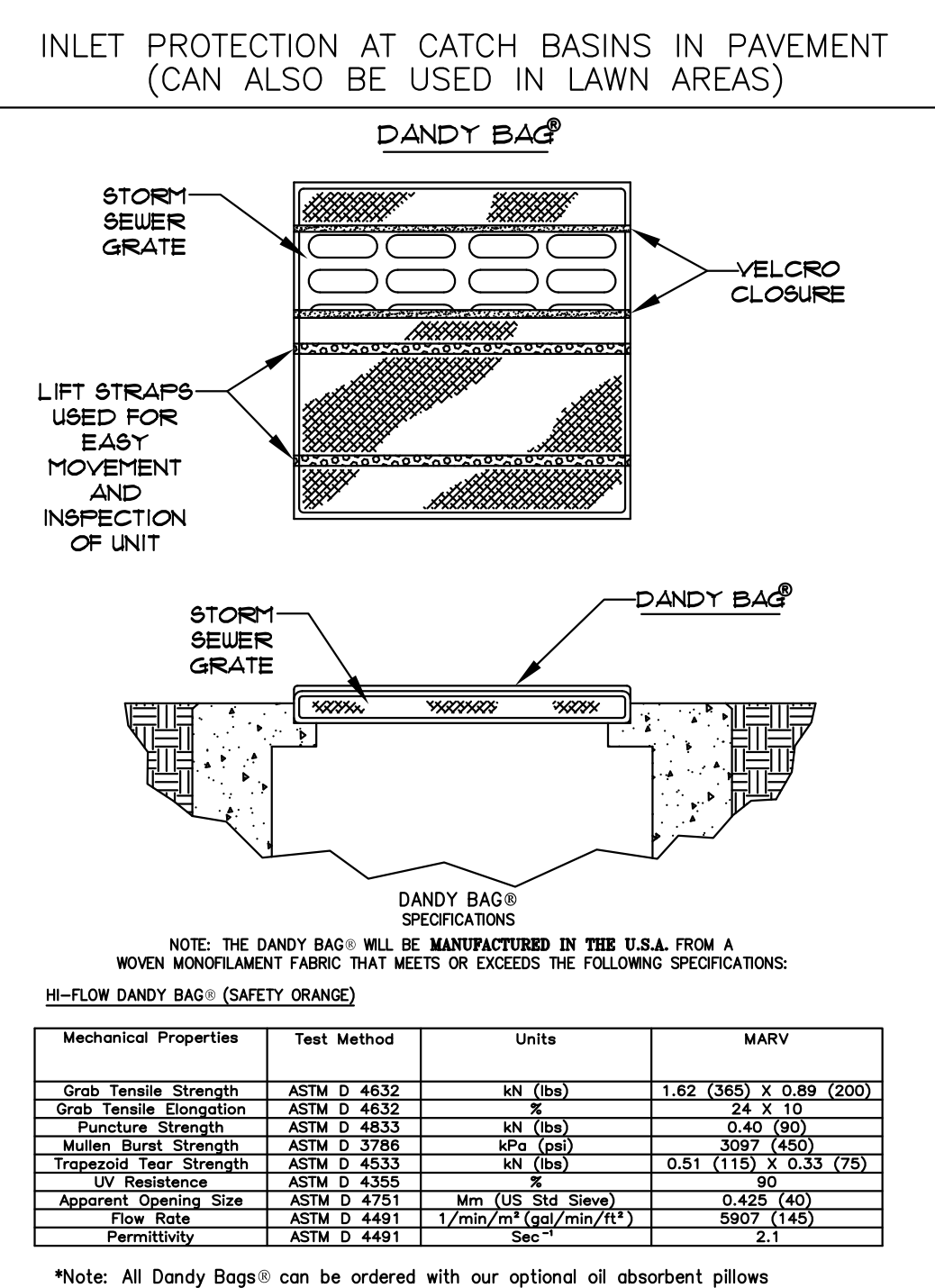
Revision	By	Date



- ### SWPPP NOTES
- PROJECT INVOLVES THE CONSTRUCTION OF A CONVENIENCE STORE & GAS STATION.
 - TOTAL SITE AREA IS 1.67 ACRES. AREA TO BE DISTURBED IS APPROXIMATELY 1.6 ACRES.
 - IMPERVIOUS AREA TO BE CONSTRUCTED IS 0.9 ACRES.
 - PRE-CONSTRUCTION RUNOFF COEFFICIENT IS 0.30. POST-CONSTRUCTION RUNOFF COEFFICIENT IS 0.62.
 - THE PREDOMINATE SOIL TYPE IS WESTBORO-SCHAFFER SILT LOAM.
 - THE LITTLE MIAMI RIVER IS THE FIRST NAMED STREAM RECEIVING RUNOFF FROM SITE.
 - CONSTRUCTION NOI STORM WATER GENERAL PERMIT NUMBER: APPLICATION TO BE MADE
 - PROJECT DURATION: 11/01/2016 TO 04/01/2017
 - SITE OPERATOR: MAESTRO DEVELOPMENT CO.
9380 MONTGOMERY ROAD, SUITE 205
CINCINNATI, OH 45242
(513) 791-6898
CONTACT: JAMES DANIELS
JDANIELS@DANIELSHOMES.COM
 - SWPPP CONTACT: MAESTRO DEVELOPMENT CO.
9380 MONTGOMERY ROAD, SUITE 205
CINCINNATI, OH 45242
(513) 791-6898
CONTACT: JAMES DANIELS
JDANIELS@DANIELSHOMES.COM
 - UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE ODNH RAINWATER AND LAND DEVELOPMENT MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
 - THE OWNER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OCH000004, AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.
 - THE SWP3 PLAN, NOI APPLICATION, AND LETTER GRANTING PERMIT COVERAGE SHALL BE RETAINED ON SITE AT ALL TIMES IN THE PROJECT TRAILER AND SHALL BE MADE AVAILABLE IMMEDIATELY UPON REQUEST OF THE OHIO EPA DIRECTOR OR HIS AUTHORIZED REPRESENTATIVE DURING WORKING HOURS.
 - SEDIMENT & EROSION CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE VILLAGE OF SOUTH LEBANON AND OHIO EPA.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS, PERIMETER SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE.
 - EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS A FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES SHALL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF-SITE.
 - ALL MUD OR DIRT TRACKED ONTO ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED.
 - SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY AND SHALL REMAIN FUNCTIONAL UNTIL THE DEVELOPMENT AREA IS STABILIZED, AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED. APPROPRIATE CONTROL MUST BE PLACED AND EXISTING CONTROLS MUST BE ALTERED TO ADDRESS CHANGING DRAINAGE PATTERNS.
 - ALL GROUND SURFACES THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION ACTIVITY AND ARE TO FINAL GRADE SHALL BE SEEDED AND MULCHED OR STABILIZED WITHIN 7 DAYS IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659 AND IN ACCORDANCE WITH THE CONDITIONS OF THE NPDES STORM WATER GENERAL PERMIT.

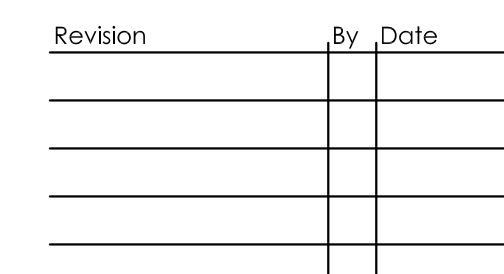
- ### MAINTENANCE OF CONTROLS:
- SHOULD THE FABRIC ON A FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE PREPARED FOR SEEDING.

- ### INSPECTION OF CONTROLS
- INSPECTIONS SHALL BE PERFORMED BY QUALIFIED INSPECTION PERSONNEL AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER A STORM EVENT GREATER THAN 1/2 INCH OF RAINFALL WITHIN A 24-HOUR DURATION USING A STANDARDIZED INSPECTION FORM AND TRACKED USING A STANDARDIZED INSPECTION LOG. THESE SHALL BE MAINTAINED THROUGHOUT THE PROJECT AND KEPT ON FILE FOR THREE YEARS AFTER TERMINATION OF CONSTRUCTION ACTIVITIES. EROSION PREVENTION AND SEDIMENT CONTROL (EP&SC) MEASURES SHALL BE OBSERVED TO ENSURE CORRECT OPERATION. DISCHARGE LOCATIONS SHALL BE INSPECTED TO DETERMINE EFFECTIVENESS OF EP&SC MEASURES IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS. WHERE PRACTICES REQUIRE REPAIR OR MAINTENANCE, IT MUST BE ACCOMPLISHED WITHIN THREE DAYS OF THE INSPECTION OR AS SOON AS SITE CONDITIONS ALLOW. REPAIRS TO SEDIMENT PONDS SHALL BE COMPLETED WITHIN 10 DAYS OF INSPECTION.
- FOR BMPS NOT MEETING THE INTENDED FUNCTION, A NEW BMP SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION. BMPS SPECIFIED ON THE SWP3 THAT ARE NOT INSTALLED SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION.

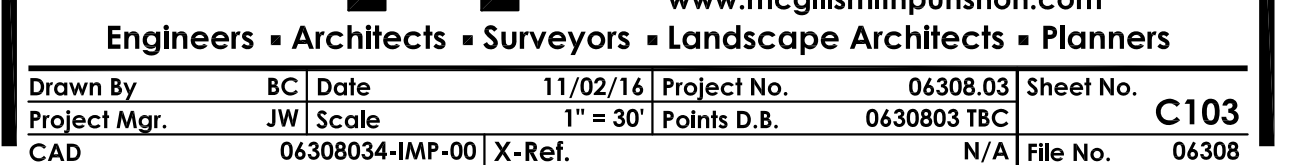


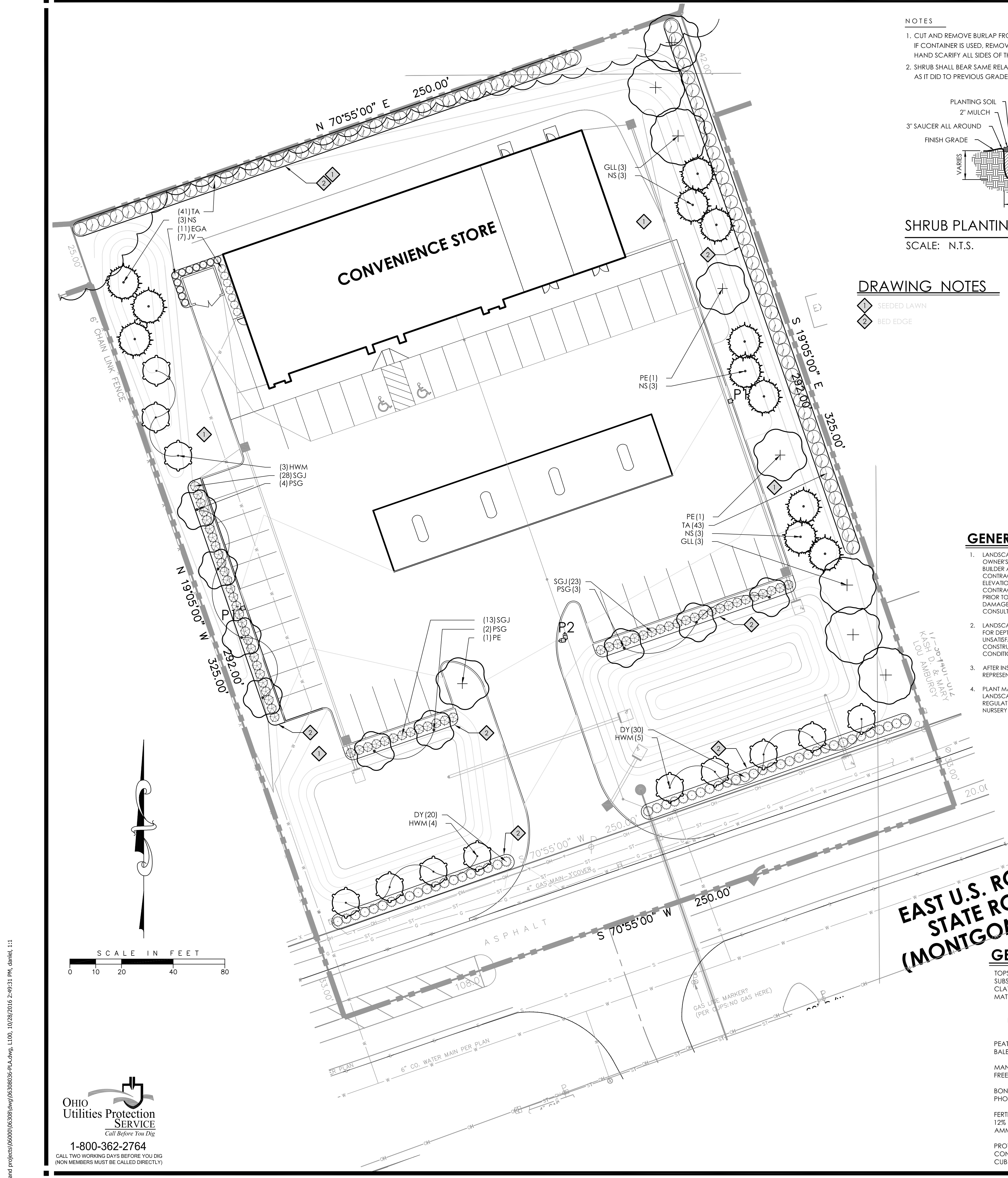
PATEL CONVENIENCE STORE

VILLAGE of SOUTH LEBANON
WARREN COUNTY, OHIO
GRADING PLAN



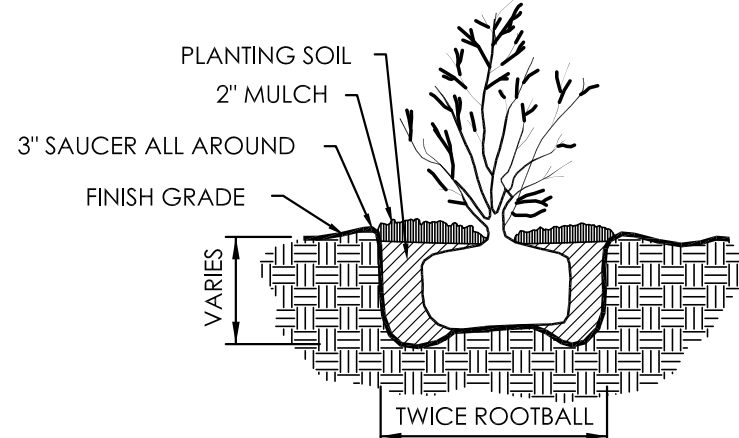
VILLAGE of SOUTH LEBANON
WARREN COUNTY, OHIO
DEMOLITION PLAN





NOTES

1. CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. IF CONTAINER IS USED, REMOVE CONTAINER AND LIGHTLY HAND SCARIFY ALL SIDES OF THE ROOT SYSTEM.
2. SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IT DID TO PREVIOUS GRADE.



SHRUB PLANTING

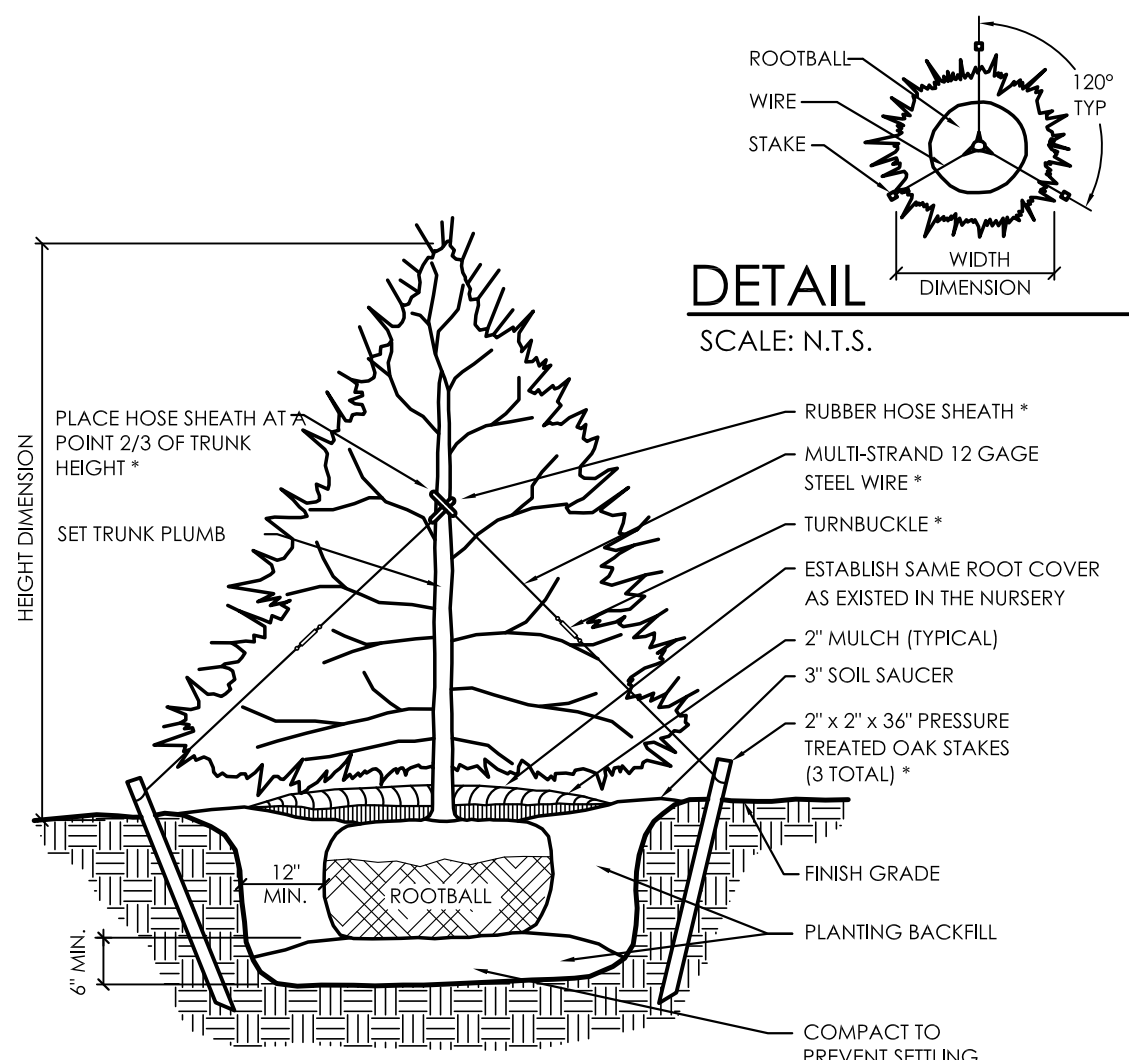
SCALE: N.T.S.

DRAWING NOTES

- ◆ SEEDING LAWN
- ◆ BED EDGE

DETAIL

SCALE: N.T.S.



NOTES

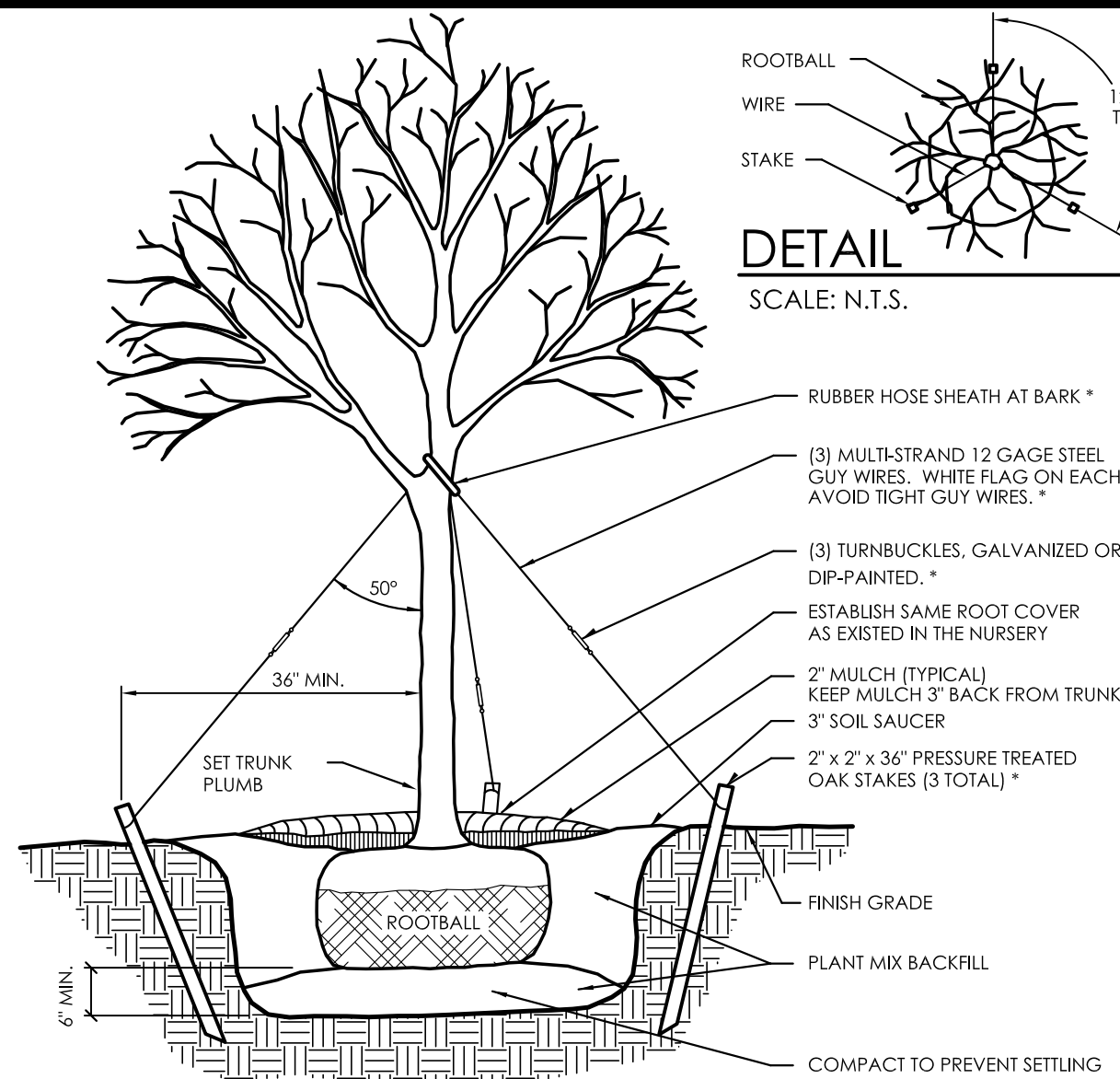
1. IF NOT READILY APPARENT, LOCATE TRUNK FLARE BY REMOVING TWINE, BURLAP, AND EXCESS SOIL.
2. DIG TREE HOLE AT LEAST TWO TIMES WIDER THAN THE ROOT BALL, WITH SIDES SLOPED TO AN UNEXCAVATED OR FIRM BASE. DIG HOLE TO A DEPTH SO THE LOCATED TRUNK FLARE, AT THE FIRST ORDER LATERAL ROOT, WILL BE AT FINISHED GRADE.
3. LIFTING ONLY FROM THE BOTTOM OF THE ROOT BALL, POSITION TREE ON FIRM PAD SO THAT IT IS STRAIGHT AND TOP OF FLARE IS LEVEL WITH THE SURROUNDING SOIL.
4. REMOVE ALL TWINE FROM ROOT BALL. IF PRESENT, REMOVE AND DISCARD TOP 3' OF BURLAP FROM THE ROOT BALL.
5. WITH CLEAN, SHARP PRUNING TOOLS, PRUNE OFF ANY SECONDARY/ADVENTITIOUS, GIRDLING, AND POTENTIAL GIRDLING ROOTS.
6. BACKFILL PLANTING HOLE WITH PLANT MIX (SEE GENERAL NOTES), AND THOROUGHLY WATER.
7. PROVIDE WATER CRYSTALS PER MANUFACTURER'S RECOMMENDATION.
8. MULCH ENTIRE PLANTING SURFACE WITH COMPOSTED BARK MULCH APPLIED NO LESS THAN TWO INCHES (2") DEEP AND NO MORE THAN THREE INCHES (3") DEEP, LEAVING THREE INCHES (3") ADJACENT TO THE TREE TRUNK FREE OF MULCH.
9. EVERGREEN TREES WITH 2" CALIPER OR SMALLER SHALL BE STAKED, EVERGREEN TREES HAVING A HEIGHT OF 7' OR GREATER SHALL BE STAKED.
10. REMOVE STAKES 1 YEAR AFTER PLANTING.

EVERGREEN TREE STAKING & GUYING

SCALE: N.T.S.

DETAIL

SCALE: N.T.S.



NOTES

1. IF NOT READILY APPARENT, LOCATE TRUNK FLARE BY REMOVING TWINE, BURLAP, AND EXCESS SOIL.
2. DIG TREE HOLE AT LEAST TWO TIMES WIDER THAN THE ROOT BALL, WITH SIDES SLOPED TO AN UNEXCAVATED OR FIRM BASE. DIG HOLE TO A DEPTH SO THE LOCATED TRUNK FLARE, AT THE FIRST ORDER LATERAL ROOT, WILL BE AT FINISHED GRADE.
3. LIFTING ONLY FROM THE BOTTOM OF THE ROOT BALL, POSITION TREE ON FIRM PAD SO THAT IT IS STRAIGHT AND TOP OF FLARE IS LEVEL WITH THE SURROUNDING SOIL.
4. REMOVE ALL TWINE FROM ROOT BALL. IF PRESENT, REMOVE AND DISCARD THE TOP 3' OF BURLAP FROM THE ROOT BALL.
5. WITH CLEAN, SHARP PRUNING TOOLS, PRUNE OFF ANY SECONDARY/ADVENTITIOUS, GIRDLING, AND POTENTIAL GIRDLING ROOTS.
6. BACKFILL PLANTING HOLE WITH PLANT MIX (SEE GENERAL NOTES), AND THOROUGHLY WATER.
7. MULCH ENTIRE PLANTING SURFACE WITH COMPOSTED BARK MULCH APPLIED NO LESS THAN TWO INCHES (2") DEEP AND NO MORE THAN THREE INCHES (3") DEEP, LEAVING THREE INCHES (3") ADJACENT TO THE TREE TRUNK FREE OF MULCH.
8. STAKE DECIDUOUS TREES WITH A 2 1/2" OR GREATER CALIPER.
9. REMOVE STAKES 1 YEAR AFTER PLANTING.

DECIDUOUS TREE STAKING & GUYING

SCALE: N.T.S.

GENERAL NOTES - PLANTING

1. LANDSCAPE CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UTILITIES WITH THE OWNER, OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER AND UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IN THE FIELD ACTUAL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES, WHETHER INDICATED ON PLANS OR NOT. LANDSCAPE CONTRACTOR MUST CALL THE UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DAMAGE OF UTILITY LINES, WHICH IS CAUSED BY THEIR ACTIONS OR THE ACTIONS OF THEIR CONSULTANTS.
2. LANDSCAPE CONTRACTOR TO EXAMINE FINISH SURFACE, GRADE ACCURACY AND TOPSOIL FOR DEPTH AND QUALITY; REFER TO SPECIFICATIONS (IF APPLICABLE); IF CONDITIONS ARE UNSATISFACTORY, NOTIFY OWNER, OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER AND DO NOT BEGIN WORK UNTIL CONDITIONS HAVE BEEN CORRECTED.
3. AFTER INSTALLATION, REPAIR ALL DAMAGES MADE TO EXISTING CONDITIONS TO OWNER'S REPRESENTATIVE'S SATISFACTION.
4. PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AND SHALL HAVE PASSED INSPECTION REQUIRED UNDER STATE REGULATIONS. CALL (202)-789-2900 TO OBTAIN A COPY OF THE AMERICAN STANDARD FOR NURSERY STOCK BOOKLET.
5. NURSERY STOCK IDENTIFICATION TAGS SHALL NOT BE REMOVED FROM ANY PLANTING PRIOR TO INSPECTION AND APPROVAL OF INSTALLATION BY THE OWNER'S REPRESENTATIVE.
6. ALL PLANTINGS TO BE CONTAINED WITHIN BARK MULCHED BED. ALL TREES LOCATED WITHIN LAWN AREAS TO BE CONTAINED WITH A 5" MULCH RING. BARK MULCH SHALL BE FINELY SHREDDED HARDWOOD, DARK IN COLOR.
7. SEED ALL DISTURBED LAWN AREAS THAT ARE NOT LANDSCAPED.
8. LANDSCAPE CONTRACTOR, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE IN LAWN AREAS, LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLANTS LIVABILITY. REFER TO FRONT END SPECIFICATIONS IF APPLICABLE.
9. ANY LANDSCAPE CONTRACTOR RECOMMENDED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. UNAPPROVED SUBSTITUTIONS SHALL BE REMOVED AND REPLACED WITH APPROPRIATE PLANTS.
10. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER COMMENTS IS SHOWN ON THE DRAWINGS (IF REQUIRED). IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT SCHEDULE, THE PLANTING PLANS SHALL GOVERN.
11. GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER OR LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND SHALL MAKE CONSULTANTS AWARE OF THESE ORDINANCES.
12. GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER OR LANDSCAPE CONTRACTOR TO COORDINATE CONSTRUCTION STAGING AND MATERIAL STOCKPILING WITH THE OWNER OR OWNER'S REPRESENTATIVE.
13. DURING ALL PHASES OF CONSTRUCTION ACTIVITY, IF THE LANDSCAPE CONTRACTOR OR THEIR SUBS EXCLUDE ANY "SOIL WASTE MATERIAL" (EXCLUDING CLEAN HARD FILL) THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER, OWNER OR OWNER'S REPRESENTATIVE SHALL BE CONTACTED IMMEDIATELY FOR FURTHER DIRECTION.
14. LANDSCAPE CONTRACTOR SHALL CLEAN STREETS OF MUD AND DEBRIS GENERATED BY THEIR CONSTRUCTION ACTIVITIES OR THEIR SUBS' CONSTRUCTION ACTIVITIES, PURSUANT WITH LOCAL CODE REQUIREMENTS.
15. LANDSCAPE CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER, OWNER OR OWNER'S REPRESENTATIVE TO PROVIDE FOR APPROPRIATE CARE OF EXISTING PLANT MATERIAL AND NEWLY LANDSCAPED AREAS DURING CONSTRUCTION.

PLANT SCHEDULE LANDSCAPE PLAN

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE
NS	12	PICEA ABIES	NORWAY SPRUCE	5'-6" B&B
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE
HWM	12	ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	2'-2 1/2" CAL. B&B
SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE
PSG	9	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2 1/2" - 3" CAL. B&B
GLL	6	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2 1/2" - 3" CAL. B&B
PE	3	ULMUS X HOLLANDICA 'PIONEER'	PIONEER ELM	2 1/2" - 3" CAL. B&B
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.
JV	7	VIBURNUM X JUDDII	JUDD VIBURNUM	#5 CONT.
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.
SGJ	64	JUNIPERUS CHINENSIS 'SEA GREEN' +/- 3'-6" O.C.	SEA GREEN JUNIPER	#5 CONT.
DY	50	TAXUS MEDIA 'DENSIFORMIS' +/- 3'-8" O.C.	DENSE YEW	24"-30" B&B
EGA	11	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4'-5" B&B
TA	84	THUJA OCCIDENTALIS 'TECHNY' +/- 5'-0" O.C.	TECHNY ARBORVITAE	4'-5" B&B

GENERAL NOTES - SOIL AMENITIES

TOPSOIL: FERTILE, FRIABLE NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE BETWEEN pH 6.0 AND 6.8.

- A. IDENTIFY SOURCE LOCATION OF TOPSOIL PROPOSED FOR USE ON THE PROJECT.
- B. PROVIDE TOPSOIL FREE OF SUBSTANCES HARMFUL TO THE PLANTS, WHICH WILL BE GROWN IN THE SOIL.

PEAT MOSS: BROWN TO BLACK IN COLOR, WEED AND SEED FREE GRANULATED RAW PEAT OR BALED PEAT, CONTAINING NOT MORE THAN 9% MINERAL ON A DRY BASIS.

MANURE: STERILIZED COW OR DEHYDRATED HORSE MANURE, SHREDDED, WEED AND SEED FREE. FURNISH IN BAGS OR BULK.

BONE MEAL: RAW, FINELY GROUND, COMMERCIAL GRADE, MINIMUM 3% NITROGEN, 20% PHOSPHOROUS.

FERTILIZER: COMMERCIALY APPROVED 12-12-12 (12% NITROGEN, 12% PHOSPHORIC ACID, AND 12% POTASH BY WEIGHT), 1/4 OF NITROGEN IN THE FORM OF NITRATES, 1/4 IN THE FORM OF AMMONIA SALT, AND 1/2 IN THE FORM OF ORGANIC NITROGEN.

PROVIDE PRE-MIXED PLANTING MIXTURE FOR USE AROUND THE ROOT BALL/ROOTS OF THE PLANTS CONSISTING OF 5 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART MANURE, 10 LBS. FERTILIZER (PER CUBIC YARD) AND 2 1/3 LBS. OF BONE MEAL (PER CUBIC YARD).

Revision	By	Date

PATEL CONVENIENCE STORE

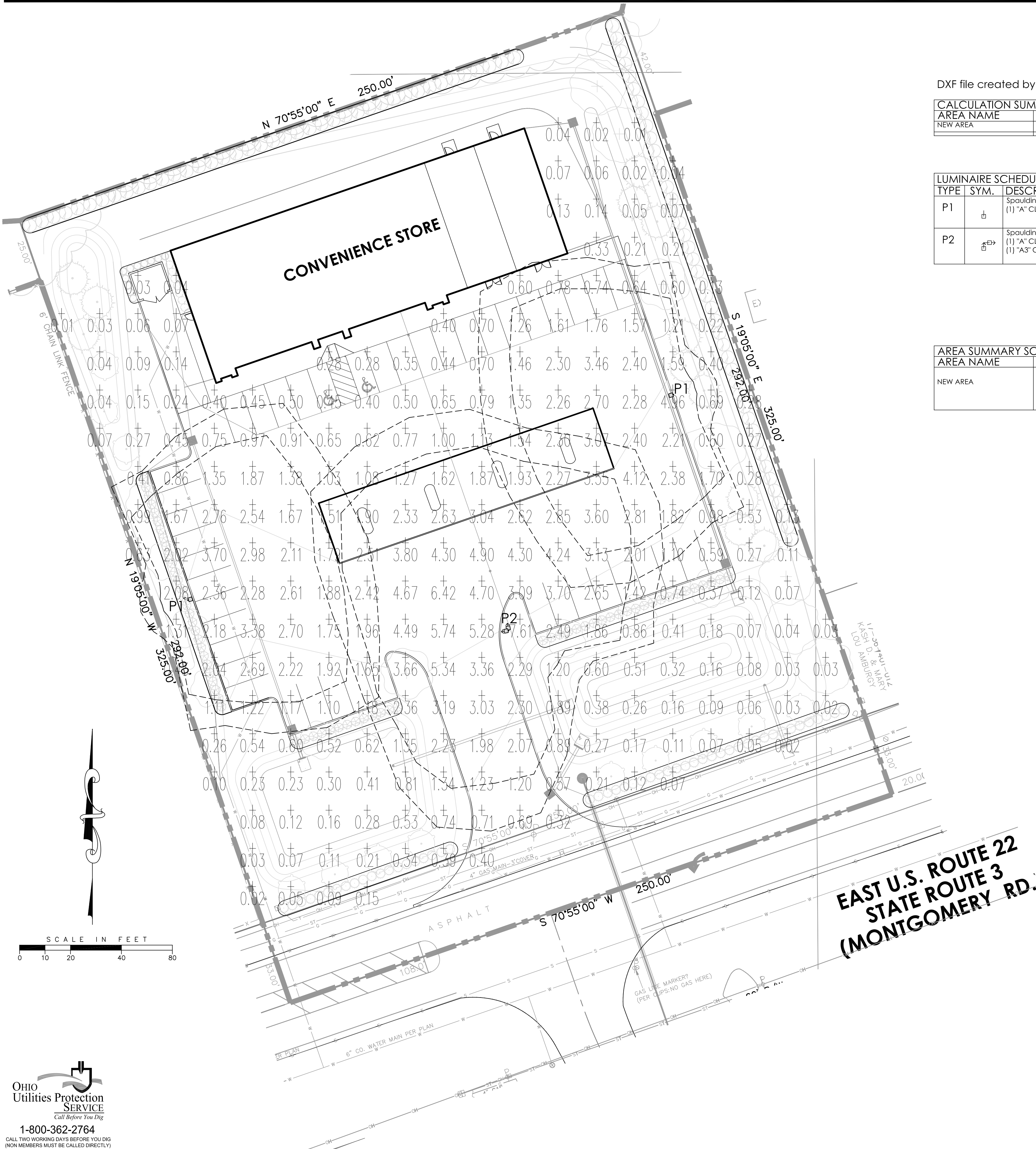
VILLAGE of SOUTH LEBANON
WARREN COUNTY, OHIO
LANDSCAPE PLAN

mcp McGill Smith Punshon, Inc.
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Drawn By	DF	Date	10/28/16	Project No.	06308.03	Sheet No.	L100
Project Mgr.	JW	Scale	1" = 20'	Points D.B.	06308 TBC		
CAD				06308036-PLA	X-Ref.	06308034-IMP-001	File No. 06308

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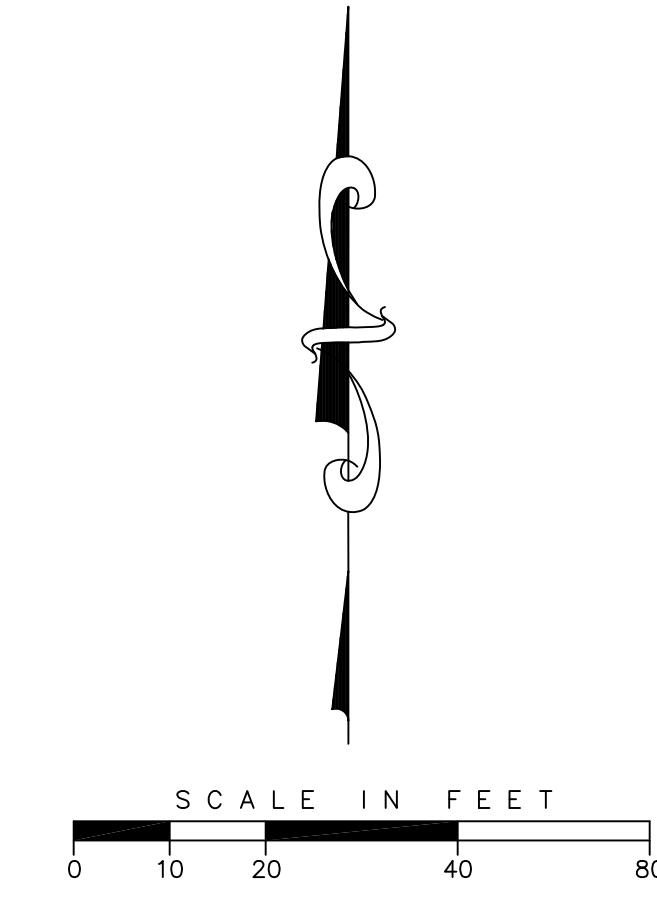


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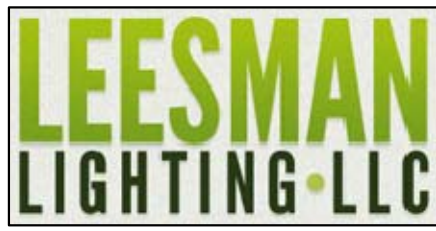
CALCULATION SUMMARY										
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC.	GROUP	AVG.	MAX.	MIN.	MAX./MIN.	AVG./MIN.
NEW AREA	491.90' x 400.80'	15 x 15 / H-H	256	15.00	(+)	1.30	7.61	0.01	910.31	155.00

LUMINAIRE SCHEDULE							
TYPE	SYM.	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF.	QTY.
P1	⬇	Spaulding 1 Head (1) "A" CL1-A-90LU-4K-4-xx-24' SSS POLE	(1)	31027	24' POLE 2.5' BASE	0.91	2
P2	⬇➡	Spaulding 2 Head (1) "A" CL1-A-90LU-4K-4-xx-24' SSS POLE (1) "A3" CL1-A-90LU-4K-3-xx-24' SSS POLE	(1) (1)	31027 29025	24' POLE 2.5' BASE	0.91 0.91	1

AREA SUMMARY SCHEDULE					
AREA NAME	I/O	DIMENSIONS	LUMS. / (ASMS)	WATTS/SQ. FT.	QTY.
NEW AREA	OUT	491.90' x 400.80'	<P1> (2) <P2> (1)	00.0	1



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Revision	By	Date

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VILLAGE of SOUTH LEBANON
WARREN COUNTY, OHIO
PHOTOMETRIC PLAN

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